



HURRICANE CITY UTAH

Planning Commission

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Hurricane Planning Commission Meeting Agenda

November 13, 2025

6:00 PM

Hurricane City Offices 147 N 870 W, Hurricane

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. at the Hurricane City Offices 147 N 870 W, Hurricane, UT.

Meeting link:

<https://cityofhurricane.webex.com/cityofhurricane/j.php?MTID=me42b4eb65609e35eb0e0664c925c9dbc>

Meeting number:2632 882 4836

Password:HCplanning

Host key:730111

Join by phone+1-415-655-0001 US Toll

Access code: 2632 882 4836

Host PIN: 9461

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance

Prayer and/or thought by invitation

Declaration of any conflicts of interest

Public Hearings

1. A Zone Change Amendment Request located at 340 N Park View Dr from R1-8, single family one unit per 8,000 to RM-1, multifamily six units per acre. Parcel number H-4-1-36-2000.
2. A Zone Change Amendment Request on approximately 0.33 acres located at 804 S 180 W from RA-1, residential agriculture one unit per acre to R1-10, single family residential one unit per 10,000 square feet. Parcel H-3-2-3-1221.
3. A General Plan Amendment Pursuant to Utah Code 10-20-404(2)(b), Hurricane City proposes to adopt and add a Water Element to the city's General Plan. The new Water Element will address:

- The effect of permitted development on water demand and infrastructure.
- Water use reduction strategies for existing development.
- Water use reduction strategies for future development.
- Operational changes to reduce wasteful municipal practices.

NEW BUSINESS

1. ZC25-22: Discussion and consideration of a possible recommendation to the City Council on a Zone Change Amendment Request located at 340 N Park View Dr from R1-8, single family one unit per 8,000 to RM-1, multifamily six units per acre. Parcel number H-4-1-36-2000. PM Dev Corp, Applicant. Chase Stratton, Agent.
2. ZC25-20: Discussion and consideration of a recommendation to the City Council on a Zone Change Amendment Request on approximately 0.33 acres located at 804 S 180 W from RA-1, residential agriculture one unit per acre to R1-10, single family residential one unit per 10,000 square feet. Parcel H-3-2-3-1221 Maag Family Trust, Applicant. Kyson Spendlove, Agent.
3. PP25-10 HIL25-02: Discussion and consideration of a recommendation to the City Council on a preliminary plat and sensitive lands application for Paraiso Phase 15-18, an 80 lot single family subdivision located at 400 N 2800 W. JP Excavating, Applicant. American Land Consulting-Tony Carter, Agent.
4. PP25-33 PSP25-25: Discussion and consideration of a possible approval of a preliminary site plan and preliminary plat for Zion's Gate Condominiums, a 127 unit multifamily development located at 3700 W 1120 S. Vince Blackmore, Applicant. Karl Rasmussen, Agent.
5. FSP25-36: Discussion and consideration of a possible approval of a final site plan for Pecan Apartments, a duplex located at 126 S 850 W. Interstate Homes, Applicant.
6. FSP25-37: Discussion and consideration of a possible approval of a final site plan for Goldenwest Credit Union, a bank, located at 28 N 2000 W. Goldenwest Federal Credit Union, Applicant. Eric Malmberg, Agent.
7. Discussion and consideration of a recommendation to the City Council on a General Plan Amendment Pursuant to Utah Code 10-20-404(2)(b); Hurricane City proposes to adopt and add a Water Element to the city's General Plan. The new Water Element will address:
 - The effect of permitted development on water demand and infrastructure.
 - Water use reduction strategies for existing development.
 - Water use reduction strategies for future development.
 - Operational changes to reduce wasteful municipal practices.
8. Discussion and recommendation to the City Council on an economic development policy

Approval of Minutes:

1. December 12, 2024
2. April 10, 2025
3. September 11, 2025
4. September 25, 2025

Adjournment

REASONABLE ACCOMMODATION: Hurricane City will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs, please contact the City Planning Technician, 435-635-2811 x 112, at least 24 hours in advance if you have special needs.

PM Dev Corp - RM-1 Zone Change Narrative

The property in question sits behind a storage unit complex and is oddly shaped for development. We are asking for an RM-1 zoning to provide a more affordable housing product and have more flexible lot layouts for the property.



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	ZC25-22
Type of Application:	Zone Change Amendment
Action Type:	Legislative
Applicant:	PM Dev Corp
Agent:	Chase Stratton
Request:	Approval of a Zone Change from R1-8 to RM-1
Location:	340 N Park View Dr
Zoning:	R1-8
General Plan Map:	Single Family
Report Prepared by:	Fred Resch III

Discussion:

The applicant is requesting a zone change from Single Family Residential (R1-8) to Multiple Family Residential (RM-1) for an approximately 4.5-acre property located along Park View Drive, east of Grandpa’s Pond, between existing residential uses and commercial storage facilities. The applicant initially sought a rezone to the R1-4 zoning; however, that request was rejected due to restrictions on adjacent zoning districts as outlined in HCC 10-13-4(A). The application was subsequently resubmitted under the RM-1 zoning designation.

The applicant has indicated to staff that their intent remains focused on smaller single-family lots despite the change in the requested zoning classification. It should be noted, however, that unless otherwise limited through a development agreement, all uses permitted within the RM-1 district would be allowed upon approval of the zone change.

	Zoning	Adjacent Land Use
North	R1-8	Single family homes and undeveloped property (future phases of Parkside at Grandpas Pond subdivision)
East	R1-10	Single family homes
South	R1-10	Single family homes
West	GC	Storage facilities



Vicinity Map

To change the zoning on any parcel of land within the City of Hurricane, the following considerations need to be addressed:

1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?

Response: The Future Land Use Map shows this area as a Single Family. The 2020 General Plan defines Single Family as follows:

These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.

This proposed zone change is not consistent with the current General Plan Land Use Map designation for the property, although density-wise, R1-6 and RM-1 are functionally identical. However, the applicant has indicated an intent to maintain consistency with the overall goals of the General Plan by

developing the site with single-family homes, albeit at a higher density than what is presently permitted under the existing General Plan designation. To reiterate, the General Plan is not a binding mandate, and while multifamily uses would not be compatible with the existing adjacent residential development under strict adherence to the General Plan, a project limited to single-family homes could be considered conforming.

Although the proposed zone change does not align with the density or land use patterns envisioned in the Future Land Use Map, several General Plan policies may nonetheless be relevant and supportive of the applicant's proposal.

1.5. Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers.

1.6. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options.

Although the proposed RM-1 zoning exceeds the density shown on the Future Land Use Map, the development could still align with General Plan policies by providing well-designed single-family homes near supporting community facilities and infrastructure.

2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?

Response: The adjacent properties consist of commercial storage facilities on the west, and single-family homes nearby to the east and south. As discussed in response #1 above, using a strict interpretation of General Plan conformance, the requested zone change does not comply, but staff finds that the applicant's proposal consisting of single-family homes would be appropriate, and it would maintain compatibility with nearby land uses, but a development agreement would be needed to assure only single-family development would be allowed.

3. Will the proposed amendment adversely affect the adjacent property?

Response: Due to the surrounding development patterns, all access to the property will be via Park View Drive, which connects to 3400 West and 3700 West. Park View Drive is designed to accommodate higher traffic volumes and functions similarly to a minor collector road. Therefore, the proposed development is not expected to create significant traffic impacts beyond the capacity of the existing roadway network. Additionally, the property is mostly topographically lower than the majority of the neighboring residences, which should mitigate perceived impacts on the neighboring residences.

4. Are public facilities and services adequate to serve the subject property?

Response: Yes. Most of the area is already developed although improvements on Park View Drive will be needed. The Joint Utility Committee had no concerns with overall utility availability.

JUC Comments

Public Works: Access issues. Water looping. Drainage concerns.

Power: No concerns.

Water: No comment.

Streets: No comment.

Sewer: No comment.

Engineering: Development standards for an RM-1 development (parking lot and drive aisles) instead of R1-8 development standards (public street and individual driveways) would better realize potential units (HCC 10-34-8(B&C)). It appears the number of potential units based on gross area are similar. It seems this peninsula area (the small strip between Park View Drive and the storage units) should be made GC to match the adjacent development. An existing cross gutter at 360 N & Park View Drive is substandard. Cross gutter should be replaced with a standard 8' cross gutter or storm drain pipe and the curb and gutter should continue from where it currently exists in 360 N for a proper drainage solution. Park View Drive is a 58' wide public right of way (document 20150024426). Road improvements are incomplete. Whatever develops this remainder of H-4-1-36-2000 should make arrangements for the south side of park view drive to be constructed (between 3700 W & 360 N). Another remainder of parcel H-4-1-36-2000 seems to be occupied by the neighboring property owner. Finishing road improvements and merging said remainder with the neighbor or making it an amenity for the proposed zone change area should be arranged (HCC 10-39-7(C)(9)).

Fire: Approved.

Gas: Okay.

Fiber: No comment.

WCWCD: Washington County Water Conservancy District hereby acknowledges that based on the information provided, the zone change adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Other Considerations

1. The property encompasses approximately 4.5 acres, which, under the permitted densities of the RM-1 zoning district, could allow for up to 27 dwelling units. The specific site layout has not yet been determined; however, the property's irregular shape and existing topographic constraints relative to adjacent properties may limit the achievable unit count. These factors, particularly if the applicant proceeds with a single-family housing concept, are likely to result in a lower overall density than the maximum permitted.

Findings: Staff makes the following findings:

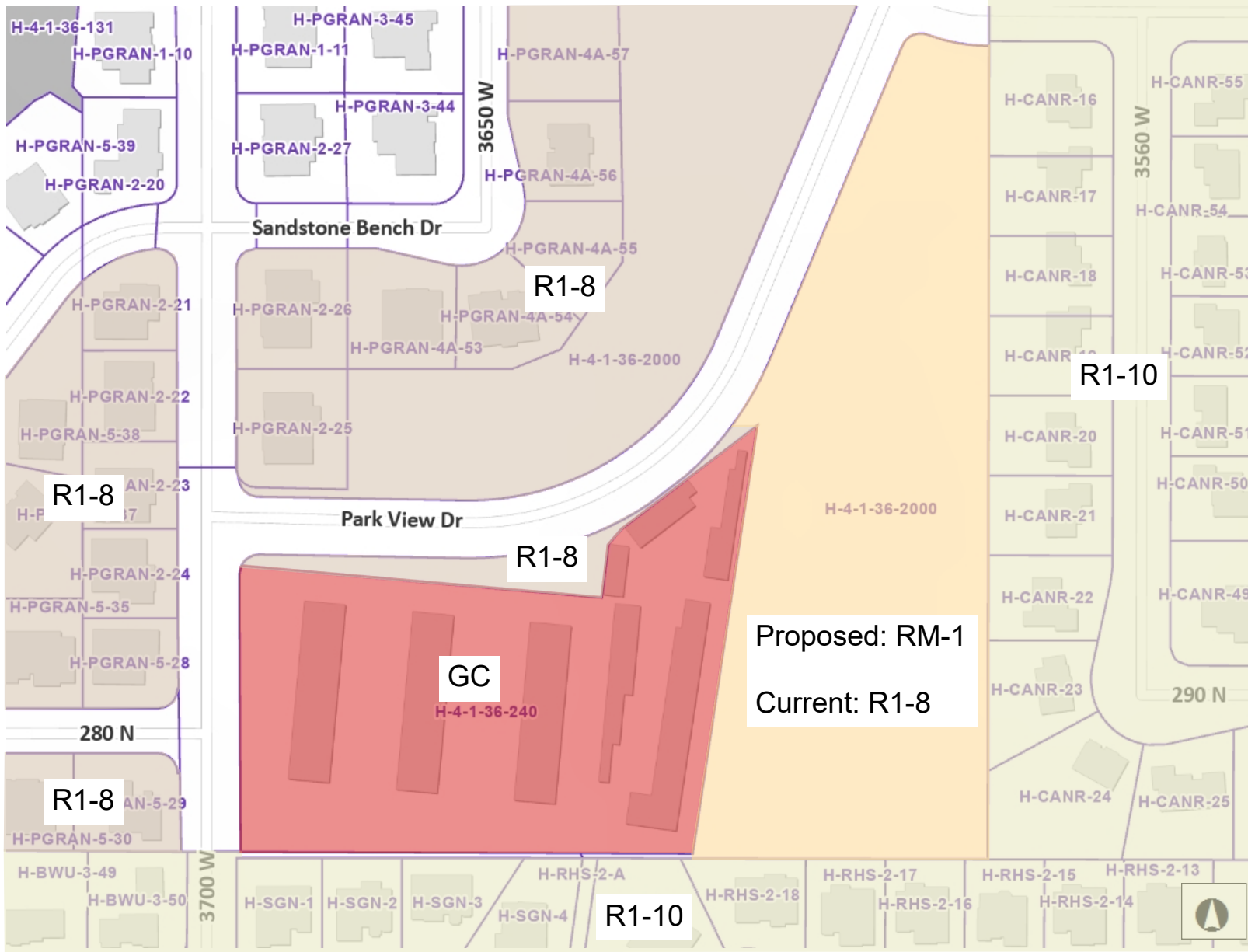
1. The requested zoning amendment to RM-1 does not conform with the General Plan's Future Land Use Map, but the proposed single-family development could be considered conforming, and could also meet several goals and policies within the General Plan.
2. The proposed amendment can be determined to be in harmony with the overall character of the existing development if only single-family homes are allowed.
3. The proposed amendment is unlikely to have any adverse impacts on adjacent properties due to the shape of the property and the elevation differential with the existing development.
4. Public facilities are adequate.

Recommendation: The Planning Commission should review the proposed zone change in accordance with the applicable standards outlined in the Hurricane City Code, consider any public comments received during the public hearing, and provide a recommendation to the City Council. While staff does

not find that the proposal, as currently presented, adequately satisfies the four considerations for a zone change, the identified concerns could be mitigated through a development agreement requiring that the property be developed with single-family homes.



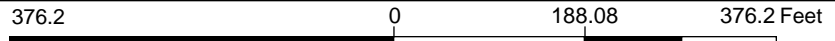
H-4-1-36-2000 - Zoning



Legend

- Parcels
- Ownership**
 - U.S. Forest Service
 - U.S. Forest Service Wilderness
 - Bureau of Land Management
 - Bureau of Land Management Wild
 - National Park Service
 - Shivwits Reservation
 - Utah Division of Wildlife Resources
 - Utah Division of Transportation
 - State Park
 - State of Utah
 - Washington County
 - Municipally Owned
 - School District
 - Water
 - Water Conservancy District
 - State Assessed Oil and Gas
 - Mining Claim

Notes



WGS_1984_Web_Mercator_Auxiliary_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

Project Narrative - Zone Change:

Maag Family Trust Property

Hurricane City Planning Department

Detail	Description
Parcel Number	H-3-2-3-1221
Property Owner	The Maag Family Trust
Property Address	804 South 180 West, Hurricane, UT 84737
Existing Zoning (Entire Parcel)	RA-1 (Residential Agricultural - 1 acre minimum)
Proposed Zoning (Portion)	R1-10 (Residential Low Density - 10,000 sq ft minimum)
Proposed Area for Rezone (Approximate)	The area surrounding the existing dwelling, approximately 0.33 acres (as detailed on the Preliminary Zone Change Map).

1. Project Background and Objective

The Maag Family Trust owns and utilizes the subject property, Parcel H-3-2-3-1221, which currently contains both a single-family dwelling and significant agricultural land. The existing zoning for the entire parcel is RA-1 (Residential Agricultural).

The primary objective of this application is to execute a **minor zone change** for a specific portion of the parcel that encompasses the existing residential structure and its immediate yard area. This change is necessary to achieve two distinct goals: **family property transfer** and **long-term agricultural preservation**.

2. Justification for Zone Change

A. Separation of Residential and Agricultural Uses

The current single-parcel configuration combines an active, long-term family farming operation with a residential dwelling. To ensure the continuity and security of the farming

activities, and to facilitate a planned inter-family transfer of the home, a clear legal and zoning separation is required.

The proposed R1-10 lot will formalize the residential portion of the property, creating a standard, compliant lot size for the dwelling. The remaining, larger portion of the parcel will retain the RA-1 designation, safeguarding its ability to be farmed long-term without conflict from the newly defined residential use.

B. Facilitation of Family Transfer

This zone change and either a lot line adjustment or lot split is a prerequisite for a family member to purchase the existing house and reside there. Rezoning the approximately 0.33-acre portion of land to R1-10 makes the residential portion conform to a standard low-density residential zoning, which is more appropriate for a non-agricultural home lot than the existing large-parcel RA-1 designation for many reasons:

1. The existing home has an existing yard with a hard line between the yard and the farm as depicted in the map. Additional images are also attached that show the defined line that transitions from standard grass and a shed to an orchard with orchard grass and irrigation risers. The intent would be to separate the property East of the risers as depicted so as to not have to relocate the risers outside the house property boundary.



2. Due to farm use on the remaining property the family is asking that a 56' wide access remain from 180 West into the remaining farm property. This would keep an existing garage and roadway along 180 West as part of the farm to allow for access with farm equipment.

C. Compatibility with Surrounding Area

The proposed R1-10 lot size is approximately 0.33 acres, which is well above the 10,000 sq ft minimum required by the R1-10 zone. This density is consistent with surrounding properties in the area. The retention of the RA-1 zoning on the larger agricultural portion is compatible with the historical and desired rural-agricultural character of the vicinity.

As it pertains to surrounding properties and their current zone all subdivisions to the east are zoned as R1-10. Property directly to the west is currently zoned as RA-1 with a subdivision zoned at R1-15 just behind that. To the north there is a subdivision that is zoned as R1-10 along with properties to the south varying in zoning from R1-15 to RA-1.

Along with the zoning the intent is to match property lines with homes to the south, allowing for a similar feel along 180 west while maintaining an agricultural feel due to the farm behind the homes.

3. Impact Analysis

Category	Description of Impact
Traffic	No anticipated increase in traffic. The use is changing from a single family residence within a large agricultural parcel to a single-family residence on a dedicated residential lot. No new dwellings are proposed or planned.
Utilities/Infrastructure	No impact. All utility connections (water, sewer, power) are already established and connected to the existing dwelling. The zone change simply adjusts the zone boundaries of the existing home and yard.
Aesthetics/Character	The aesthetic character of the property will not change, as the house already exists and the farmland will continue to be

	farmed. The change provides clarity between the two distinct uses.
Future Development	This action prevents potential future pressure to develop the agricultural portion of the land into residential units, as the owner is committed to retaining the majority of the parcel for long-term farming purposes.

4. Conclusion

The proposed zone change is a minor adjustment intended to separate the existing dwelling from the agricultural land for the purposes of a family transaction and the long-term preservation of farming on the remaining acreage. The proposed R1-10 zoning for the residential portion is appropriate, compatible, and promotes orderly development by clearly defining the residential and agricultural uses within the existing parcel. The applicant respectfully requests approval of this zone change.

Submitted by: Mark Maag - The Maag Family Trust (Applicant/Owner)

Date: 10/27/2025



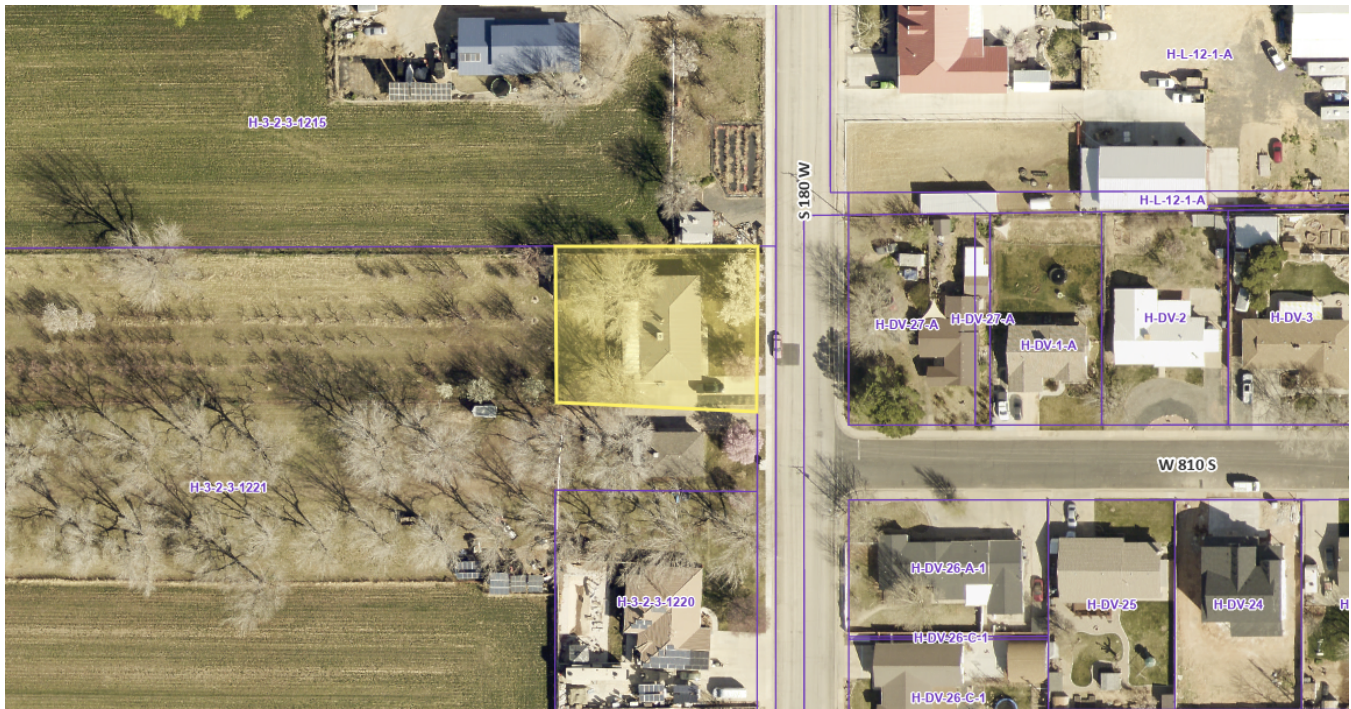
STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	ZC25-20
Type of Application:	Zone Change Amendment
Action Type:	Legislative
Applicant:	Maag Family Trust
Agent:	Kyson Spendlove
Request:	Approval of a Zone Change from RA-1 to R1-10.
Location:	804 S 180 W
Zoning:	RA-1
General Plan Map:	Rural Residential
Recommendation:	Recommend approval to the City Council.
Report Prepared by:	Fred Resch III

Discussion:

The applicant is requesting a zone change from Residential Agricultural 1 (RA-1) to Single Family Residential 10 (R1-10) on approximately 0.33 acres of an existing six-acre parcel that currently contains a residence, garage, and associated farm fields. The area proposed for rezoning encompasses the existing house and garage. The applicant’s intent is to subdivide the residence from the remaining agricultural property, maintaining agricultural zoning for the rest of the parcel. The proposed division generally follows the existing transition between residential and agricultural use on the site.

	Zoning	Adjacent Land Use
North	RA-1, R1-10	Single family homes and agricultural use
East	R1-10	Single family homes
South	RA-1	Single family homes
West	RA-1	Agricultural use



Vicinity Map

To change the zoning on any parcel of land within the City of Hurricane, the following questions need to be addressed:

1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?

Response: The General Plan Future Land Use Map shows this area as Rural Residential. The 2020 General Plan defines Rural Residential as follows:

Serves as transition from agricultural to traditional neighborhoods or commercial uses. Appropriate densities for this land use include from one unit/40 acres to RA-0.5 and RA-1.

This proposed zone change is not consistent with the Future Land Use Map, and the area was specifically redesignated as Rural Residential in 2024. However, the request could be interpreted as supporting one of the General Plan's stated goals to preserve and facilitate the continuation of existing agricultural uses by allowing the applicant to separate the residential portion of the property from the actively farmed land. From one perspective, the proposed zone change may be viewed as a reasonable adjustment that supports the long-term viability of agricultural operations while formalizing an existing residential use. Alternatively, because the request is not consistent with the adopted Future Land Use Map, it could also be considered premature or inconsistent with the City's broader land use planning objectives.

2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?

Response: The subdivision across the street (180 W) from this property is zoned R1-10, and many are about the same size as this is proposed to be. The houses to the south are zoned RA-1 but are closer to half an acre in lot size. Overall, this would be harmonious with the surrounding development.

3. Will the proposed amendment adversely affect the adjacent property?

Response: The requested zone change would only allow a lot split of the single family home from the remaining agricultural field. This will not have any adverse effects on adjacent property.

4. Are public facilities and services adequate to serve the subject property?

Response: Yes. Most of the area is already developed. The JUC had no concerns with overall utility availability.

JUC Comments

Public Works:

Power: No concerns.

Water: Does this fall under creating-a-new-subdivision rules (3 lots)?

Streets: No comment.

Sewer: A new sewer service will need to be installed when the larger lot is developed.

Engineering:

Fire: Approved.

Gas: Okay.

Fiber: Will need PUE in the future.

WCWCD: Washington County Water Conservancy District hereby acknowledges that based on the information provided, the zone change adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Other Considerations

1. The applicant is requesting an R1-10 zoning designation for a 14,576.52-square-foot portion of the property. Because the R1-15 zone requires an average lot size of 15,000 square feet, and the remaining 5.7-acre parcel would result in an overall average significantly above that threshold, an R1-15 designation could also be considered appropriate for the zone change. However, the R1-10 designation would be more consistent with the existing development pattern across the street, and neither option would allow further subdivisions of the property.

Findings: Staff makes the following findings:

1. The proposed amendment is not compatible with the General Plan's Future Land Use Map, although an argument can be made that it meets the intent and goals.
2. The proposed amendment is in harmony with the overall character of the existing development.
3. The proposed amendment is considered too minor of a change to have any adverse impacts on adjacent properties.

4. Public facilities are adequate.

Recommendation: The Planning Commission should review the proposed zone change based on the applicable standards within the Hurricane City Code and consider any public comments received at the public hearing for the item and make a recommendation to the City Council. In this case, due to the fact that this zone change application meets at least three of the code considerations, and the minor scale of the request, staff recommends approval.

MEMORANDUM

To: Hurricane City
From: American Consulting & Engineering
Date: September 22, 2025
Re: Paraiso Phase 15-18 Project Narrative



The proposed project will extend the existing Paraiso subdivision into the north parcel H-3-1-31-1104, which is a 29-acre parcel located in Hurricane, UT at approximately 400 North and 2800 West in Section 31 Township 41 South Range 13 West Salt Lake Base & Meridian (SLB&M). The current vacant parcel will be developed with public streets and approximately 80 single family residential lots similar to the existing single family residential lots completed in earlier phases of the Paraiso subdivision.

Thank you,

American Consulting & Engineering



September 26, 2025

Hurricane City
Gary Cupp
127 N. 870 W.
Hurricane, UT 84737

Subject: Paraiso Phase 15-18

Gary,

There is sewer capacity for this project. The developers understand and agree that they will need to get plan approval for the sewer system.

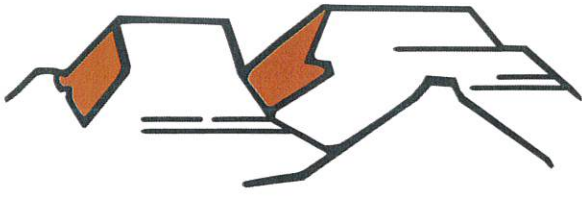
After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Amber Gillette".

Amber Gillette, P.E.
Engineer
Ash Creek Special Service District

1350 South Sandhollow Road, Hurricane, UT 84737
phone: 435.635.2348
email: ashcreek@infowest.com



WATER
HURRICANE CITY
UTAH

Ken Richins, Superintendent

September 26, 2025

To Whom It May Concern:

Middon LLC (the "Developer") has requested a culinary water will serve letter for the subdivision known as Paraiso North, located at approximately 2800 W 600 N in Hurricane, Utah (the "Project").

Infrastructure

The City currently has infrastructure to supply culinary water in the general vicinity of the Project. However, Developer will be responsible to connect the Project to the existing water infrastructure, including the installation of infrastructure in dedicated public streets and as otherwise required to meet City standards. A looped water system will be required. In addition, Developer may be required to obtain and supply a hydraulic water study to ensure the water system will deliver required fire flows and provide adequate storage.

Water Supply

As of the date of this letter, the City has adequate water to supply water to 80 residential connections within the Project. However, water within the City is a finite resource with limited supply. The ability of the City to supply water to previously approved projects, as well as continue to serve additional water customers, is contingent on water supplies being available from the Washington County Water Conservancy District (the "Conservancy District"). Therefore, the City's statements in this letter regarding the adequacy of water supply is (1) contingent on water being available from the Conservancy District and (2) shall expire one year from the date of this letter, after which a renewed will serve letter will be required for any property or lot that has not obtained a metered connection to the City's culinary water system. Developer is encouraged to obtain a guarantee of water from the Conservancy District.

General Requirements

In addition to the requirements and limitations described above, Developer shall be required to comply with all applicable laws, ordinances, policies, and construction and design standards. These requirements include, but are not limited to, secondary water system requirements and any obligations described in an applicable development agreement. The Water Department will withhold any approval of the proposed Project until all the requirements and conditions of this letter are met as determined by the Water Department.

Sincerely,

Ken Richins

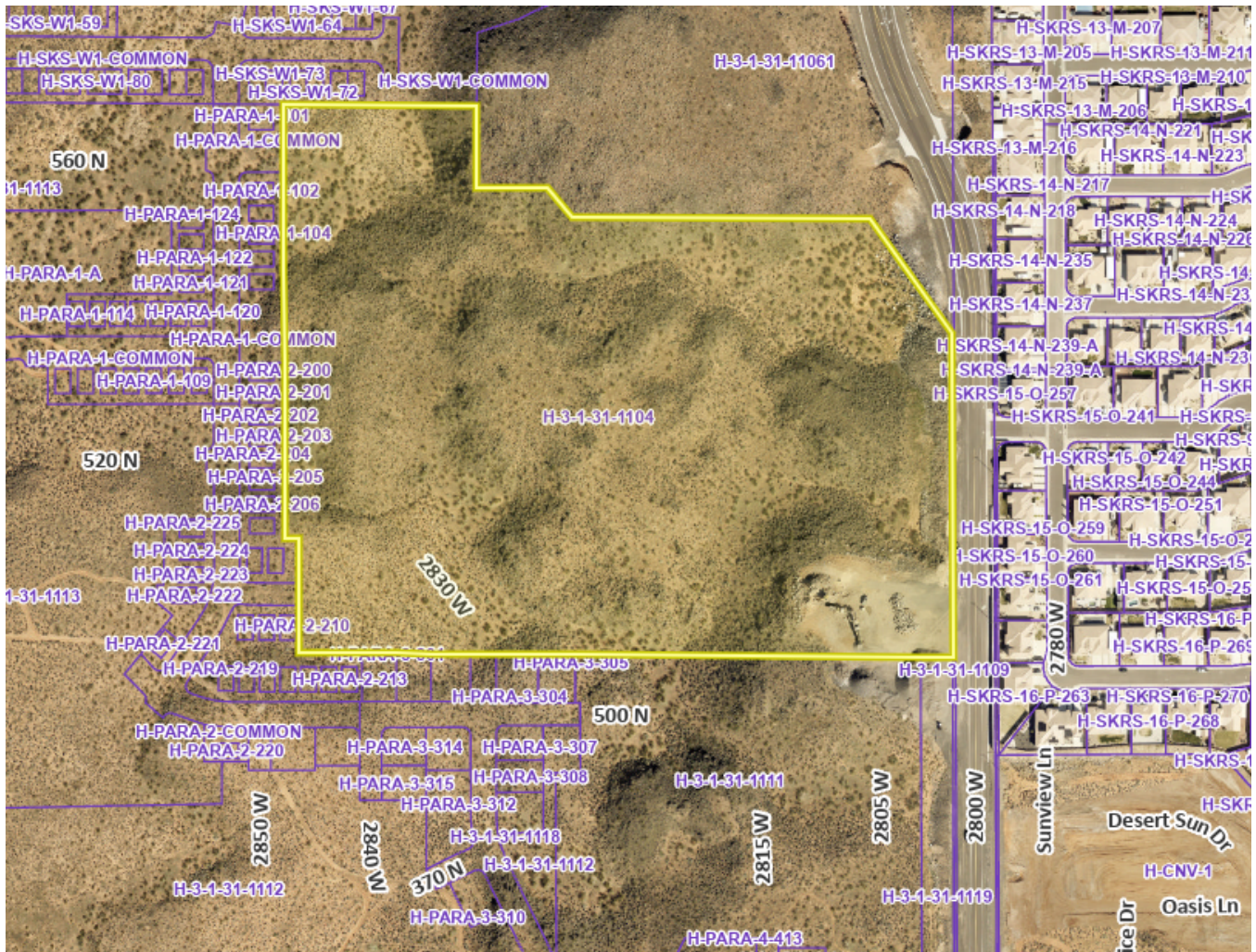
Water Department Superintendent



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	PP25-10 HIL25-02
Type of Application:	Preliminary Plat and Sensitive Lands
Action Type:	Administrative
Applicant:	JP Excavating
Agent:	American Land Consulting
Request:	Approval of a Preliminary Plat and Sensitive Lands plan.
Location:	400 N 2800 W
Zoning:	R1-8 (PDO)
General Plan Map:	Planned Community
Recommendation:	Table
Report Prepared by:	Fred Resch III

Discussion: The applicant is applying for a 80 lot single family subdivision located along 2800 W between the Paraiso and Sky View developments. The zone change and PDO were approved in 2022 as “Frei Residential PDO”. This modifies the Swiss Mesa preliminary plat that was approved earlier this year. Due to hillsides in the area, a Sensitive Lands Application has been applied for, which requires City Council approval. Hurricane City Code (HCC) section 10-24-4(B) assigns the authority to approve developments located within sensitive lands to the City Council, even though the Planning Commission is typically the approval authority for preliminary plats. This delegation of authority is consistent with Utah Code §10-20-806.2, which permits such arrangements within the land use process.



Vicinity Map

JUC Comments

1. **Public Works:** Need to talk about crossing 2800 W with water.
2. **Fire:** Approved.
3. **Sewer:** No comment.
4. **Water:** Make sure the water system is looped as each phase is completed.
5. **Power:** No concerns.
6. **Streets:** [No comments received.]
7. **Gas:** Okay.
8. **TDS:** [No comments received.]

9. **Infowest:** [No comments received.]

10. **Engineering:** There should be a cross section for 2800 West (HCC 10-39-7(C)(5)). Improvements to 2800 West must be completed with this project (HCC 10-39-11(A)(3)). Existing easements must be drawn, shown, and labeled (see documents 20210073395 and 20210073396)(HCC 10-39-7(B)(4)). It appears power easement (doc #20250034079) needs the current owner's signature. Doc #20210073394 suggests the east boundary of the subdivision should parallel the section line. Who will own the hilly area and the detention basins? (HCC 10-39-7(C)(3)). The detention basins must have public drainage easements minimum; however, engineering assumes excess area will be common. Enlarging the reverse curves on 510 N and shifting them west is encouraged (HCS 3.2.4.13 & 3.2.2). This plat fails to label the centerline radii (HCC 10-39-7(C)(4)). Proposed drainage plans must be more apparent. Will drainage corridors be made part of the uphill property or protected by easement? (HCC 10-39-7(C)(4&6)). The existing grade surface model must be updated. It appears small localized areas fall within mapped low landside potential areas. It appears the central north portion of the plat is within a mapped low rockfall hazard area. The existing water stubs in 510 North & 560 North are in the 3400 West (3200') pressure zone. Applicants must demonstrate the water design will meet flow requirements (if they haven't already, see HCS 3.6 & HCS 3.6.9). The proposed water and irrigation connections at 390 N & 2800 W must employ alternate construction methods (i.e. bore). Typical trenching won't be allowed in 2800 W. Existing water and irrigation stubs (from 2800 W) must be located and shown. The proposed water main in 2830 West should be removed. Differing pressure zones cannot connect without a pressure reducing valve. The water stub in 2830 West is part of the Sky Mountain (3400') pressure zone.

11. **Washington County Water Conservancy District:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the project adequately mitigates interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments: Preliminary Plat

1. The preliminary site plan approved with the PDO for this property depicted 111 units, primarily patio homes. This proposal is for 80 traditional single family lots. Since this is a decrease in the impact of the development, staff finds this substantially meets the intent of the existing PDO approval. Lots range in size from 6,821 sq ft to 13,988 sq ft.
2. The applicant has indicated that hillside and detention areas will be common areas.
3. Portions of this property are identified as in a rockfall hazard zone per Utah Geological Survey Special Study 127. The applicant will need to comply with HCC 10-28-2(C) in the preparation of the final plat.
4. All roads depicted as tie-in roads are currently existing and have been constructed. No off-site improvements are necessary for this development.
5. A will-serve letter from the water company and the sewer district has been provided.
6. **Water use:** To assist the Washington County Water Conservancy District as the city's wholesale water provider under the 2006 Regional Water Supply Agreement, Hurricane City and other cities report monthly the number of final platted lots, preliminary platted lots, lots subject to development agreements, and lots within PID taxing areas. These numbers help the WCWCD

plan for future water needs and inform the WCWCD's 20-year plan to supply water to the growing County. The 80 units contemplated by this application have not yet been reported to the WCWCD as lots to plan for, so adding these units to the monthly report will increase the number of future lots that the WCWCD will need to include in its plans for water supply and infrastructure.

Staff Comments: Sensitive Lands Application

The Sensitive Land Application requires the following items:

10-24-5: HILLSIDES AND RIDGE AREAS:

A. Applicability: The following procedures, submittal requirements and standards shall apply to those projects located on lands identified as having at least one of the following characteristics:

1. Slopes over ten percent (10%) which are:

a. Identified through computer generated programs capable of calculating slopes on topographic maps prepared with two foot (2') contour interval accuracy; or

b. Established by profile lines drawn perpendicular to contour lines at intervals no greater than one hundred fifty feet (150') apart, when the slope, measured along any one hundred foot (100') segment of the profile line is ten percent (10%) or greater. (See section 10-24-9, appendix diagram A, of this chapter.)

c. A slope shall be subject to this chapter only when a contiguous identified area of ten percent (10%) or greater exceeds two (2) acres, or if the site is less than one acre and the entire site is ten percent (10%) or greater.

2. Soils Investigation Report: A soils investigation report which contains the following information:

a. Nature, distribution and classification (unified soil classification) of existing soils to the appropriate depth of influence by the proposed development, but not less than ten feet (10') deeper than the proposed excavations or to bedrock.

b. Strength of existing soils, bearing capacity of supporting soils, settlement estimates, collapse and shrink-swell characteristics, lateral pressures and trench excavation limitations.

c. Groundwater levels that may affect development and estimated elevation of high groundwater levels.

d. Appropriate laboratory testing for classification, consistency, strength and consolidation conditions.

e. Slope stability.

f. A written statement by the geotechnical engineer, civil engineer, or geologist preparing the soils report describing the general suitability of the site for the owner's intended use. The report shall identify soil constraints to development and shall state the professional opinion of the author as to whether the proposed development plan will mitigate and/or eliminate said constraints in a manner as to prevent hazard to life, hazard to property, and adverse effects. If the soil report prepared for a subdivision shows the presence of critically expansive soils, high water table, organic soils, liquefiable soils, collapsible soils, or other soil problems which, if not corrected, would lead to structural defects of the proposed buildings, damage to the building from

the water, or premature deterioration of the public improvements, a soil investigation of each lot in the subdivision shall be required by the city.

3. *Geotechnical Report: A geotechnical and geological report subject to the standards and requirements provided therein.*

4. *Grading And Drainage Plan: A grading and drainage plan report which includes stormwater management, erosion, and grading plans describing the methods by which surface water, natural drainage, erosion and sedimentation loss, and hydrologic hazards that will be controlled during and after construction. The plan shall include the following information:*

a. *The grading plan shall show present topography, including the location and depth of all proposed fills and cuts of finished earth surfaces, and/or use of retaining walls including height, using a contour interval of two feet (2') when grades are zero to twenty nine percent (0 - 29%) and five foot (5') contours when grades thirty percent (30%) and over.*

b. *The proposed area to be graded shall be clearly delineated on the plan.*

c. *All calculations and proposed details used for design and construction of debris basins, impoundments, diversions, dikes, waterways, drains, culverts and other water management or soil erosion control measures shall be shown. Drainage calculations shall determine runoff volume and peak discharge using the "rational method", "SCS curve number method", or appropriate equivalent. Data provided should include:*

(1) *Rainfall depth, duration and distribution;*

(2) *Watershed slope and drainage area delineation;*

(3) *Land condition of watershed surface;*

(4) *Topography of drainage area; and*

(5) *Soil descriptions in watershed. Erosion calculations shall employ predictions of soil loss sheet erosion using the universal soil loss equation or equivalent. Data to be provided should include factors of:*

(A) *Rainfall intensity and duration;*

(B) *Soil erodibility;*

(C) *Land slope and length of slope or topography;*

(D) *Condition of the soil surface and land management practices in use; and*

(E) *Surface cover, grass, pavements, etc.*

Analysis:

1. The applicant has generally done a good job of clustering development away from the steeper slopes within the property. It is also important to note that these slopes are characteristic of typical hillside terrain rather than unique geologic features; therefore, the level of concern and protection required is correspondingly lower.
2. Average slope per lot (as required by HCC 10-24-5 (C)) is not provided and needs to be provided to determine the minimum lot size.
3. Lot 1615 and 1822 shows substantial grading into slopes above 30% which should be considered a "no-build zone" (HCC 10-24-6), this needs to be avoided or mitigated.
4. The 30% slope along 2800 W appears to have been created during the construction of the roadway, as it does not appear in slope maps that predate the road's construction. As this is manmade it is more acceptable to disrupt the slope, however the applicant is proposing substantial grading in the area between 1812 and 1501 which could potentially be mitigated.
5. Details on retaining walls have not been provided. The applicant should be aware of the maximum height of retaining walls in HCC 10-24-8(C).

6. The applicant or their engineer can request an alternative solution to any of these concerns under the code section *10-24-3* highlighted in yellow below:

10-24-3: DETERMINATION OF APPLICABILITY:

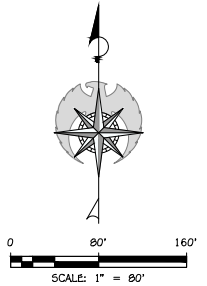
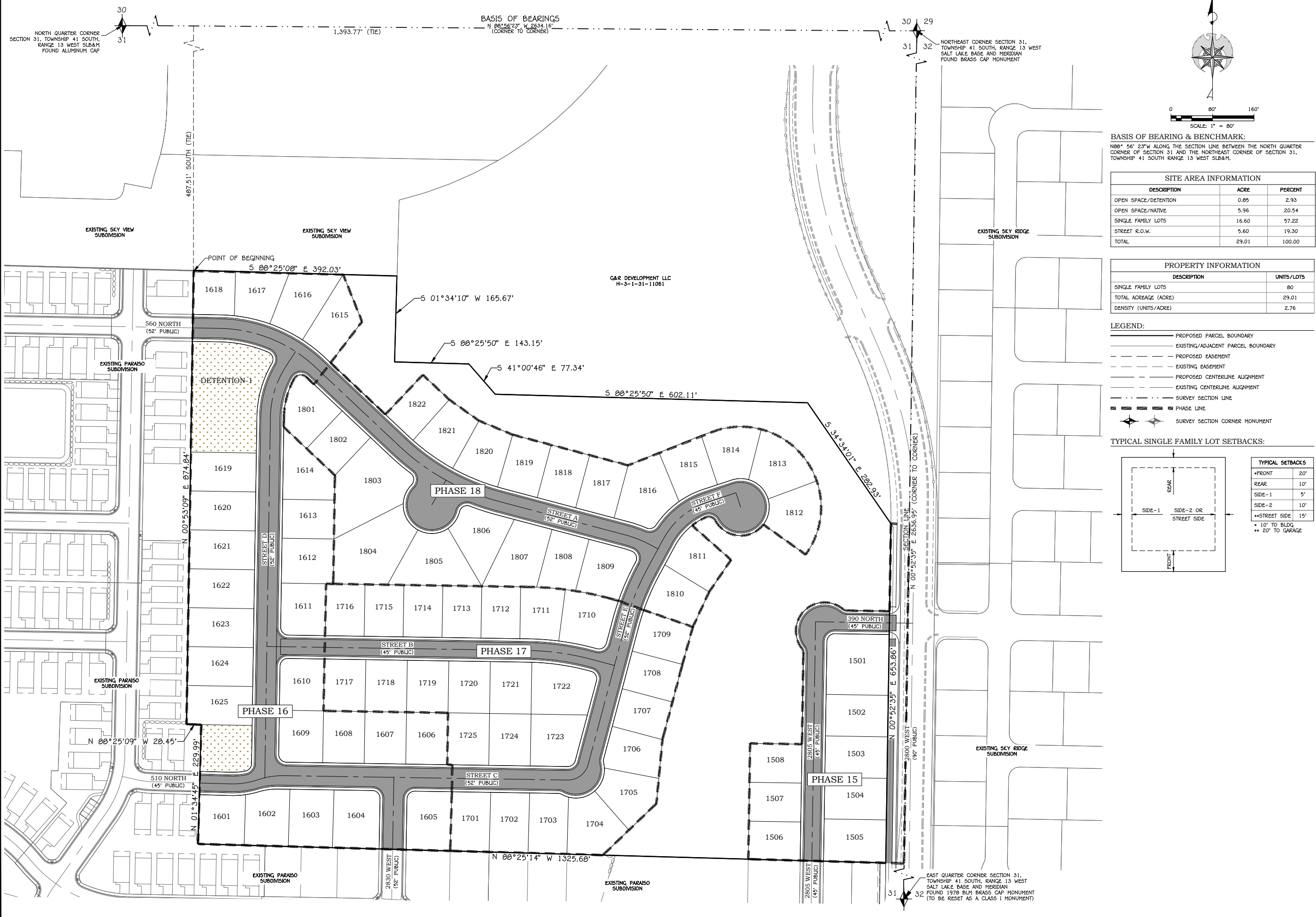
G. Exceptions: Exceptions to the provisions of this chapter may be granted by the city council upon recommendation from the planning commission when:

1. *An alternative solution is proposed for the protection of the sensitive land, based on sound and generally accepted engineering and land development principles, and said alternative will result in equal or better protection than development under the standards of this chapter; and is consistent with the purposes of this chapter. The alternative shall also be consistent with the general plan policies affecting sensitive lands;*

2. *The size of the parcel existing before the effective date of the adoption of this chapter is determined by the planning commission to be too small to effectively apply the provisions of this chapter, and conditions can be added to the project to minimize safety and general welfare concerns.*

3. *The parcel is zoned for a nonresidential use and the planning commission determines the site requires grading inconsistent with the provisions of this chapter, and conditions can be added to the project to minimize safety and general welfare concerns. (Ord. 2014-6, 5-1-2014)*

Recommendation: Staff recommends the Planning Commission review this application based on standards within the Hurricane City Code. Staff is overall supportive of the application but would request the applicant take the time to review and respond to the issues raised in the sensitive lands review before the Planning Commission makes a recommendation to the City Council. If not addressed prior, staff recommends tabling the item.

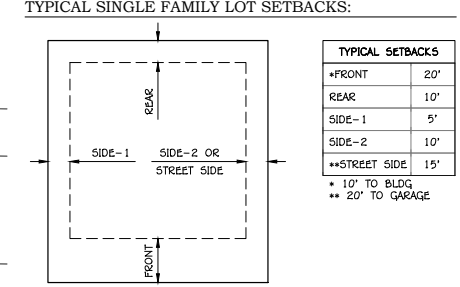


BASIS OF BEARING & BENCHMARK:
 $N 00^{\circ} 56' 23'' W$ ALONG THE SECTION LINE BETWEEN THE NORTH QUARTER CORNER OF SECTION 31 AND THE NORTHEAST CORNER OF SECTION 31, TOWNSHIP 41 SOUTH RANGE 13 WEST SLB&M.

SITE AREA INFORMATION		
DESCRIPTION	ACRE	PERCENT
OPEN SPACE/DETENTION	0.85	2.93
OPEN SPACE/NATIVE	5.96	20.54
SINGLE FAMILY LOTS	16.60	57.22
STREET R.O.W.	5.60	19.30
TOTAL	29.01	100.00

PROPERTY INFORMATION	
DESCRIPTION	UNITS/LOTS
SINGLE FAMILY LOTS	80
TOTAL ACREAGE (ACRE)	29.01
DENSITY (UNITS/ACRE)	2.76

- LEGEND:**
- PROPOSED PARCEL BOUNDARY
 - EXISTING/ADJACENT PARCEL BOUNDARY
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - PROPOSED CENTERLINE ALIGNMENT
 - EXISTING CENTERLINE ALIGNMENT
 - SURVEY SECTION LINE
 - PHASE LINE
 - SURVEY SECTION CORNER MONUMENT



REVISIONS

NO.	DATE	DESCRIPTION

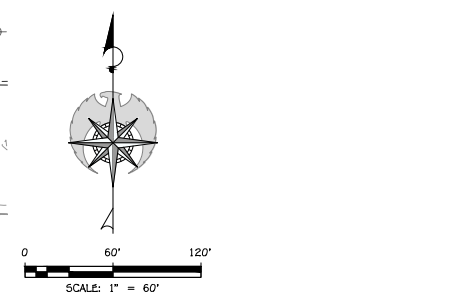
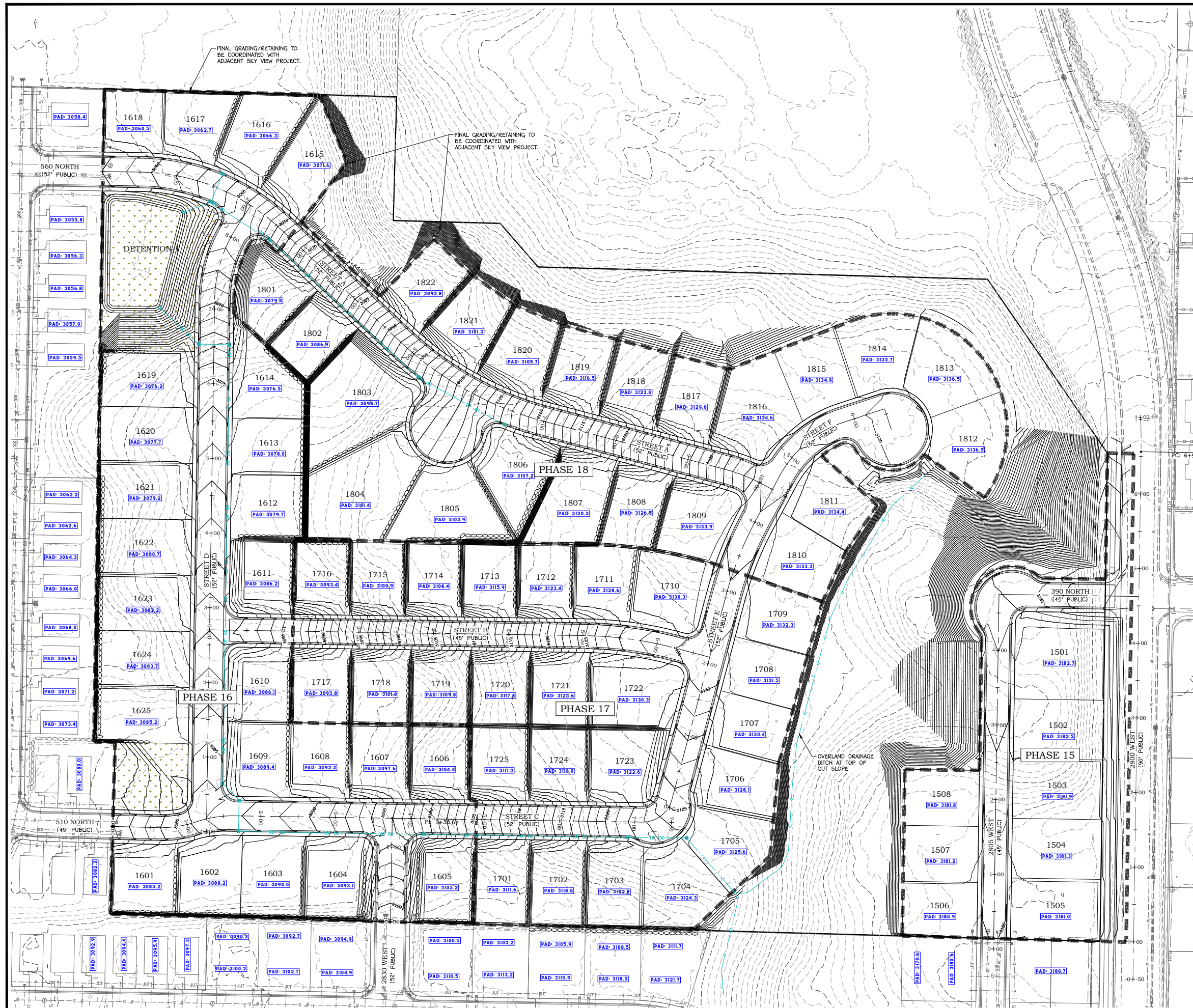
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



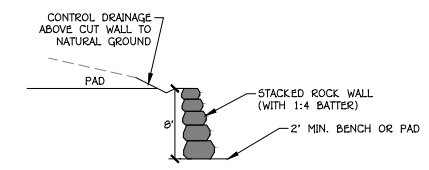
PARAIISO PHASE 15-18
 SECTION 31 TOWNSHIP 41 S, RANGE 13 W SLB&M
 HURRICANE, UTAH
OVERALL SITE PLAN
 PRELIMINARY PLAT

JOB # 25-038
 DRAWN BY: CDF
 CHECKED BY: ARC
 DATE: 10/22/2025

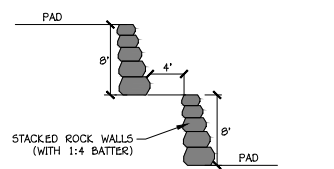
P.1.2
 SHEET 2 OF 12



- LEGEND:**
- PROPOSED PARCEL BOUNDARY
 - EXISTING/ADJACENT PARCEL BOUNDARY
 - PROPOSED CENTERLINE ALIGNMENT
 - EXISTING CENTERLINE ALIGNMENT
 - PHASE LINE
 - PROPOSED SINGLE TIER ROCK RETAINING WALL
 - EXISTING SINGLE TIER ROCK RETAINING WALL
 - PROPOSED 2 TIER ROCK RETAINING WALL
 - EXISTING 2 TIER ROCK RETAINING WALL
 - 3000 EXISTING GROUND MAJOR CONTOUR
 - 3001 EXISTING GROUND MINOR CONTOUR
 - 3000 FINISH GROUND MAJOR CONTOUR
 - 3001 FINISH GROUND MINOR CONTOUR



A SINGLE ROCK RETAINING WALL SECTION
SCALE: NTS



B 2 TIER ROCK RETAINING WALL SECTION
SCALE: NTS

SITE GEOTECHNICAL CONSTRAINTS	
HAZARD	DESCRIPTION
FAULTS	N/A
LANDSLIDE	L-LOW: AREAS WHERE CATEGORY 0 GEOLOGICAL UNITS CROP OUT ON SLOPES GREATER THAN 30 PERCENT (16.7°)
LIQUEFACTION	H2-HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
ROCKFALL	L-LOW ROCK-FALL-HAZARD AREAS
BRECCIA PIPES AND PALEOKARST	N/A
CALICHE	HAS CALICHE. FOR A DETAILED EXPLANATION OF THE CONTENTS OF THIS MAP, CONTACT THE HURRICANE PLANNING DEPARTMENT FOR A COPY OF SPECIAL STUDY 127.
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSEFEROUS SOIL AND ROCK	N/A
PIPING AND EROSION	P&E-SOILS SUSCEPTIBLE TO PIPING AND EROSION
SHALLOW BEDROCK	BRH-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY < 10' BENEATH SOIL COVER
SHALLOW GROUND WATER	N/A
WIND-BLOWN SAND	WBSL-LOW: MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT & WBSH-HIGH: MODERN SAND-DUNE OR SHEET-SAND DEPOSITS
WITHIN TORTOISE TAKE AREA?	NO

NO.	DATE	DESCRIPTION

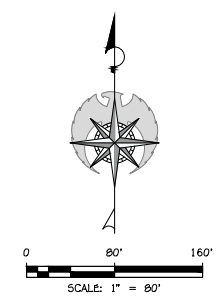
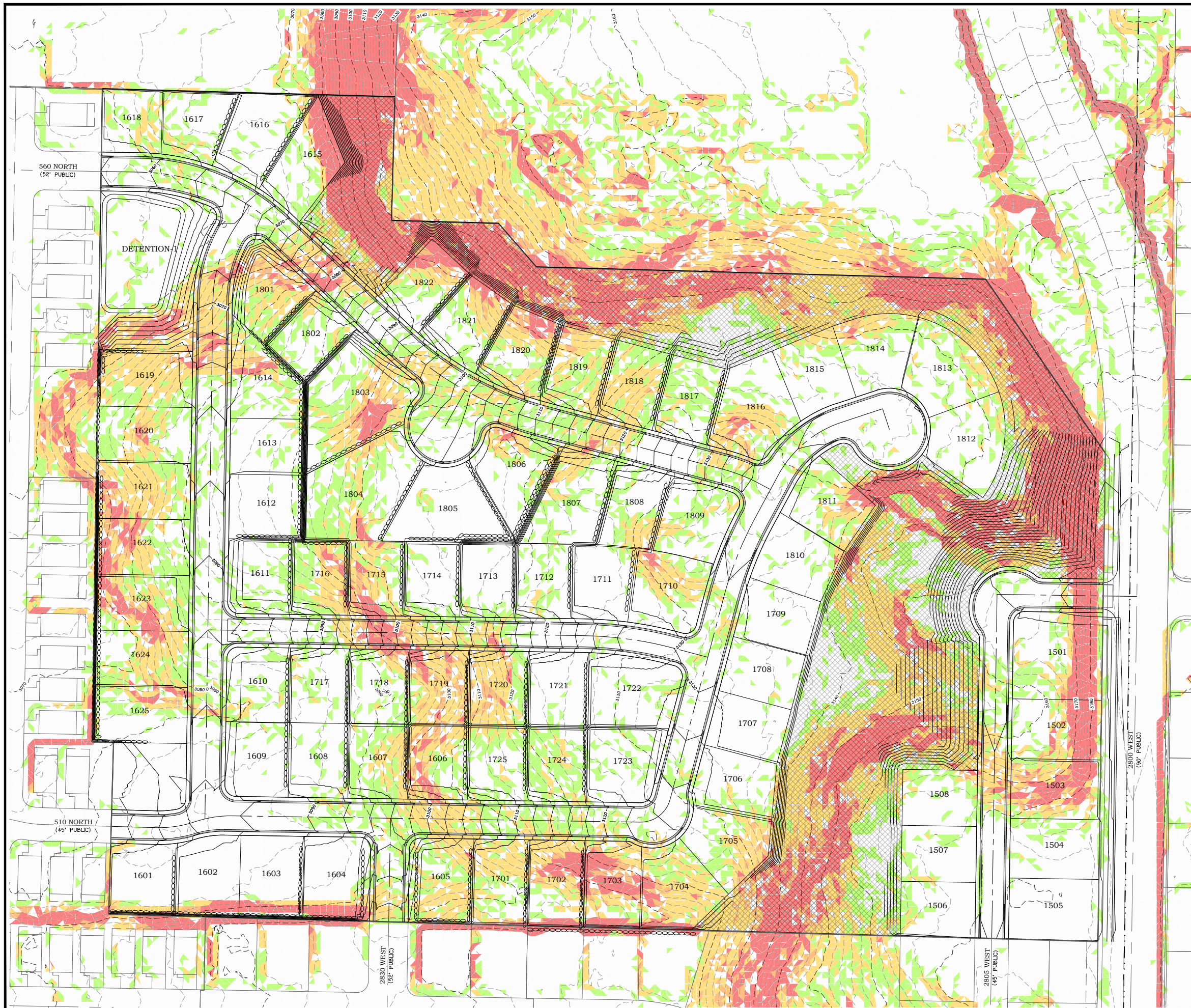
**PRELIMINARY
NOT FOR
CONSTRUCTION**



PARAISO PHASE 15-18
SECTION 31 TOWNSHIP 41 S, RANGE 13 W SLB&M
HURRICANE, UTAH
OVERALL GRADING PLAN
PRELIMINARY PLAN

JOB # 25-038
DRAWN BY: CDF
CHECKED BY: ARC
DATE: 10/22/2025

P.1.4
SHEET 4 OF 12



- LEGEND:**
- PROPOSED PARCEL BOUNDARY
 - - - EXISTING/ADJACENT PARCEL BOUNDARY
 - - - PROPOSED CENTERLINE ALIGNMENT
 - - - EXISTING CENTERLINE ALIGNMENT
 - ○ ○ ○ ○ PROPOSED SINGLE TIER ROCK RETAINING WALL
 - ○ ○ ○ ○ EXISTING SINGLE TIER ROCK RETAINING WALL
 - ○ ○ ○ ○ PROPOSED 2 TIER ROCK RETAINING WALL
 - ○ ○ ○ ○ EXISTING 2 TIER ROCK RETAINING WALL
 - - - 3000 - - - EXISTING GROUND MAJOR CONTOUR
 - - - 3001 - - - EXISTING GROUND MINOR CONTOUR
 - - - 3000 - - - FINISH GROUND MAJOR CONTOUR
 - - - 3001 - - - FINISH GROUND MINOR CONTOUR
 - 0% TO 10%
 - 10% TO 15%
 - 16% TO 25%
 - 26% TO 29%
 - SLOPES ≥ 30%
 - NATIVE OPEN SPACE, MINIMAL DISTURBANCE

REVISIONS

NO.	DATE	DESCRIPTION



PARAISO PHASE 15-18
 SECTION 31 TOWNSHIP 41 S, RANGE 13 W SLB&M
 HURRICANE, UTAH
DEVELOPMENT PLAN
 SENSITIVE LAND APPLICATION

JOB # 25-038
 DRAWN BY: CDF
 CHECKED BY: ARC
 DATE: 10/22/2025

C.1.1
 SHEET 1 OF 2

Zions Gate Condominiums Preliminary Site Plan Narrative

The proposed Zions Gate Condominiums project consists of 127 residential condominium units and a storage facility, located within a 6.96-acre parcel in Hurricane City, Utah. The project is designed under the RM-3 zoning designation, which allows up to 15 units per acre. When including the area to the centerlines of the surrounding rights-of-way, the effective site area totals approximately 8.5 acres, resulting in a density of 15 units per acre.

The development is divided into two phases, each containing 60 units. The site features a variety of amenities including a 20'x40' pool, 10'x10' hot tub, 30'x30' splash pad, BBQ area, and multiple open space areas for residents. Access will be provided from Resort Drive and Gateway Boulevard, with on-site parking and internal circulation designed to accommodate residents and visitors. Stormwater will be detained at the Gateway Park Detention Basin D1 per the Gateway at Sand Hollow Drainage Report (May 9, 2023).

The project will be served by Hurricane City Water and the Ash Creek Special Service District for sewer. All major utilities, including power, gas, and communications, are available and will be extended to serve the site.



October 24, 2025

Hurricane City
Gary Cupp
127 N. 870 W.
Hurricane, UT 84737

Subject: Zions Gate Condominiums

Gary,

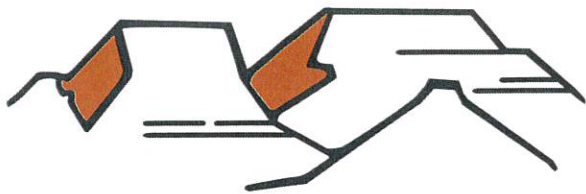
There is sewer capacity for this project. The developers understand and agree that they will need to get plan approval for the sewer system.

After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Amber Gillette".

Amber Gillette, P.E.
Engineer
Ash Creek Special Service District



WATER
HURRICANE CITY
UTAH

Ken Richins, Superintendent

October 24, 2025

To Whom It May Concern:

Vince Blackmore (the "Developer") has requested a culinary water will serve letter for the subdivision known as Zions Gate Condominiums, located at approximately 3770 W Jellystone Road in Hurricane, Utah (the "Project").

Infrastructure

The City currently has infrastructure to supply culinary water in the general vicinity of the Project. However, Developer will be responsible to connect the Project to the existing water infrastructure, including the installation of infrastructure in dedicated public streets and as otherwise required to meet City standards. A looped water system will be required. In addition, Developer may be required to obtain and supply a hydraulic water study to ensure the water system will deliver required fire flows and provide adequate storage.

Water Supply

As of the date of this letter, the City has adequate water to supply water to 120 residential connections within the Project. However, water within the City is a finite resource with limited supply. The ability of the City to supply water to previously approved projects, as well as continue to serve additional water customers, is contingent on water supplies being available from the Washington County Water Conservancy District (the "Conservancy District"). Therefore, the City's statements in this letter regarding the adequacy of water supply is (1) contingent on water being available from the Conservancy District and (2) shall expire one year from the date of this letter, after which a renewed will serve letter will be required for any property or lot that has not obtained a metered connection to the City's culinary water system. Developer is encouraged to obtain a guarantee of water from the Conservancy District.

General Requirements

In addition to the requirements and limitations described above, Developer shall be required to comply with all applicable laws, ordinances, policies, and construction and design standards. These requirements include, but are not limited to, secondary water system requirements and any obligations described in an applicable development agreement. The Water Department will withhold any approval of the proposed Project until all the requirements and conditions of this letter are met as determined by the Water Department.

Sincerely,

Kory Wright
Water Department Supervisor

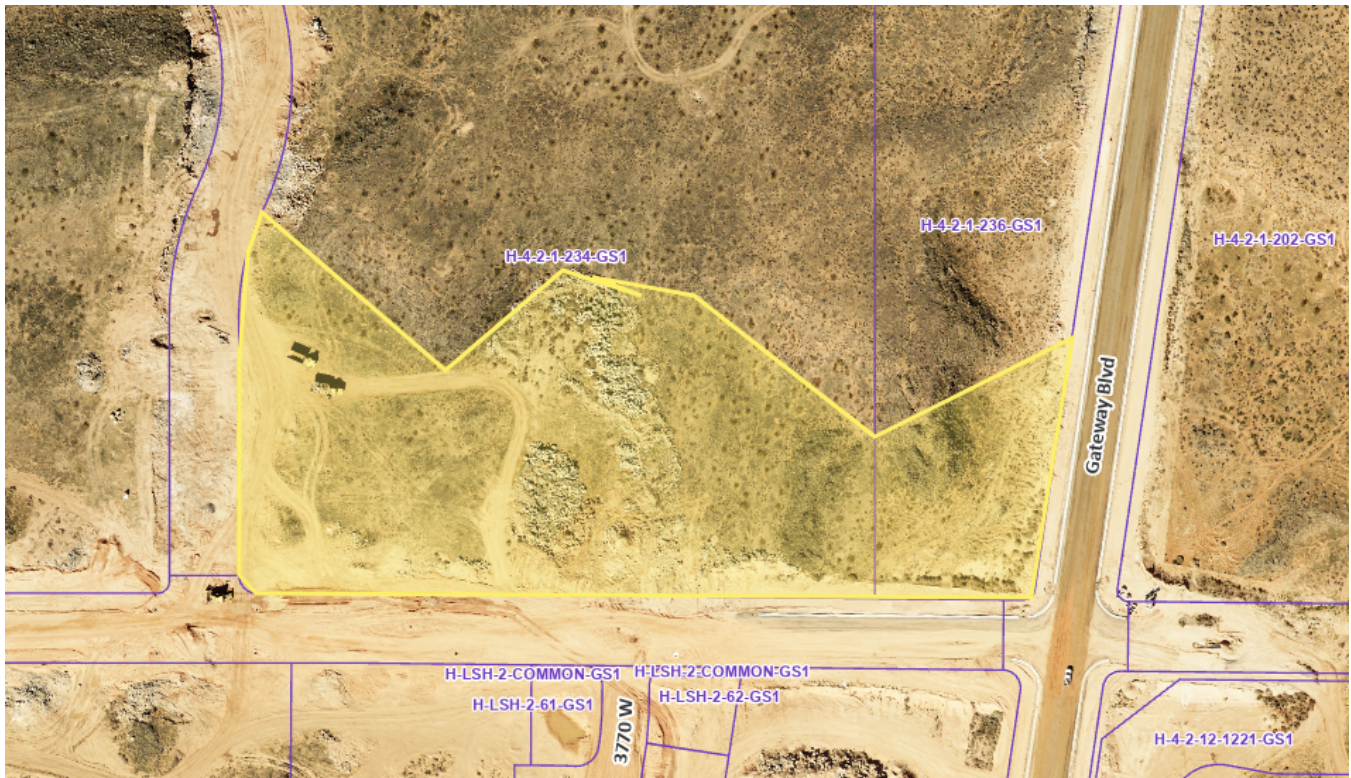


STAFF COMMENTS

Agenda Date:	11/13/2025
Application Number:	PP25-33 PSP25-25
Type of Application:	Preliminary Plat and Site Plan
Action Type:	Administrative
Applicant:	Vince Blackmore
Agent:	Karl Rasmussen
Request:	Approval of a Preliminary Plat and Site Plan.
Location:	3700 W 1120 S
Zoning:	RM-3
General Plan Map:	Planned Community
Recommendation:	Pending
Report Prepared by:	Fred Resch III

Discussion:

The applicant has filed a preliminary plat and site plan for Zion’s Gate Condominiums, a 127-unit multifamily development located east of Gateway Drive and north of Jellystone Drive. The project includes walking paths, open space, and other amenities for residents. While the development is titled as “condominiums,” the site design, with individual driveways and unit access, more closely resembles what is typically referred to as townhomes. This area was rezoned RM-3 as part of the Gateway at Sand Hollow Resort development to the north.



Vicinity Map

JUC Comments

The following items will need to be addressed:

1. **Public Works:**
2. **Power:** Dixie Power area.
3. **Sewer:** Approve.
4. **Street:** [No comments received.]
5. **Water:** Private or Public? Irrigation Connections? Pipe Types?
6. **Engineering:** Traffic circulation at the northwest intersection looks questionable. How does the applicant imagine regulating this area (HCC 10-7-10(D)(2)(a)(4))? Construction plans must show sufficient sight distance is provided at the proposed Resort Drive access (HCS 3.2.4.12 & AASHTO 9.5.3(Case B)). Will there be a perimeter fence/wall? Although the proposed grading isn't shown, it will most likely extend beyond the proposed subdivision boundary near building B and building L. The preliminary plat fails to provide an accurate boundary legal description (HCC 10-39-7 (B)(2)). The boundary should match the existing road dedications; a new point of beginning is suggested to simplify the legal description. Although the proposed grading isn't shown, it will most likely extend beyond the proposed subdivision boundary near building B and building L. Common area? Please use USC 57-8-3 nomenclature (HCC 10-39-7(C)(3)). Water loop must be completed with phase 1 (HCS 3.6.4) and water mains on private property must be ductile iron regardless of size (HCS 4.4.1.4(d)). Contour elevations must be labeled (HCC 10-39-7(B)(7)). A traffic impact study will be required due to the site's proximity to the intersection of Gateway Boulevard and Jellystone Road (HCS 3.9.2) The Gateway at Sand Hollow Traffic Impact Study (dated December 2022) recommended a roundabout or traffic signal at said

intersection. Condominium plats require a vertical element to fully define the lot layout (USC 57-8-13(1)(a)(iii)). Please supply conceptual building cross sections (HCC 10-39-7(C)(2)). The Joint Utility Committee would appreciate the additional information for planning how to serve each lot. Will there be a common utility room, common breezeway, how many stories? The proposed building separation fails to meet RM-3 development standards. separation between buildings must be 20' minimum (HCC 10-13-4). Front garage setbacks must be 22' (HCC 10-13-4(table 10-13-2)). It appears site parking is insufficient without garages or a parking modification (HCC 10-34-10(A)(table 10-34-1) & HCC 10-34-9(E), respectively). Residential developments served by private driveways merit at least one sidewalk connected to regional networks and along vehicle routes (HCS 3.2.4.6(a) & HCC 10-33-5(h)). Proposed cross sections for the driveways and utility easements/corridors must be included in the site construction plans (HCC 10-39-7(c)(1,4,5&13)). The narrowest public utility easement where all four (4) typical utilities (power, water, sewer, and gas) are located must be forty-six foot (46') wide (56' minimum at power equipment)(HCS 3.5.1).

7. **Fire:** Approve.
8. **Cable:** Approve.
9. **Gas:** Approve.
10. **Water Conservancy:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the proposed plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments: Preliminary Site Plan and Plat

1. The property is zoned RM-3, which allows a maximum density of 15 dwelling units per acre. The developable area of the site is approximately 6.96 acres, with a total area of 8.5 acres including adjacent major roadways. The proposed 127 units are within the maximum density permitted by the RM-3 zoning. The applicant appears to have used the PDO setbacks for this development instead of the base RM-3 setbacks. The site plan needs to have a 20' building separation and a 22' front setback.
2. **Parking:** Parking is required at a rate of 2 spaces per unit (see Hurricane City Code (HCC) 10-34-10). Each unit appears to be depicted with a one car driveway and there are 25 additional parking spaces on site near the amenity area. More detail on the parking for this development is needed.
3. **Open Space and Amenities:** Per HCC 10-33-5(9), open landscaped space shall be 20% of the development. No information is given regarding the amount of open landscaped space, although the site plan appears to depict sufficient open space. A development of this size requires four amenities (HCC 10-33-5); they are proposing a pool, hot tub, splash pad, BBQ areas, and open space amenities to meet this code. Additional detail on how the open space areas will be programmed should be provided.
4. All park strips will need to be landscaped and have the proper improvements.

5. **Sensitive Lands:** There are hillsides in the area, although the development, for the most part, clusters away from the hillside. The applicant will need to take into account HCC 10-24-8 in the grading plan for the development.
6. **Water use:** To assist the Washington County Water Conservancy District (WCWCD) as the city's wholesale water provider under the 2006 Regional Water Supply Agreement, Hurricane City and other cities report monthly the number of final platted lots, preliminary platted lots, lots subject to development agreements, and lots within PID taxing areas. These numbers help the WCWCD plan for future water needs and inform the WCWCD's 20-year plan to supply water to the growing County. As part of the Gateway to Sand Hollow Public Infrastructure District this development's 127 units have already been reported to WCWCD.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Assuming the applicant can clarify the parking for the development and update the site plan to meet setbacks, staff would recommend approval subject to staff and JUC comments, but if not addressed prior, staff recommends tabling the item.

PRELIMINARY PLAT & SITE PLAN FOR: ZIONS GATE CONDOMINIUMS

LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

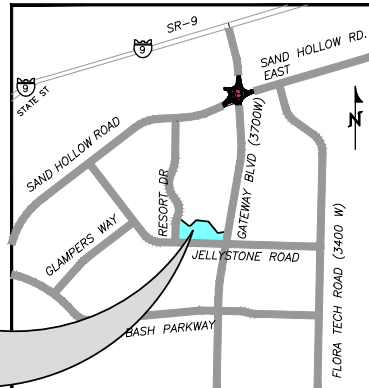
SITE DATA

TOTAL AREA	303,173.90 SQ. FT.	6.96 ACRES
PHASE 1 AREA	166,058.23 SQ. FT.	3.81 ACRES
PHASE 2 AREA	137,115.67 SQ. FT.	3.15 ACRES
AREA TO CENTERLINE OF SURROUNDING ROADS		8.5 ACRES
TOTAL PARKING STALLS	25 STANDARD, 2 ADA	9'x18'
10 PLEX BUILDING	6 IN PHASE 2, 4 IN PHASE 1	50'x130'
STORAGE BUILDING	1 IN PHASE 2	50'x130'
8 PLEX BUILDING	2 IN PHASE 1	50'x130'
2 PLEX BUILDING	2 IN PHASE 1	50'x50'
TOTAL RESIDENTIAL UNITS	65 UNITS IN PHASE 1, 62 IN PHASE 2	127 UNITS

OWNER / DEVELOPER

VINCE BLACKMORE
VNBBLACKMORE@GMAIL.COM
435-680-4514

PROJECT LOCATION



VICINITY MAP

N.T.S.

GEOLOGICAL NARRATIVE:

Qbv: VOLCANO MOUNTAIN LAVA FLOW (MIDDLE PLEISTOCENE)

MEDIUM- TO DARK-GRAY TO GRAYISH-BLACK, FINE- TO MEDIUM-GRAINED ALKALI BASALT (QBV) WITH SPARSE OLIVINE PHENOCRYSTS; ERUPTED FROM A VENT AT VOLCANO MOUNTAIN (QVVC) SOUTHWEST OF HURRICANE; DIVISIBLE INTO THREE SEPARATE FLOWS (BIK, 2003A, 2003B); YOUNGEST AND MIDDLE-LEVEL FLOWS YIELDED 40AR/39AR AGES OF 0.258 ± 0.024 MA AND 0.353 ± 0.045 MA, RESPECTIVELY (SANCHEZ, 1995), IN ACCORD WITH K-AR AGES OF 0.289 ± 0.085 AND 0.303 ± 0.30 (BEST AND OTHERS, 1980) ON THE MIDDLE-LEVEL FLOW; MIDDLE-LEVEL FLOW IS DISPLACED ABOUT 240 FEET (73 M) BY THE HURRICANE FAULT AT TIMPOWEAP CANYON AND LOCALLY HAS PILLOW BASALT AT ITS BASE; THE OLDEST LAVA FLOW FLOWED ABOUT 8 MILES (13 KM) DOWN THE VIRGIN RIVER; LAVA FLOWS ARE GENERALLY 35 TO 45 FEET (11-14 M) THICK AND FORM ROUGH, BLOCKY SURFACES, BUT THE MIDDLE-LEVEL FLOW IS AS MUCH AS 170 FEET (50 M) THICK WHERE IT FILLS THE ANCESTRAL VIRGIN RIVER CHANNEL.

Qoe: ALLUVIAL AND EOLIAN DEPOSITS (HOLOCENE TO UPPER PLEISTOCENE)

MODERATELY SORTED GRAVEL, SAND, AND SILT DEPOSITED IN SMALL CHANNELS AND ON ALLUVIAL FLATS, AND WELL-SORTED, FINE- TO MEDIUM-GRAINED, REDDISH-BROWN EOLIAN SAND LOCALLY REWORKED BY ALLUVIAL PROCESSES; YOUNGER DEPOSITS (QAE) FORM ACTIVE DEPOSITIONAL SURFACES, WHEREAS OLDER DEPOSITS (QAO) TYPICALLY FORM INCISED, INACTIVE SURFACES; AS MUCH AS ABOUT 20 FEET (6 M) THICK.

LEGAL DESCRIPTION OF PARCEL

COMMENCING AT THE SOUTH QUARTER (1/4) CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE SOUTH SECTION LINE OF SAID SECTION 1, S88°17'53"E 736.29 FEET; THENCE NORTH 42.02 FEET TO THE WEST BOUNDARY OF GATEWAY BOULEVARD (WASHINGTON COUNTY RECORDER #20230036794) AND TO THE POINT OF BEGINNING; THENCE ALONG SAID BOUNDARY, N88°17'53"W 22.06 FEET TO THE NORTH BOUNDARY OF JELLYSTONE ROAD (WASHINGTON COUNTY RECORDER #20230036797); THENCE ALONG SAID BOUNDARY THE FOLLOWING THREE (3) COURSES: (1) N88°17'53"W 713.16 FEET; (2) N88°46'40"W 114.49 FEET; (3) NORTHWESTERLY ALONG THE ARC OF A 19.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 30.80 FEET, THROUGH A CENTRAL ANGLE OF 89°55'27" (LONG CHORD BEARS: N43°48'56"W 27.56 FEET) TO THE EAST BOUNDARY OF RESORT DRIVE (WASHINGTON COUNTY RECORDER #20230036798); THENCE ALONG SAID BOUNDARY THE FOLLOWING THREE (3) COURSES: (1) N01°08'48"E 286.87 FEET; (2) NORTHERLY ALONG THE ARC OF A 265.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 117.32 FEET, THROUGH A CENTRAL ANGLE OF 28°21'57" (LONG CHORD BEARS: N1°49'46"E 116.16 FEET); (3) NORTHEASTERLY ALONG THE ARC OF A 346.89 FOOT RADIUS REVERSE CURVE TO THE LEFT A DISTANCE OF 25.14 FEET, THROUGH A CENTRAL ANGLE OF 04°09'07" (LONG CHORD BEARS: N2°26'11"E 25.13 FEET); THENCE S66°00'28"E 33.32 FEET; THENCE S51°34'26"E 192.64 FEET; THENCE S86°39'21"E 32.63 FEET; THENCE N46°04'27"E 141.70 FEET; THENCE S83°20'16"E 215.19 FEET; THENCE S39°23'28"E 32.63 FEET; THENCE N82°06'53"E 174.55 FEET; THENCE S80°30'57"E 7.87 FEET TO THE WEST BOUNDARY OF GATEWAY BOULEVARD (WASHINGTON COUNTY RECORDER #20230036794); THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) COURSES: (1) S09°32'02"W 221.24 FEET; (2) SOUTHWESTERLY ALONG THE ARC OF A 12.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 17.93 FEET, THROUGH A CENTRAL ANGLE OF 82°10'05" (LONG CHORD BEARS: S50°37'04"W 16.43 FEET) TO THE POINT OF BEGINNING.

AREA CONTAINS 303,174 SQUARE FEET OR 6.960 ACRES.

GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2 - HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING	ZONE X - AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND FALEOKARST	NONE
CALICHE	CA - CALICHE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSEFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING AND EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY ≤10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW: MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT
SHALLOW GROUND WATER	NONE

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

ADDITIONAL NOTES

STORM WATER FROM SITE WILL BE COLLECTED AND DETAINED AT THE GATEWAY PARK DETENTION BASIN D1 PER GATEWAY AT SAND HOLLOW DRAINAGE REPORT, DATED: MAY 9, 2023.

THERE ARE NO IRRIGATION FACILITIES.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

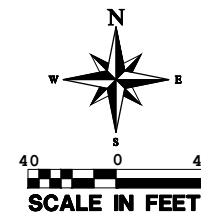
OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

PROPERTY IS ZONED AS RM-3: MULTI-FAMILY - 15 UNITS PER ACRE

LEGEND

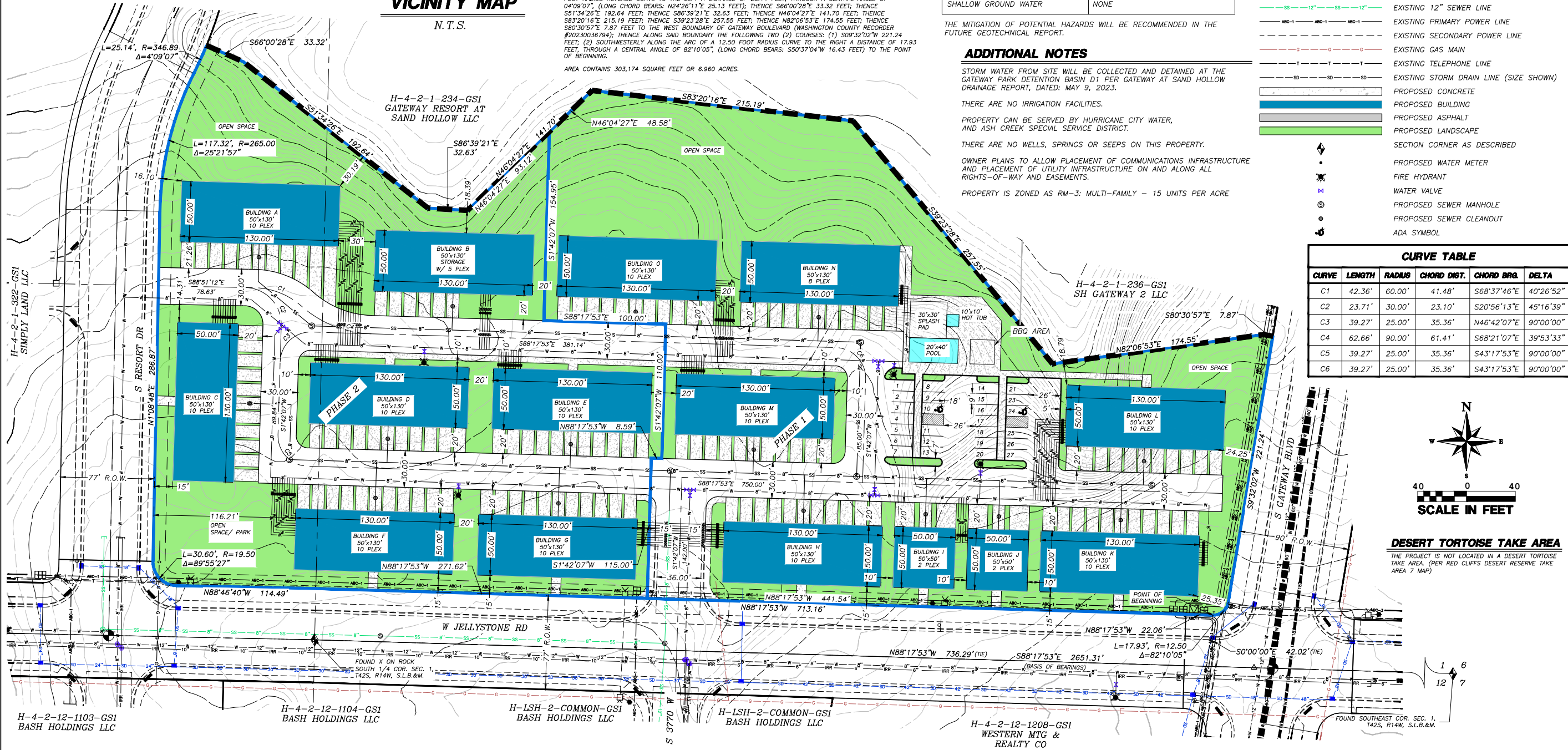
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTER LINE
	SECTION LINE
	SECTION TIE
	PHASE LINE
	10' PUBLIC UTILITY EASEMENT
	PROPOSED RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING 1' MINOR CONTOUR
	EXISTING 5' MAJOR CONTOUR
	PROPOSED 8" WATER LINE
	PROPOSED 1" FIRE LINE
	PROPOSED 3/4" WATER METER LINE
	PROPOSED 8" SEWER MAIN
	PROPOSED 6" SEWER LATERAL
	EXISTING 12" WATER LINE
	EXISTING 8" WATER LINE
	EXISTING 60" WATER LINE
	EXISTING 18" WATER LINE
	EXISTING 6" IRRIGATION LINE
	EXISTING 10" IRRIGATION LINE
	EXISTING 8" SEWER LINE
	EXISTING 12" SEWER LINE
	EXISTING PRIMARY POWER LINE
	EXISTING SECONDARY POWER LINE
	EXISTING GAS MAIN
	EXISTING TELEPHONE LINE
	EXISTING STORM DRAIN LINE (SIZE SHOWN)
	PROPOSED CONCRETE
	PROPOSED BUILDING
	PROPOSED ASPHALT
	PROPOSED LANDSCAPE
	SECTION CORNER AS DESCRIBED
	PROPOSED WATER METER
	FIRE HYDRANT
	WATER VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	ADA SYMBOL

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	42.36'	60.00'	41.48'	S68°37'46"E	40°26'52"
C2	23.71'	30.00'	23.10'	S20°56'13"E	45°16'39"
C3	39.27'	25.00'	35.36'	N46°42'07"E	90°00'00"
C4	62.66'	90.00'	61.41'	S68°21'07"E	39°53'33"
C5	39.27'	25.00'	35.36'	S43°17'53"E	90°00'00"
C6	39.27'	25.00'	35.36'	S43°17'53"E	90°00'00"



DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA. (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)



NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

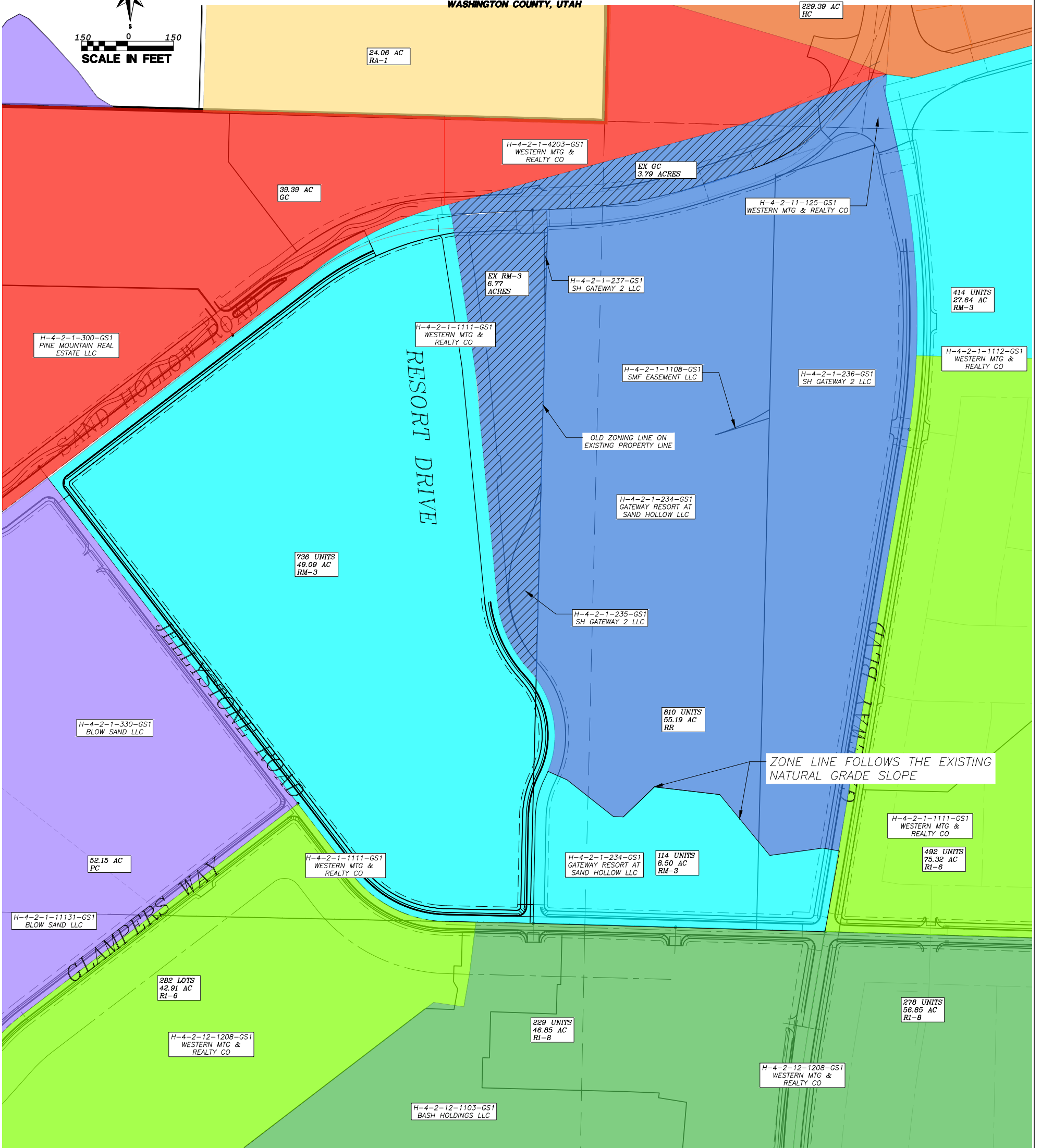
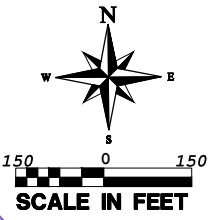


PRELIMINARY PLAT & SITE PLAN FOR:
ZIONS GATE CONDOMINIUMS
LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	11/03/2025
SCALE	1"=40'
JOB NO.	230-017
SHEET NO.	1 OF 1

ZONE CHANGE MAP FOR: GATEWAY TO SAND HOLLOW

LOCATED ON SAND HOLLOW RD, HURRICANE
WASHINGTON COUNTY, UTAH



PROPOSED ZONE LEGEND:

- RR: RECREATIONAL RESORT ZONE
- RA-1: RESIDENTIAL AGRICULTURE - 1 ACRE
- R1-8: RESIDENTIAL - 1 UNIT PER 8,000 SQ. FT.
- R1-6: RESIDENTIAL - 1 UNIT PER 6,000 SQ. FT.
- RM-3: MULTI-FAMILY - 15 UNITS PER ACRE
- GC: GENERAL COMMERCIAL
- HC: HIGHWAY COMMERCIAL
- PC: PLANNED COMMERCIAL
- RM-3: EXISTING RM-3 ZONE: 6.77 ACRES
- GC: EXISTING GENERAL COMMERCIAL ZONE: 3.79 ACRES

LEGAL DESCRIPTION PARCEL H-4-2-1-1111-GS1

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S88°46'40"E 2155.28 FEET; THENCE N01°13'20"E 2345.55 FEET TO THE POINT OF BEGINNING; THENCE S15°13'38"E 39.05 FEET; THENCE S08°49'08"E 474.75 FEET; THENCE S07°31'47"E 18.28 FEET; THENCE S07°16'59"E 9.47 FEET; THENCE S05°25'22"E 162.60 FEET; THENCE S05°30'03"E 595.51 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 402.13 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 264.87 FEET, THROUGH A CENTRAL ANGLE OF 37°44'19" (LONG CHORD BEARS: S24°22'13"E 260.11 FEET); THENCE SOUTHEASTERLY ALONG THE ARC OF A 298.78 FOOT RADIUS REVERSE CURVE TO THE RIGHT A DISTANCE OF 166.04 FEET, THROUGH A CENTRAL ANGLE OF 31°50'25" (LONG CHORD BEARS: S27°19'10"E 163.91 FEET); THENCE SOUTHERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 322.41 FEET AND A RADIAL BEARING OF 57°28'17"W, A DISTANCE OF 223.49 FEET, THROUGH A CENTRAL ANGLE OF 39°43'04" (LONG CHORD BEARS: S08°19'49"W 219.05 FEET); THENCE SOUTHERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 297.91 FEET AND A RADIAL BEARING OF 56°00'10"E, A DISTANCE OF 122.26 FEET, THROUGH A CENTRAL ANGLE OF 23°30'48" (LONG CHORD BEARS: S12°14'26"W 121.40 FEET); THENCE S00°54'19"W 15.66 FEET; THENCE S01°09'45"W 329.51 FEET; THENCE N88°45'56"W 287.72 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 395.92 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 356.10 FEET, THROUGH A CENTRAL ANGLE OF 51°32'01" (LONG CHORD BEARS: N82°59'56"W 344.22 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A 3044.12 FOOT RADIUS REVERSE CURVE TO THE LEFT A DISTANCE OF 288.88 FEET, THROUGH A CENTRAL ANGLE OF 00°32'37" (LONG CHORD BEARS: N37°30'14"W 288.88 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A 141882.01 FOOT RADIUS REVERSE CURVE TO THE RIGHT A DISTANCE OF 1346.39 FEET, THROUGH A CENTRAL ANGLE OF 00°32'37" (LONG CHORD BEARS: N37°30'14"W 1346.39 FEET); THENCE N52°29'51"E 1071.18 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 253655.6882202 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 93.60 FEET, THROUGH A CENTRAL ANGLE OF 0°00'00" (LONG CHORD BEARS: N52°29'51"E 93.60 FEET); THENCE NORTHEASTERLY ALONG THE ARC OF A 1010.62 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 432.93 FEET, THROUGH A CENTRAL ANGLE OF 24°32'40" (LONG CHORD BEARS: N64°46'11"E 429.63 FEET); THENCE S15°13'38"E 39.05 FEET TO THE POINT OF BEGINNING.
AREA CONTAINS 2,152,132 SQUARE FEET OR 49.406 ACRES.

LEGAL DESCRIPTION NORTH PORTION OF PARCEL # H-4-2-1-234-GS1

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE S88°46'40"E ALONG THE SOUTH SECTION LINE, 2155.29 FEET; THENCE N01°13'20"E 2345.55 FEET TO THE POINT OF BEGINNING; THENCE N74°46'22"E 1018.35 FEET; THENCE N70°40'59"E 476.56 FEET; THENCE S03°28'39"W 65.85 FEET; THENCE S12°40'08"E 209.57 FEET; THENCE SOUTHERLY ALONG THE ARC OF A 2177.04 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 208.73 FEET, THROUGH A CENTRAL ANGLE OF 09°29'36" (LONG CHORD BEARS: S09°55'20"E 208.65 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 2763.17 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 444.57 FEET, THROUGH A CENTRAL ANGLE OF 09°13'06" (LONG CHORD BEARS: S02°33'59"E 444.09 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 2049.05 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 243.02 FEET, THROUGH A CENTRAL ANGLE OF 06°47'43" (LONG CHORD BEARS: S05°26'26"W 242.88 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 68602.63 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 1397.54 FEET, THROUGH A CENTRAL ANGLE OF 01°10'02" (LONG CHORD BEARS: S09°25'19"W 1397.51 FEET); THENCE N80°30'57"W 55.60 FEET; THENCE S82°06'53"W 174.55 FEET; THENCE N39°23'28"W 257.55 FEET; THENCE N83°20'18"W 215.19 FEET; THENCE S46°00'18"W 141.54 FEET; THENCE N86°39'21"W 32.86 FEET; THENCE N51°34'26"W 192.64 FEET; THENCE N66°00'28"W 68.15 FEET; THENCE NORTHERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 322.41 FEET AND A RADIAL BEARING OF N68°26'25"W, A DISTANCE OF 186.19 FEET, THROUGH A CENTRAL ANGLE OF 33°05'18" (LONG CHORD BEARS: N05°00'56"E 183.61 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 298.78 FEET AND A RADIAL BEARING OF 57°28'17"W, A DISTANCE OF 166.04 FEET, THROUGH A CENTRAL ANGLE OF 31°50'25" (LONG CHORD BEARS: N27°19'10"W 163.91 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A 402.13 FOOT RADIUS REVERSE CURVE TO THE RIGHT A DISTANCE OF 264.87 FEET, THROUGH A CENTRAL ANGLE OF 37°44'19" (LONG CHORD BEARS: N24°22'13"W 260.11 FEET); THENCE N05°30'03"W 595.51 FEET; THENCE N05°25'22"W 162.60 FEET; THENCE N07°16'59"W 9.47 FEET; THENCE N07°31'47"W 18.28 FEET; THENCE N08°49'08"W 474.75 FEET; THENCE N15°13'38"W 39.05 FEET TO THE POINT OF BEGINNING.
AREA CONTAINS 2,870,604 SQUARE FEET OR 65.900 ACRES.

LEGAL DESCRIPTION SOUTH PORTION OF PARCEL # H-4-2-1-234-GS1

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE S88°46'40"E ALONG THE SOUTH SECTION LINE, 2155.29 FEET; THENCE N01°13'20"E 2345.55 FEET TO THE POINT OF BEGINNING; THENCE N74°46'22"E 1018.35 FEET; THENCE N70°40'59"E 476.56 FEET; THENCE S03°28'39"W 65.85 FEET; THENCE S12°40'08"E 209.57 FEET; THENCE SOUTHERLY ALONG THE ARC OF A 2177.04 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 208.73 FEET, THROUGH A CENTRAL ANGLE OF 09°29'36" (LONG CHORD BEARS: S09°55'20"E 208.65 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 2763.17 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 444.57 FEET, THROUGH A CENTRAL ANGLE OF 09°13'06" (LONG CHORD BEARS: S02°33'59"E 444.09 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 2049.05 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 243.02 FEET, THROUGH A CENTRAL ANGLE OF 06°47'43" (LONG CHORD BEARS: S05°26'26"W 242.88 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 68602.63 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 1397.54 FEET, THROUGH A CENTRAL ANGLE OF 01°10'02" (LONG CHORD BEARS: S09°25'19"W 1397.51 FEET); THENCE N80°30'57"W 55.60 FEET; THENCE S82°06'53"W 174.55 FEET; THENCE N39°23'28"W 257.55 FEET; THENCE N83°20'18"W 215.19 FEET; THENCE S46°00'18"W 141.54 FEET; THENCE N86°39'21"W 32.86 FEET; THENCE N51°34'26"W 192.64 FEET; THENCE N66°00'28"W 68.15 FEET; THENCE NORTHERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 322.41 FEET AND A RADIAL BEARING OF N68°26'25"W, A DISTANCE OF 186.19 FEET, THROUGH A CENTRAL ANGLE OF 33°05'18" (LONG CHORD BEARS: N05°00'56"E 183.61 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 298.78 FEET AND A RADIAL BEARING OF 57°28'17"W, A DISTANCE OF 166.04 FEET, THROUGH A CENTRAL ANGLE OF 31°50'25" (LONG CHORD BEARS: N27°19'10"W 163.91 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A 402.13 FOOT RADIUS REVERSE CURVE TO THE RIGHT A DISTANCE OF 264.87 FEET, THROUGH A CENTRAL ANGLE OF 37°44'19" (LONG CHORD BEARS: N24°22'13"W 260.11 FEET); THENCE N05°30'03"W 595.51 FEET; THENCE N05°25'22"W 162.60 FEET; THENCE N07°16'59"W 9.47 FEET; THENCE N07°31'47"W 18.28 FEET; THENCE N08°49'08"W 474.75 FEET; THENCE N15°13'38"W 39.05 FEET TO THE POINT OF BEGINNING.
AREA CONTAINS 370,654 SQUARE FEET OR 8.509 ACRES.

NARRATIVE

THIS ZONE ADJUSTMENT ALTERS THE ZONE BETWEEN RR AND RM-3 TO ALIGN WITH THE NEW ROAD, RESORT DRIVE. THE NEW ROADWAY PLANNED TO MEET WITH EXISTING UTILITIES AT SAND HOLLOW ROAD.
THE ZONES ON THE EAST SIDE OF RR WILL BE ALTERED TO MEET THE CHANGES MADE TO GATEWAY BOULEVARD. THE ALIGNMENT FOR GATEWAY BOULEVARD WAS ALTERED TO FOLLOW THE DIRECTION OF THE EXISTING WCWD WATER LINES.

ZONE CHANGE MAP

COPYRIGHT © 2013 PROVALUE ENGINEERING INC.

1 OF 1
SHEET NO.
JOB NO. 316-085
DATE: 11/6/2012
SCALE: 1"=50'

ZONE CHANGE MAP FOR:
GATEWAY TO SAND HOLLOW
SAND HOLLOW RD
HURRICANE, WASHINGTON COUNTY, UTAH



PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84713
Phone: (435) 668-8301

REVISIONS			
NO	DESCRIPTION	DATE	BY



At Interstate Homes, we are aware of the housing-crisis facing our country, state, and local communities and the dire need for housing. We have made it a goal to do our part in solving this problem in our community.

We feel a natural first step in accomplishing this goal is to find property close to schools and jobs so we can develop and build affordable housing. That's what makes this property ideal.

We are hopeful, with your blessing of a zone change, we can build 2 housing units on this property. Our organization owns and manages the 8 apartments next to this property that we plan to incorporate with these 2 new units.

We appreciate your consideration and look forward to working with you to solve this dire housing challenge.

Kind regards,

The Interstate Homes Team



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	FSP25-36
Type of Application:	Final Site Plan
Action Type:	Administrative
Applicant:	Interstate Homes
Agent:	
Request:	Approval of a Final Site Plan.
Location:	126 S 850 W
Zoning:	RM-3
General Plan Map:	Planned Community
Recommendation:	Approve subject to staff and JUC comments
Report Prepared by:	Fred Resch III

Discussion:

The applicant is seeking a final site plan for an additional duplex on the Pecan Apartments development along 850 W. The preliminary site plan was approved in April 2025. The site is zoned Multiple Family Residential RM-3.

JUC Comments

The JUC signed the construction drawings for this project in October of 2025.



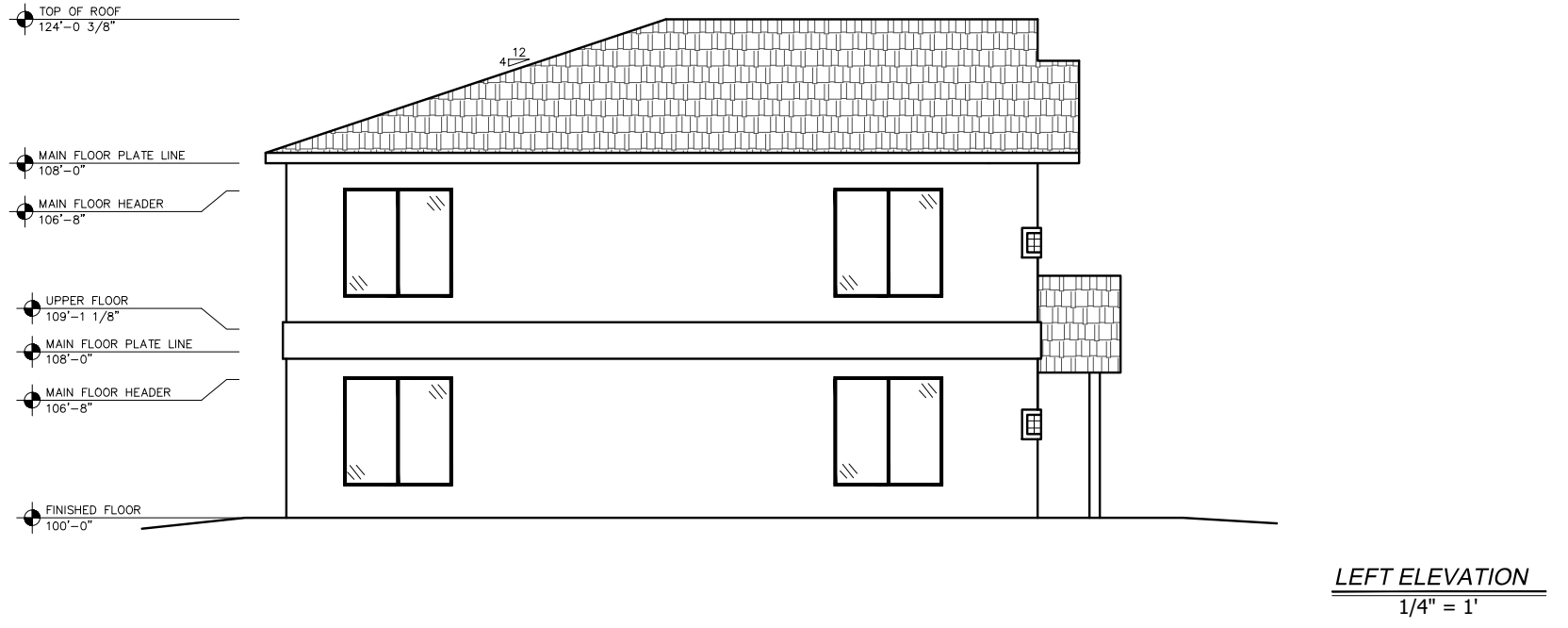
Vicinity Map

Staff Comments

1. The application substantially matches the preliminary site plan and the underlying zoning.
2. This project includes a vacation of some public right of way to match existing street improvements. This is required for the building to meet the street side setbacks in the RM-3 zone. This was approved by the City Council on November 6th, 2025.
3. The applicant has supplied a landscape plan that meets Hurricane City Code (HCC) requirements of one tree and two shrubs for each unit.
4. This development is too small to require an amenity space for this development.
5. The applicant has provided an outdoor lighting plan. All outdoor lighting will need to meet HCC 10-33-7.
6. The applicant has supplied a rendering of the apartment building. It is a two story building with a highest roof point of 24 feet.
7. The site plan depicts a reconfiguration of the parking lot that will provide a total of 20 parking stalls for the 10 units on site which meets HCC 10-34-10.

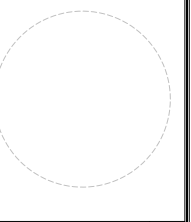
Recommendation: The Planning Commission should review the application based on the standards within the Hurricane City Code. Staff recommends approval subject to staff and JUC comments.

EXTERIOR ELEVATIONS
PECAN APARTMENTS DUPLEX



FILE: Zi - Engineering - Cherokee Interstate Rock Production 02/24/2024 Pecan Apartments 3 Floor - Architectural Design\03.035.004 Pecan Apts Duplex.dwg TIME: 30 May 2025

INTERSTATE ROCK
 GENERAL BUILDING & ENGINEERING CONTRACTOR
 42 SOUTH 850 WEST, HURRICANE, UT 84737
 P: 435.635.2628 | F: 435.635.2177



PROJECT:
PECAN APARTMENTS DUPLEX
INTERSTATE HOMES

SHEET TITLE:
EXTERIOR ELEVATIONS

126 SOUTH 850 WEST, HURRICANE, UT, 84737



DATE: 6/1/2025

CONTRACTOR INFO:
INTERSTATE HOMES
DESIGN@INTERSTATEHOMES.COM
(435) 933-3574

SHEET #
A7

Project Narrative for Goldenwest Federal Credit Union

GWCU- Hurricane

Goldenwest Federal Credit Union (GWCU) proposes to develop an existing vacant property located at 28 North and 2000 West in Hurricane, Utah for a new credit union branch. The building will be approximately 2,965 square feet in size and will include two drive-through banking lanes and an ATM lane.



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	FSP25-37
Type of Application:	Final Site Plan
Action Type:	Administrative
Applicant:	Goldenwest Federal Credit Union
Agent:	Eric Malmberg
Request:	Approval of a Final Site Plan.
Location:	28 N 2000 W
Zoning:	Highway Commercial HC
General Plan Map:	General Commercial
Recommendation:	Approve subject to staff and JUC comments.
Report Prepared by:	Fred Resch III

Discussion:

The applicant has submitted a final site plan for a proposed Goldenwest Credit Union branch, to be located along 2000 West directly across from the Zion Gateway commercial development. The preliminary site plan was approved in June 2025. The property is zoned Highway Commercial (HC).

JUC Comments

1. Construction drawings were approved in November 2025.



Vicinity Map

Staff Comments: Final Site Plan

1. Land Use: The proposed use of a bank or financial institution is permitted in the Highway Commercial zone.
2. Parking Requirement: Pursuant to Hurricane City Code (HCC) 10-34-10.

<i>Bank or financial institution</i>	<i>2 spaces, plus 1 space per 200 square feet of gross floor area</i>	<i>Plus stacking spaces per subsection 10-34-6D1 of this chapter</i>
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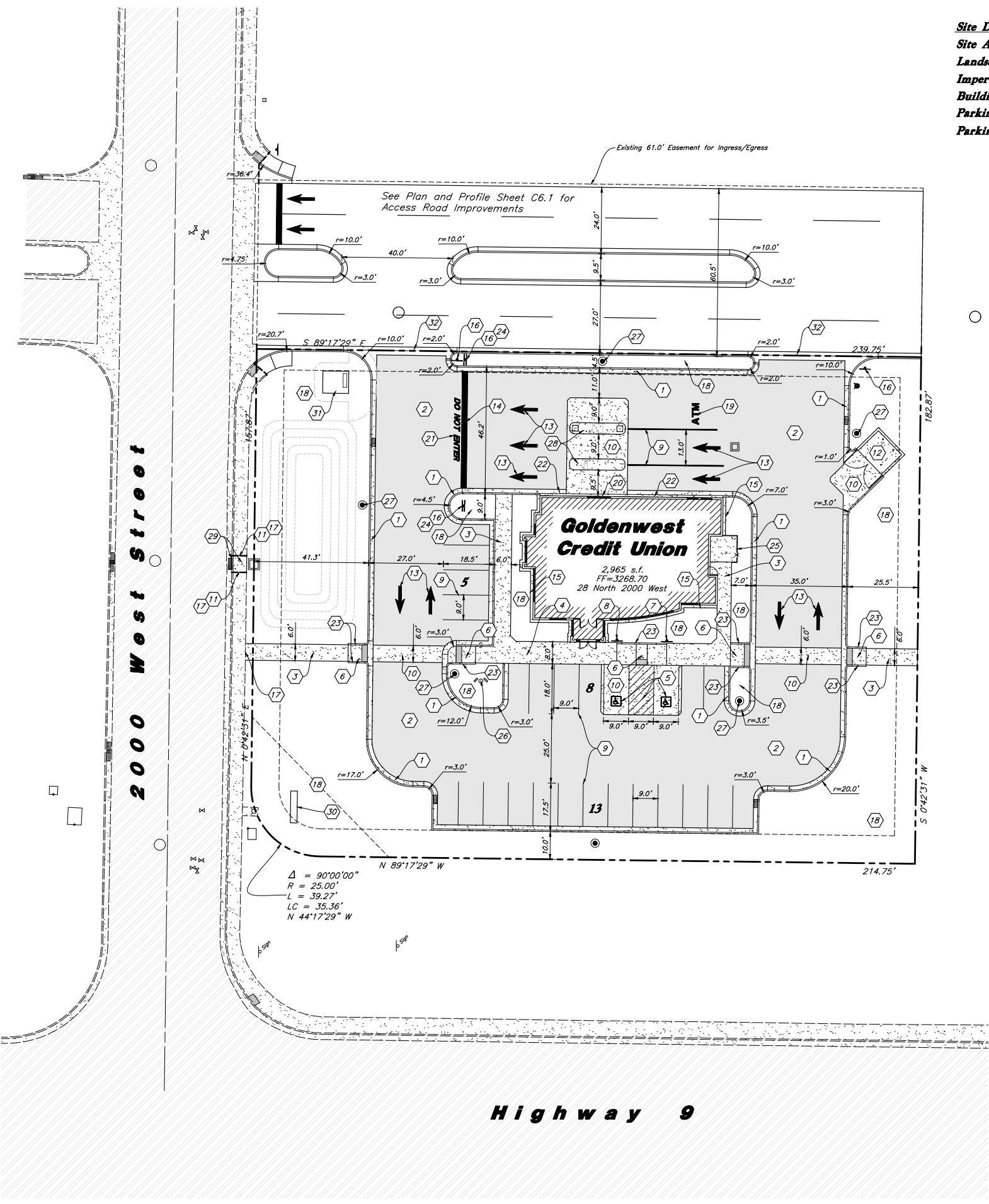
The plan proposes a 2,965 sq ft building; 17 parking stalls is required. 26 parking stalls are shown, which exceeds the requirement.

Additional HCC 10-34-6(D)(1) requires that stacking space for three cars per lane be provided. This space appears to have been provided.

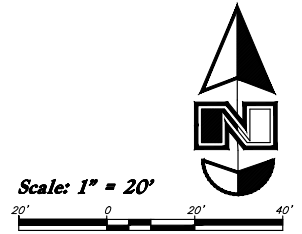
3. Landscape: A landscaping plan has been submitted. The landscaping plan meets Hurricane City standards.
4. The proposed monument sign will need a separate sign permit.

5. Building elevations have been provided and are under the 35' height limitation in this zone.

Recommendation: The Planning Commission should review this application based on the standards within the Hurricane City Code. Staff recommends approval of the final site plan subject to staff and JUC comments.



Site Data
 Site Area = 43,709 s.f. (1.003 ac.)
 Landscape Area Provided = 16,691 s.f. (38.2%)
 Impervious Area Provided = 24,053 s.f. (55.0%)
 Building Area = 2,965 s.f. (6.8%)
 Parking Required = 2 + 1/200 s.f. = 17 stalls
 Parking Provided = 25 stalls (8.43/1,000)



Hatch Legend

- Standard Asphalt Paving
- Heavy Duty Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Existing Concrete Paving
- Building Interior

Site Construction Notes

- 1 Const. 24" Curb & Gutter (C4.1)
- 2 Const. Standard Asphalt Paving (2A C4.1)
- 3 Const. Conc. Sidewalk (C4.1)
- 4 Const. Thickened Edge Sidewalk (C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (1 C2.3)
- 6 Const. Accessible Curb Ramp and Truncated Domes per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.3)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.3)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 10 Const. Conc. Paving (C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Const. 24" White Stop Bar (C4.3)
- 15 Const. Conc. Mowstrip (C4.3)
- 16 Const. Stop Sign per MUTCD R1-1
- 17 Conn. & Match Existing Improvements
- 18 Const. Landscaping (Coordinate w/ Landscape Plan)
- 19 Const. "ATM" Pavement Messaging Point. Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 20 Const. 10" Curb Wall (C4.3)
- 21 Const. "DO NOT ENTER" Pavement Messaging Point. Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 22 Const. 28" Curb and Gutter (C4.3)
- 23 Const. 6" Curb Wall (C4.3)
- 24 Const. "Do Not Enter" Sign
- 25 Const. Fence Around Equipment (See Arch. Plans)
- 26 Const. Flag Pole (C4.2)
- 27 Const. Light Pole (See Electrical and Photometric Plans)
- 28 Const. Raised Concrete Drive-Thru Island (See Architectural Plans)
- 29 Repair and Replace Curb & Gutter and Sidewalk as Needed per Hurricane City Standards
- 30 Const. Monument Sign (By Separate Permit)
- 31 Transformer (See Electrical Plan)
- 32 Const. 3" Conc. Waterway (C4.1)

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
7. The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

Construction Survey Note:

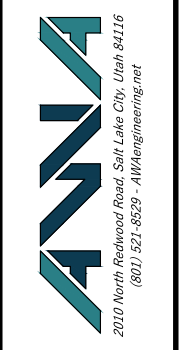
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard permanent elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

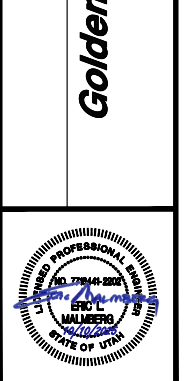
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

REV	DATE	DESCRIPTION
1	22 Aug. 2025	Addendum #1

Designed by: EM
 Drafted by: DW
 Client Name: Goldenwest Credit Union
 24-144sp

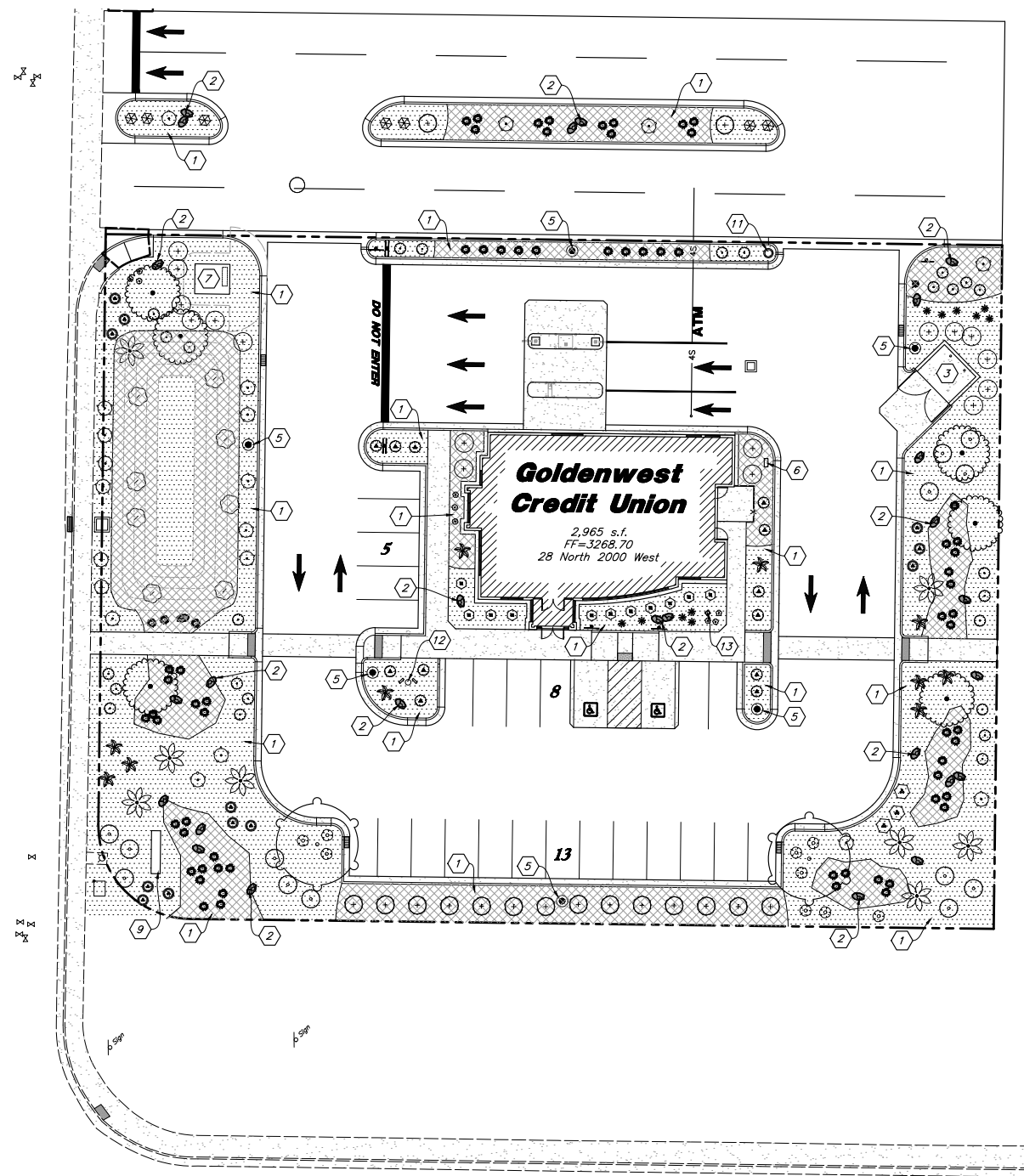


Site Plan
Goldenwest Credit Union
 28 North 2000 West
 Hurricane, Utah



8 Aug. 2025
 SHEET NO.
C1.1

2000 West Street



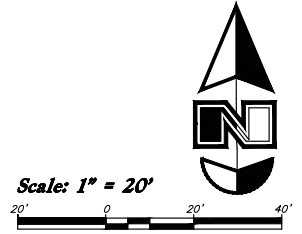
Highway 9

PLANT SCHEDULE

Table with columns: SYMBOL, QTY, BOTANICAL / COMMON NAME, SIZE. Lists various trees, shrubs, ornamental grasses, perennials, and succulents.

MATERIAL SCHEDULE

Table with columns: SYMBOL, DESCRIPTION, DETAIL. Lists decorative stones, boulders, and landscape boulders.



Landscape Data
Site Area = 43,709 s.f. (1,003 ac.)
Landscape Area Provided = 16,691 s.f. (38.2%)
2000 West Street Frontage = 183 Lf.
Street Trees Required (1 per 35 Lf. of Frontage) = 6 Trees
Street Trees Provided = 6 Trees
Street Shrubs Required (2 per 35 Lf. of Frontage) = 12 Shrubs
Street Shrubs Provided = 12 Shrubs
Highway 9 Frontage = 239 Lf.
Street Trees Required (1 per 35 Lf. of Frontage) = 7 Trees
Street Trees Provided = 7 Trees
Street Shrubs Required (2 per 35 Lf. of Frontage) = 14 Shrubs
Street Shrubs Provided = 14 Shrubs
Parking Stalls = 25 Stalls
Parking Area = 6,656 s.f.
Parking Lot Landscape Required = 605 s.f. (7%)
Parking Lot Landscape Provided = 709 s.f. (8.2%)
Parking Lot Trees Required = 3 Trees (3 Provided)
Parking Lot Shrubs Required = 6 Shrubs (6 Shrubs)

General Landscape Notes

- 1. All New Landscape Material Shall be Fully Irrigated by a New Automatic Irrigation System. Point Source Drip Irrigation Shall be Used to Water Plant Material. See Sheet L2.1 for Irrigation Layout and Sheet L3.1 for Details.
2. See Sheet L3.1 for Landscape Details.
3. Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities.
4. All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.
5. No Edging Shall be Used Between Different Decorative Stone.
6. Any Landscaping Installed by Owner/Developer Must be Maintained by Owner/Developer.
7. See Irrigation Plan for State Approved Irrigation Backflow Preventer.
8. The Irrigation Controller Shall be a US EPA WaterSense Smart Controller. See Irrigation Plan for More Detail.

Landscape Installation Keynotes

- 1. Install Shrub Planter with Decorative Stone Over Weed Barrier - See Material Sch. for Stone Type and Size
2. Install Landscape Boulder
3. Dumpster Enclosure with Plant Screening
4. Detention Pond with Decorative Stone Over Weed Barrier; Interlock Stone on Hillside; See Civil for Pond Grading
5. New Light Pole - See Site Elect. Plan for More Detail
6. Irrigation Backflow Preventer; Install Away From Edge of Back of Curb Between Plant Material; Install with an Enclosure on a Concrete Pad; Secure Enclosure to Concrete Pad; Provide a Frost Bag
7. New Elect. Transformer - See Site Elect. Plan; Verify that Plant Material Doesn't Block Access Door; Shift Plant Material if Needed
8. Landscape Drain - See Utility Plan for More Detail; Verify that the Adjacent Landscape Area Around Drain Flows Toward Drain; Verify that Stone is Installed Below the Top of Drain Inlet to Prevent Stone from Entering Drain System
9. GWCU Monument Sign by Separate Permit
10. Elect. Transformer - Verify that Access Doors are Able to Open; Adjust Plant Material as Needed
11. New Water Meter for Culinary and Irrigation Water - See Utility Plan for More Detail
12. New Flag Pole - See Civil Plans for More Detail
13. Landscape Drain - See Civil Utility Plan for More Detail; Verify that the Adjacent Landscape Slopes Toward Drain and that Top of Stone is Slightly Below Rim of Drain to Fall Inside; Verify that Drain is Clean and Free of Dirt and Stone

General Landscape Notes

- 1. Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call 811 before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
13. The contractor shall install all landscape material per plan, notes and details.

- 14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Imported topsoil shall be used for all landscape areas. Topsoil shall be free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
18. Provide an eight (8) inch depth of existing or imported topsoil in all shrub areas and twelve (12) inches in parking islands.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil conditioner, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.

- 21. All new plants shall be boxed, balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
23. All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.L.T. Cinche Ties #CT32. It is the contractor's responsibility to remove tree staking after one year.
24. Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
25. Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner.



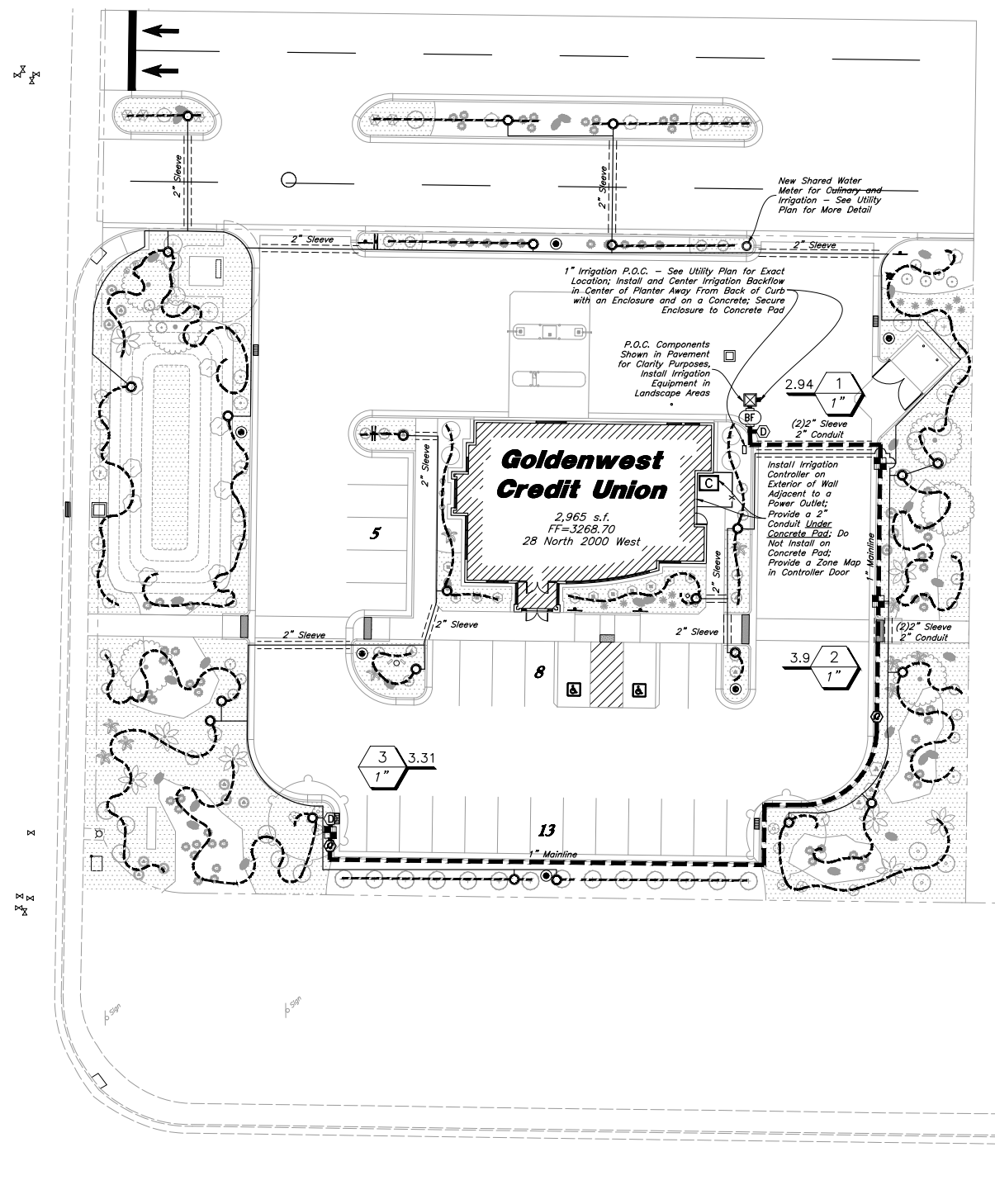
Landscape Plan
Goldenwest Credit Union
28 North 2000 West
Hurricane, Utah



Know what's below. Call before you dig.

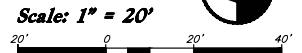
8 Aug, 2025
SHEET NO. L1.1

2000 West Street



Irrigation Notes:

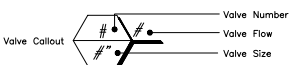
1. See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting Details.
2. See Sheet L3.1 for Irrigation Details.
3. All Irrigation Boxes and Equipment Shall be Tan in Color.
4. From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
5. A Static Pressure of psi was Reported in the Area. A PRV Shall be Installed with the Backflow Preventer for Pressure Exceeding 80 psi. The Irrigation System was Designed for a 52 Minimum of psi.



Main Service Line and Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY. Install All Irrigation Components within Landscaped Areas.

Irrigation Schedule

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
■	Rain Bird XGZ-100-PRB-COM	Drip Remote Control Valve	1 Inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	5/L3.1
⊕	Rain Bird 44RC	Quick Coupler with a Swing Joint	1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	9/L3.1
D	Nibco T-FP-6004	Manual Drain (Brass Ball Valve)	1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	12/L3.1
Drip				
- - - -	Rain Bird XBS-940 Rain Bird XO-100 Rain Bird XB-10PC & XB-20PC Rain Bird TS025 Rain Bird DBC-025 Rain Bird MDCFCAP	3/4" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed 1/4" Distribution Tubing - Install one per Emitter Xeri-Bug Emitter (1 & 2 Gal/hr.) - 1(1) per Perennial & Orn. Grass, 3(2) per Tree Tie Down Stake - Tubing to be Staked every 3' Diffuser Bus Cap - Install one per Emitter Removable Flush Cap - Install at the End of Each Line		10/L3.1 13/L3.1
P.O.C. Components				
⊗	Mueller Oriseal Mark II	Stop & Waste Valve	1 Inch Size; Install in 10" Round Valve Box with Weed Barrier and Gravel Sump	15/L3.1
⊗	Zurns Wilkins 500XL	Pressure Reducer Valve	1 Inch Size; Install with Backflow Preventer in an Enclosure; Adjust PRV to Provide Optimum Pressure to System; Install with Backflow Assembly in the Enclosure	6/L3.1
BF	Febco 825Y	Reduced Pressure Backflow Preventer (RPBP)	1 Inch Size; Backflow Preventer Shall be Properly Installed and Tested to Meet all State and Local Health and Safety Laws and Ordinances; Install in GuardShack Enclosure (#GS-2) on Poured Concrete Pad and 2 Locks (GS-AWPKA); Enclosure Color Shall be Tan in Color; Backflow Preventer Shall Receive an Enclosure; Secure Enclosure to the Concrete Pad - See Detail for More Info.	6/L3.1
Pipes				
- - - -	Schedule 40 PVC	Mainline Pipe	1 Inch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections	11/L3.1
— — — —	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1 inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections	11/L3.1
Controller				
C	Rain Bird ESP4ME	4 Station Base Outdoor Controller	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Provide a Zone Map in Controller Door	7/L3.1
Sleeving				
== == ==	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths	Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted.	14/L3.1



All Irrigation Boxes and Equipment Shall be Tan in Color.

VALVE SCHEDULE

VALVE #	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP. RATE
1	1"	Area for Drip Emitters	2.94	37.7	51.8	0.35 in/h
2	1"	Area for Drip Emitters	3.9	37.1	51.6	0.22 in/h
3	1"	Area for Drip Emitters	3.31	37.1	52.3	0.31 in/h

Highway 9

General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for

- checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
13. Install dielectric fittings whenever dissimilar metals are joined.

14. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades. Valve boxes to be tan in color.
15. Control valve wire shall be #14 single conductor; white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that runs the length of the mainline and to the controller. All wiring shall be UF-LJL rated. All connections shall be made with water tight connectors (DBR/Y) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
16. Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks.
17. Quick couplers shall be a Rain Bird 44RC with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
18. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
19. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches

- minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
20. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, elbows, or changes in direction shall occur under hardscape.
21. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
22. Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each shrub area or parking. No poly tubing shall run under pavement.
23. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
24. Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.
25. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.

26. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with one set of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
27. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

REV	DATE	DESCRIPTION
1	22 Aug. 2025	Adendum #1

Designed by: EM
Drafted by: DW
Client Name: Goldenwest Credit Union
24-144r



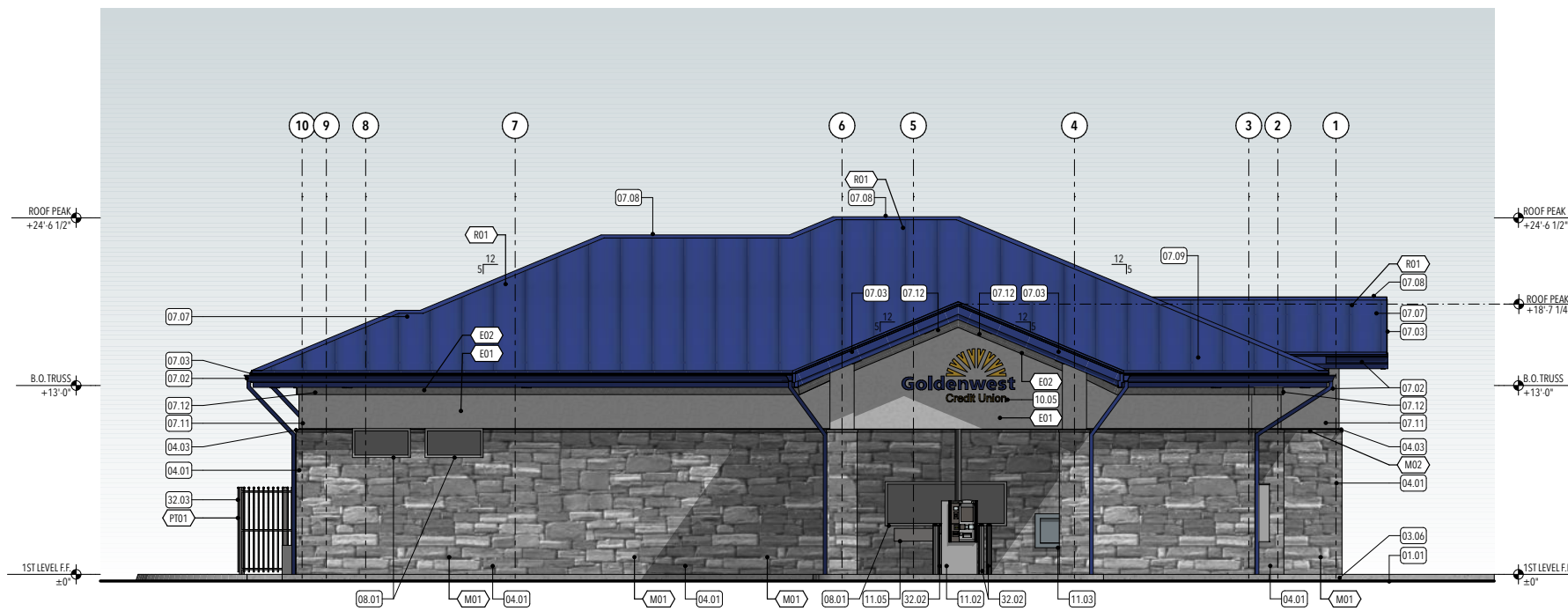
Irrigation Plan
Goldenwest Credit Union
28 North 2000 West
Hurricane, Utah



Know what's below. Call before you dig.

8 Aug. 2025

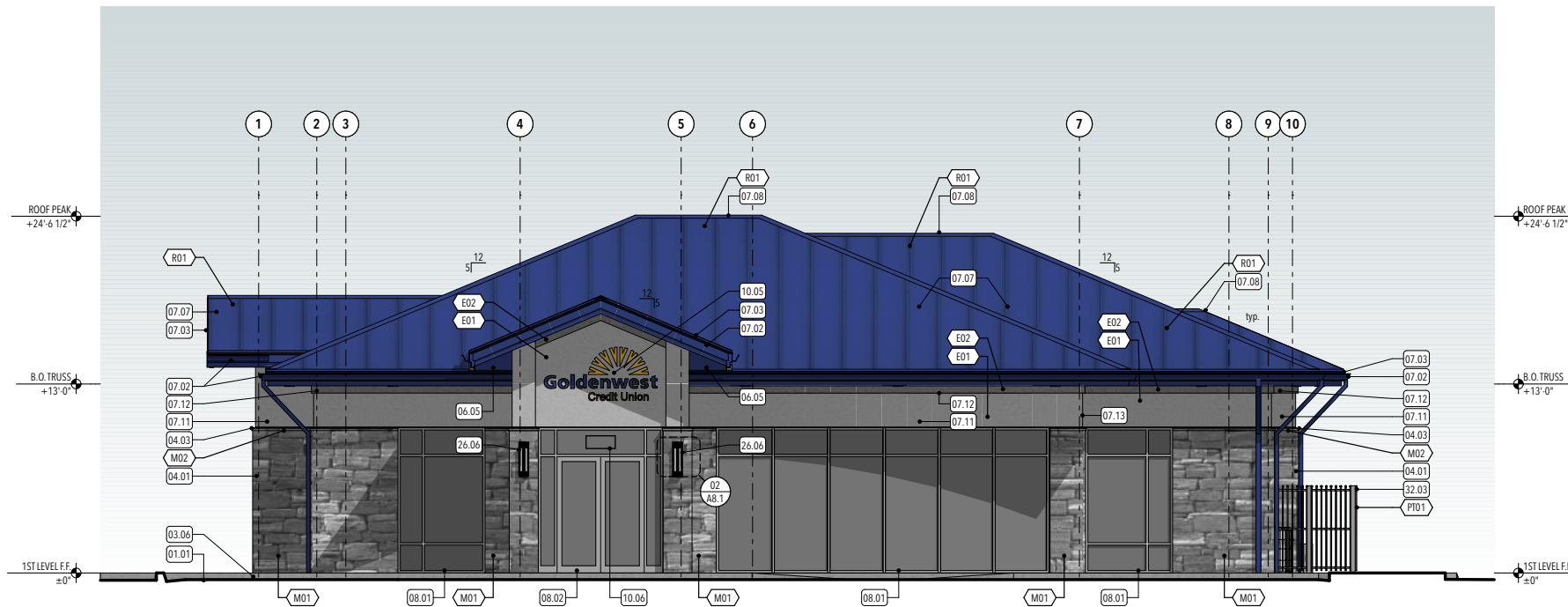
SHEET NO. **L2.1**



NORTH ELEVATION

04

3/16" = 1'-0"



SOUTH ELEVATION

04

3/16" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES:

- A. Re: Exterior Materials Legend for exterior materials and finishes.
- B. Contractor shall leave a 3/4" gap between all dissimilar materials - typ. Gap shall be filled with backer rod and sealant.
- C. Coordinate sealant color with Architect.
- D. All exposed exterior steel shall be painted (i.e. lintels, columns, beams, etc.).
- E. Contractor shall paint all vent pipes, exhaust fans, and other roof top equipment and penetrations that are visible from the ground plane.
- F. Re: electrical drawings for exterior power supply locations, lighting, horn strobes, card readers, etc. Contractor shall paint all electrical panels and other electrical equipment - coordinate paint color with Architect.
- G. Re: plumbing drawings for downspout nozzle, hose bib and FDC connection locations.

GENERAL EXTERIOR ENVELOPE NOTES:

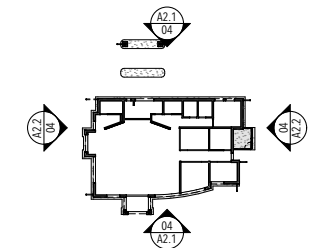
- A. Pre-Construction Conference: Prior to the start of submittals, an Envelope Pre-Construction Conference is to be conducted to review installation methods and material compatibility with all associated envelope contractors. Work on the specification sections dealing with the envelope are to include, but not be limited to, the following: 07 1113 - Bituminous Damp Proofing, 07 2726 - Fluid Applied Membrane Air Barriers, 07 2100 - Thermal Insulation.
- B. Provide ICC-ES evaluation reports for all material installations.
- C. Provide a letter of material compatibility to other envelope system materials.
- D. The installed air barrier on the building is required to be continuous. Seal all penetrations, joints and flashings as required by material manufacturer's instructions. Air barrier system to be installed by single subcontractor.
- E. Contractor is responsible for all envelope work regardless of the location of the information in the construction documents.
- F. Install sealant at exterior side of all joints, seams, connections or openings which would allow water or air infiltration except as noted otherwise. Sealant color shall match adjacent surfaces. Color shall be approved by Architect.
- G. The Contractor is responsible for producing a weather-tight building, details and omissions to drawings notwithstanding. All drawing conflicts which may not allow a weather-tight condition shall be brought to the attention of the Architect.
- H. The drawings and specifications do not necessarily indicate or describe all work required for the full performance and completion of the work. It is intended that the work shall be of sound and quality construction and the Contractor shall be solely responsible for the inclusion of adequate amounts to cover installation of all items indicated, described or reasonably implied.
- I. Exterior fenestration calculations: 899 s.f. total fenestration surface area / 3,362 s.f. total exterior surface area = 27%.

EXTERIOR MATERIALS LEGEND:

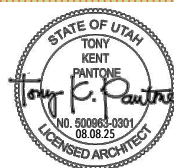
ID	MATERIAL	MANUFACTURER	COLOR/NOTES
ROOFING			
R01	Standing Seam Metal Roofing	MBCI	Signature 200, Cobalt Blue. Drip, fascia, gutters & downspouts to match.
CONCRETE			
CD1	Precast Concrete Cap	Re: Specifications	Re: Specifications
MASONRY			
M01	Cultured Stone Veneer	Harristone	Utah Drystack Ledgerstone; Slate Lueders; Grouted
M02	Cultured Stone Sill	Harristone	Match Cultured Stone Veneer (M01)
METAL			
MTL01	Soffit	MBCI or Firestone	Signature 200, Solar White. Una-Clad, Bone White.
EFS			
E01	Exterior Insulation Finish System	Dryvit	Twilight Gray
E02	Exterior Insulation Finish System	Dryvit	Pewter
PAINT			
PT01	Painted steel	PPG	Cloudy Slate

KEYED NOTES:

- 01.01 Finish grade - re: Civil
- 03.06 Plaster finish over exposed concrete foundation wall, natural grey (typical)
- 04.01 Cultured stone veneer - re: Exterior Materials Legend
- 04.03 Cultured stone sill. "Utah Dry Stack Ledgerstone" by Harristone - re: Exterior Materials Legend
- 06.05 Vertical framing between roof and soffit with exterior sheathing and pre-finish metal to match roofing
- 07.02 Pre-finished rain gutter and downspout, see floor and roof plans. Color to match standing seam roof - re: Exterior Materials Legend
- 07.03 Pre-finished metal fascia. Color to match standing seam roof - re: Exterior Materials Legend
- 07.07 Standing seam metal roof - re: Exterior Materials Legend
- 07.08 Ridge and hip caps. Ridge caps to be manufacturer's vented cap. Color to match standing metal seam roof - re: Exterior Materials Legend. See structural for ventilation slots to be cut in sheathing at ridge
- 07.09 Snow bars to match roofing color - re: Exterior Materials Legend. Attach at each standing seam
- 07.11 E.I.F.S. Color #1 - re: Exterior Materials Legend
- 07.12 E.I.F.S. build-out trim. Color #2 - re: Exterior Materials Legend
- 07.13 Control joint in E.I.F.S. (typical)
- 08.01 Pre-finished aluminum storefront system
- 08.02 Pre-finished aluminum storefront door system
- 10.05 Credit Union's signage to be provided by Owner
- 10.06 Building address signage to be provided by owner. Verify location with Owner and local jurisdiction authority
- 11.02 ATM unit by Diebold. Coordinate installation with banking equipment supplier. Contractor to provide underground conduits to unit - re: 06/SD2.1
- 11.03 Drop box by Diebold. Coordinate for required wall opening and installation with banking equipment supplier. Contractor to provide conduits to unit and painted wood trim at wall as required.
- 11.05 Transaction drawer by Diebold. Coordinate installation with banking equipment supplier
- 26.06 Exterior wall mounted light fixture. Build out behind flush to stone face
- 32.02 4" diameter pipe bollard - re: 04/SD2.1 (painted)
- 32.03 Pre-finished metal fence with 3'-0" gate, powder coat color to be determined by Architect, re: 01, 02, 03/SD1.1



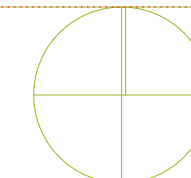
STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033



GWCU - HURRICANE BRANCH
 28 N 2000 W, HURRICANE, UT

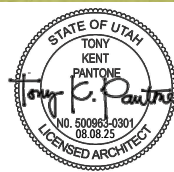
NO.	DATE	DESCRIPTION

BID SET
 DATE: 08.08.25
 PROJECT NUMBER: 2432





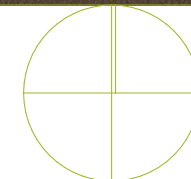
STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033



GWCU - HURRICANE BRANCH
 28 N 2000 W, HURRICANE, UT

NO.	DATE	DESCRIPTION

BID SET
 DATE: 08.08.25
 PROJECT NUMBER: 2432
 SCALE: 1:3.14



RENDERINGS

A10.1



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	N/A
Type of Application:	General Plan Amendment
Action Type:	Legislative
Applicant:	Hurricane City
Agent:	Sunrise Engineering
Request:	Adopt a Water Use Element to the General Plan.
Recommendation:	Recommend approval to the City Council.
Report Prepared By:	Fred Resch III

Discussion:

Utah Code § 10-20-404(2)(b) requires that cities adopt an element, or appendix, to their General Plan that addresses water use in future development. Hurricane City has received a grant from the Utah Division of Water Resources to contract with Sunrise Engineering for the preparation of the required element. This General Plan element is advisory in nature and non-binding, like the rest of the General Plan, and includes recommendations for water conservation policies that may be adopted by the City for new development, existing development, and municipal operations. The drafting process has included consultation with the Washington County Water Conservancy District and the Hurricane Water Department.

Recommendation:

Staff recommends the Planning Commission review the proposed water element. Staff recommends the Planning Commission make a recommendation of approval to the City Council. State statute requires that this element be adopted by the end of the year.

Appendix: Water Element

As Hurricane City continues to experience significant growth, the imperative for sustainable water management becomes increasingly critical. This Water Element of the General Plan serves as a comprehensive framework aimed at addressing the multifaceted challenges posed by land use decisions and development patterns on the City's water demand and infrastructure. The strategic overview provided herein focuses on four key areas: (1) the impact of permitted development on water resources and infrastructure, (2) methods to reduce water demand and per capita usage for existing development, (3) methods to reduce water demand and per capita usage for future development, and (4) modifications to local government operations that can eliminate wasteful water practices.



To effectively navigate these challenges, this element has been developed through active consultation with the public water systems serving the community. This engagement has facilitated a thorough understanding of how the implementation of this Water Element may influence water supply planning, drinking water sources, and distribution infrastructure. Furthermore, collaboration with the Division of Water Resources has yielded vital

technical resources and insights into regional water conservation goals.

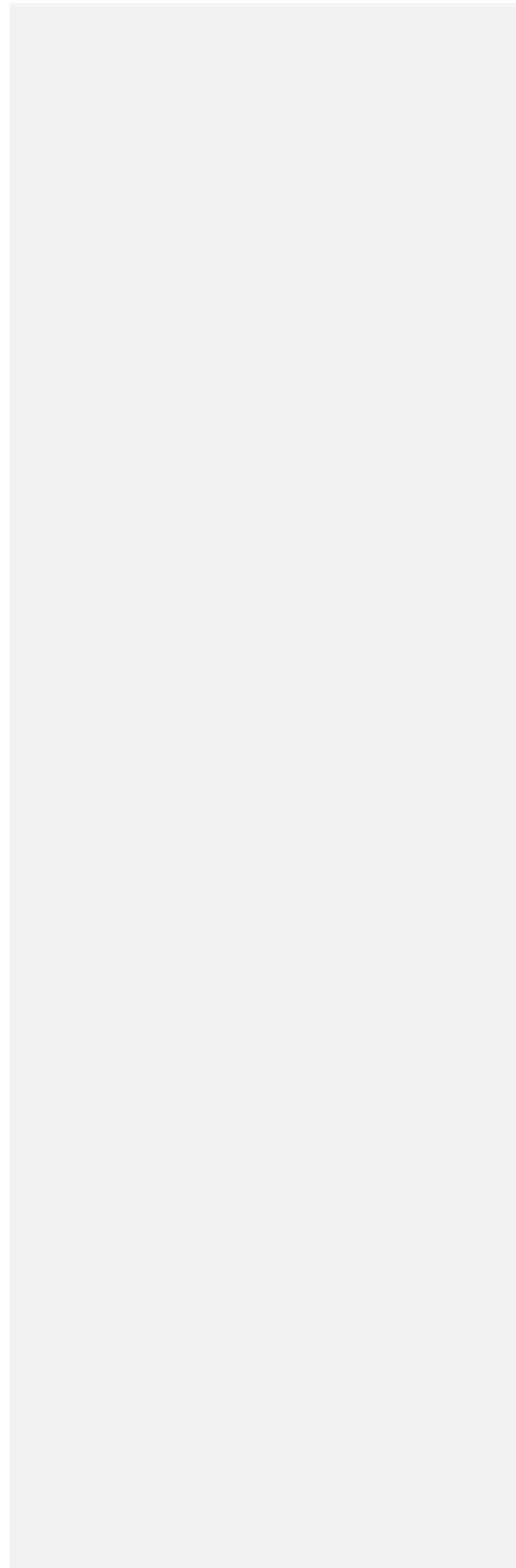
A comprehensive approach to water conservation will entail the development of effective policies that promote efficient water use, alongside the establishment of low-water-use landscaping standards. Additionally, necessary changes to existing ordinances that may currently encourage inefficient water practices should be considered. This proactive strategy will ensure that Hurricane City not only meets its current water needs but also safeguards its water resources for future generations.

This element addresses the following requirements under Utah Code 10-9a-403(2)(b):

- The effect of permitted development on water demand and infrastructure.
- Water use reduction strategies for existing development.
- Water use reduction strategies for future development.

- Operational changes to reduce wasteful municipal practices.

DRAFT



The effect of permitted development or development patterns on water demand and water infrastructure.

As Hurricane City continues to grow at a rapid pace, land use patterns and permitted development intensities directly shape Hurricane City’s long-term water demand, infrastructure costs, and resilience to drought. Integrating land use and water planning is therefore essential to ensuring sustainable growth. Different development types, densities, and spatial growth patterns directly influence the amount of water needed, how efficiently it is used, and the infrastructure investments required to maintain reliable service. This section evaluates projected population growth, the associated increase in Equivalent Residential Connections (ERCs), and the resulting potable and secondary water demands placed on Hurricane City’s water supply, storage, and distribution systems.

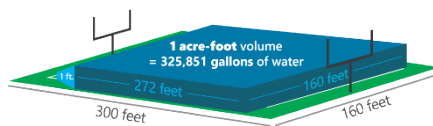
Water Demand Projections

Hurricane City has prepared a water demand forecast based on:

- Historical growth and connection data reported to the Division of Drinking Water.
- Anticipated development patterns identified in the General Plan
- Per-connection water rates established in the Washington County Water Conservancy District (WCWCD) Regional Water Master Plan (2023 Update).

In the Regional Master Plan, potable and secondary irrigation demands are reported by the municipality under a “Target Conservation Scenario.” These values provide the baseline water budget for Hurricane City and ensure consistency with countywide planning. To align with WCWCD methodology, demand has been expressed in acre-feet per year (AFY) by land use category, with conversion into Equivalent Residential Connections (ERCs) at 0.59 AFY per ERC for comparison. ERCs are used throughout this section to express demand in a consistent planning unit, aligned with WCWCD methodology. The Target Conservation Scenario reflects anticipated conservation measures and development patterns and provides a realistic basis for long-term infrastructure planning.

1 Acre-Foot



The following projections reflect the WCWCD Regional Plan data, allocated by land use type:

Estimated Acre Feet Demand for Potable Water by Land Use Type					
Year	Residential	Commercial	Industrial	Institutional	Total
2023	9,028	581	18	148	9,775
2033	10,505	676	21	172	11,374

2043	9,731	626	19	159	10,536
2053	9,976	642	19	163	10,801

The projected decrease in potable water demand between 2033 and 2043 reflects anticipated conservation gains, the expansion of pressurized secondary irrigation systems that shift outdoor demand away from the potable system, and a gradual transition toward more compact development patterns. These trends, modeled under the WCWCD’s Target Conservation Scenario, result in a temporary reduction of the potable water demand even as the population continues to grow.

This table summarizes total potable demand in both acre-feet and equivalent residential connections (ERCs), calculated at 0.59 AFY per ERC.

Estimated Total ERCs		
Year	Total Potable AFY	Total ERCs
2023	9,775	16,568
2033	11,374	19,283
2043	10,536	17,867
2053	10,801	18,308

This shift is further illustrated by the significant increase in secondary water demand between 2033 and 2043, which reflects assumptions in the WCWCD Regional Water Master Plan regarding the build-out of pressurized irrigation systems to serve new residential developments. Under the Target Conservation Scenario, future residential landscaping demand is increasingly met through secondary water systems rather than potable water supply, particularly in new subdivisions.

Estimated Acre Feet Demand for Secondary Water by Land Use Type					
Year	Residential	Commercial	Industrial	Institutional	Total
2023	1,491	96	3	24	1,614
2033	1,423	92	3	23	1,541
2043	5,277	339	10	86	5,713
2053	8,970	577	18	147	9,712

These totals match the WCWCD Master Plan’s published demand projections for Hurricane City and have been distributed by land use type using the City’s historic connection ratios (residential, commercial, industrial, institutional). This approach grounds the General Plan in countywide water policy while tailoring it to Hurricane City’s development patterns.

The shift towards increased secondary irrigation service in these projections follows the methodology outlined in the Washington County Water Conservation District (WCWCD)

2023 Regional Water Master Plan, Section 2-24, "Source Sizing Requirement for Secondary Irrigation." Under this framework, secondary irrigation supply expands in proportion to overall system growth, offsetting potable water demand on a one-to-one basis as new development occurs. This ensures that Hurricane City's long-range projections remain consistent with the WCWCD's source sizing standards and the regional strategy to transition outdoor water use from potable to secondary systems over time.

Year	Hurricane City Population Estimate	Change
2023	24,000	
2033	34,813	+10,813
2043	48,167	+13,354
2053	61,719	+13,552

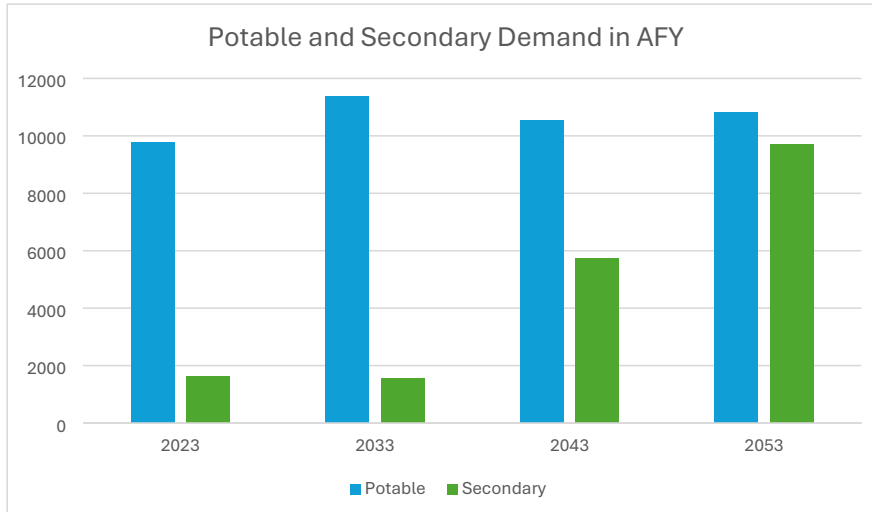
The projected growth rates are estimated at 4% per year for 8 years, then 3.3% thereafter until 2043. From 2043 to 2053, the annual growth rate is estimated at 2.5%.

Alignment with Regional Planning Assumptions

These projections are derived directly from the Washington County Water Conservancy District (WCWCD) 2023 Regional Water Master Plan, under the *High Growth* and *Target Conservation* scenario assumptions. This scenario provides a 50-year planning horizon (2023 – 2073) and serves as the basis for regional infrastructure sizing, demand forecasting, and conservation benchmarks.

Aligning Hurricane City's Water Element with the WCWCD Regional Plan ensures that population growth, Equivalent Residential Connection (ERC) projections, and potable and secondary water demand forecasts are fully consistent with countywide planning data and methodology. This linkage also strengthens interagency coordination for water supply, storage, and distribution investments.

Building on these assumptions, and based on the WCWCD Master Plan's Target Conservation Scenario, per capita potable water use in Hurricane City is projected to decline from approximately 220 gallons per capita per day (GPCD) in 2023 to 190 GPCD by 2053. This reflects regional conservation goals and the ongoing transition of outdoor demand from potable to secondary irrigation systems, consistent with WCWCD's source-sizing methodology.



These projections represent the City's best estimates based on current land use patterns, population growth assumptions, and regional conservation goals. Actual future water use may vary depending on changes in climate, economic conditions, technological advancements, and development patterns. The City will periodically update these projections as new data becomes available.

Development Patterns and Infrastructure Implications

The City's General Plan and future land use map support a range of development types – including low- and high-density residential, mixed-use districts, commercial centers, and hillside development. Each of these land use patterns has distinct implications for the water system:

- Higher-density residential development (e.g., townhomes, multifamily) may reduce per capita potable water use. However, these developments often result in more concentrated peak demand and require significant investment in local water distribution infrastructure (e.g., larger mains, booster stations, pressure zone balancing). *These impacts highlight the need for coordinated planning between land use approvals and infrastructure investments.*
- Low-density and hillside development tends to consume more water per capita, particularly for outdoor irrigation, and may require extended water service lines, additional pumping infrastructure, and energy-intensive operations due to elevation changes. These areas may also strain existing storage and pressure zones. *Future*

policies should account for both the higher water use and the increased cost of service in hillside areas.

- Commercial and institutional growth nodes contribute to elevated peak daily usage and must meet higher fire flow requirements, which can trigger the need for localized improvements to storage capacity, main extensions, and system redundancy. *This underscores the importance of reviewing site plans and plats for their localized water system impacts.*
- Industrial areas, while typically lower in water consumption, may require consistent pressure and redundancy, especially if fire suppression is involved. *Reliability and redundancy will remain important considerations as the City plans for industrial growth.*

Additionally, changes in land use that introduce large irrigated areas, recreational water features, or cooling systems may increase system loads disproportionately compared to residential uses.

Key Infrastructure Planning Considerations

To support sustainable growth, the City will evaluate:

- Water source capacity and water rights needed to serve the anticipated 2053 demand.
- Storage facility capacity to ensure adequate supply and fire flow.
- Transmission and distribution improvements required to serve growth areas, particularly on the City's periphery and in hillside zones.
- Pressure zone management is especially important as development expands into higher elevations or areas with unique topographic constraints.
- Sequencing of capital investments, aligning infrastructure expansion with projected development phasing to ensure timely service delivery.

Summary

By explicitly linking zoning, subdivision approvals, and infrastructure investments to water system capacity and conservation goals, Hurricane City will ensure that development occurs in a manner that is both water-efficient and financially sustainable. This integration will also strengthen resilience against drought and climate variability.

Methods of reducing water demand and per capita water use for existing development.

As Hurricane City continues to grow, conserving water within the existing built environment becomes an essential component of a sustainable long-term water strategy. Existing homes, businesses, and public facilities make up the largest share of the City's current overall water demand. Addressing inefficiencies in these areas offers significant potential for savings without requiring costly system expansions or acquiring new water rights.

This section identifies the primary challenges related to existing water use, summarizes current conservation efforts, and describes opportunities the City may pursue to reduce overall and per capita water use in existing development.

Current Challenges and Inefficiencies

The City has identified several key challenges that contribute to inefficient water use in existing development:

- **Unmetered Secondary Water Use:** Many pressurized irrigation connections, particularly for residential landscaping and public spaces, are not metered. Without metering, users are unaware of actual water consumption and have little incentive to reduce usage.
- **Outdated Irrigation Systems:** Numerous properties rely on timer-based irrigation systems that do not adjust to weather, soil moisture, or plant needs, leading to chronic overwatering.
- **Large Lawn Grass Areas:** Older subdivisions and public facilities often feature large expanses of lawn grass, which require high volumes of water and are often maintained inefficiently.
- **Aging Indoor Fixtures:** Many homes and businesses still operate with inefficient plumbing fixtures, such as high-flow toilets, faucets, and showerheads, installed prior to current water efficiency standards.
- **Public Awareness Gaps:** Despite regional efforts, many residents and business owners remain unaware of available resources, local water conditions, or conservation best practices.

These inefficiencies highlight the importance of targeted strategies to modernize existing infrastructure, change user behavior, and reduce systemwide demand.

Existing Conservation Measures

Hurricane City has already taken key steps toward reducing water demand in existing development, including:

- Adoption of the Washington County Water Conservancy District's (WCWCD) water efficiency standards, which promote water-wise landscaping, efficient irrigation design, and drought-tolerant plant materials.
- A tiered potable water rate structure designed to discourage excessive water use by applying higher rates for higher usage levels.
- Participation in the WCWCD regional Drought Contingency Plan, aligning municipal responses with regional drought stages and public communication strategies.

These measures have established a strong foundation, but additional strategies will be necessary to meet long-term conservation goals.

Opportunities for Further Conservation

To further reduce water use in existing homes, businesses, and municipal operations, the City will implement the following conservation measures:

1. **Secondary Water Metering**

In coordination with WCWCD and other regional providers, the City may pursue installation of secondary water meters on all residential, commercial, and institutional pressurized irrigation connections by 2028. Metering has been shown to reduce outdoor water use by up to 30%, even without rate changes, by increasing user awareness.

2. **Public Education and Outreach**

The City may expand its education initiatives by:

- Launching seasonal campaigns on appropriate irrigation practices.
- Hosting water-wise landscaping workshops and neighborhood presentations.
- Promoting a "Flip Your Strip" campaign to convert lawn grass park strips into low-water-use landscapes.
- Providing comparative water use reports for residential customers to track efficiency.

3. **Leak Detection and Water Loss Management**

The City may conduct regular system-wide water audits to identify unaccounted-for water losses due to leaks, outdated meters, or unauthorized use. System repairs may be prioritized in high-loss zones, and older meters may be upgraded to improve accuracy.

4. **Watering Restrictions and Seasonal Guidelines**

In alignment with the WCWCD Water Shortage Contingency Plan, the City may implement seasonal watering schedules that encourage irrigation during early morning and evening hours to reduce evaporation losses. The regional plan outlines

five shortage stages – Stage 0 (normal) through Stage 4 (critical) – each describing recommended conservation actions and communication approaches. These stages provide a consistent framework that the City can reference to guide local response and public messaging during drought conditions, while maintaining flexibility to tailor implementation to local needs.

5. **Municipal Facility Retrofits**

The City may lead by example by auditing all municipal facilities for water use and:

- Replacing inefficient indoor plumbing fixtures.
- Transitioning nonessential lawn grass at city buildings and park strips to xeriscape or native plantings.

Implementation of these measures will require phased investments, partnerships with WCWCD, and strong public engagement.

Monitoring and Evaluation

The City can track progress through performance indicators such as:

- Gallons per capita per day (GPCD) for residential users.
- Annual water use per equivalent residential connection (ERC).
- Reduction in total system water loss.
- Number of pressurized irrigation connections metered annually.

Regular reporting to the Planning Commission and City Council will allow the City to evaluate the effectiveness of conservation strategies and adjust programs over time.

To ensure alignment with regional planning, the City may coordinate with the Washington County Water Conservancy District (WCWCD) in tracking conservation performance. The *WCWCD 2025 Joint Agency Regional Water Conservation Plan* establishes regional benchmarks that target an approximate 33 percent reduction in water use per equivalent residential connection (ERC) by 2050, relative to 2020 baseline conditions. These benchmarks provide a consistent regional framework for evaluating Hurricane City's progress toward long-term water efficiency goals.

Methods of reducing water demand and per capita water use for future development.

Planning for future development in Hurricane City provides a critical opportunity to embed water efficiency into the physical and regulatory structure of the community. By requiring conservation-focused design, construction, and landscaping practices up front, the City may reduce long-term water demand, avoid costly retrofits, and help maintain a reliable and sustainable water supply system.

Current Measures in Place

Hurricane City has already adopted several forward-looking policies and standards for water conservation in new development. These include:

- **Adoption of the Washington County Water Conservancy District (WCWCD) Water Efficiency Standards, which include:**
 - Limits on lawn grass:
 - No lawn grass in park strips less than eight feet wide.
 - Lawn grass is limited to a small percentage of the landscaped area in new residential and commercial projects.
 - Mandatory use of drip irrigation for non-lawn grass areas.
 - Plant selection standards that favor native and drought-tolerant species.
 - Irrigation design standards, such as pressure regulation and rain sensors.

Impact: The adoption of these standards aims to reduce outdoor irrigation demand, which typically represents 60-70% of residential water use in Utah.

- **Conformance with WCWCD Model Ordinance:** Hurricane City's development code aligns with the Washington County Water Conservancy District's model water conservation ordinance, which includes provisions for:
 - Efficient plumbing fixtures.
 - Smart irrigation controllers.
 - Landscape and irrigation review at the site plan or platting stage.

Impact: Prevents inefficient building or landscape practices from being installed in the first place.

- **Adoption of the 2025 Joint Agency Regional Water Conservation Plan:** Hurricane City has formally adopted the Washington County Water Conservancy District (WCWCD) 2025 *Joint Agency Regional Water Conservation Plan*, which details the uniform regional goals and programs for water conservation. These include separate irrigation metering, irrigation system efficiency standards, and limits on high-water-use landscaping.

Impact: Reinforces alignment with regional conservation goals and ensures the City's regulatory framework advances consistent, countywide water efficiency outcomes.

- **Drought-tolerant development patterns encouraged:** While not always codified, Hurricane has encouraged development toward more compact or clustered designs in some areas (e.g., small lots, multifamily housing), especially near infrastructure and service areas.
Impact: Reduces per capita water use through smaller irrigated areas and more efficient indoor use.
- **Prohibition of High-Water-Use Amenities in New Development:** The City does not permit new golf courses, artificial ponds, or water parks, and has indicated that these uses are not appropriate uses in current or future zones (as indicated in the zoning code).
Impact: Eliminates the potential for large new demand from water-intensive uses.
- **Water Conservation Review During Site Plan/Subdivision Review:** City staff reviews landscape and irrigation plans during the development process for consistency with conservation standards.
Impact: Ensures compliance with conservation goals before construction begins.
- **Participation in Washington County Water Conservancy District Drought Contingency Plan:** Hurricane participates in the regional Drought Contingency Plan and follows tiered drought response stages, including water use restrictions on irrigation and landscaping during drought years.
Impact: New developments are aware of and designed with water restrictions in mind from the outset.

Together, these measures establish a strong framework for conservation in new development, while leaving room for additional opportunities to strengthen resilience.

Opportunities for Future Development Conservation

To further strengthen the City's water resilience, Hurricane City may consider the following strategies to reduce water demand and per capita use in all future development:

1. **Water Demand Analysis for New Subdivisions:** Require all major subdivisions and planned unit developments (PUDs) to include a projected water demand analysis at the time of preliminary plat. This analysis would estimate total ERCs and annual acre-feet required, and demonstrate consistency with the City's water rights, infrastructure capacity, and conservation goals.

2. **Site and Zoning Design for Efficiency:** Encourage or require site layout and zoning patterns that naturally reduce water use, including:
- Compact development patterns that reduce irrigated areas per household.
 - Multi-family and mixed-use housing, which typically consumes less water per capita than detached single-family homes.
 - Lot coverage and open space ratios that prioritize drought-tolerant planting areas.
 - Clustering and conservation subdivision that preserve natural landscapes and reduce the need for irrigated landscaping.

Implementation of these opportunities will require coordination between the City's land use regulations, development review process, and long-term water supply planning.

Commented [GC1]: This needs to be reworded; statement is a little unclear or incomplete.

DRAFT

Modifications that can be made to a local government's operations to reduce and eliminate wasteful water practices.

Hurricane City recognizes that water conservation must begin with local government leadership. Municipal operations – including parks, civic buildings, and utility facilities – contribute to overall water demand and have the potential to serve as highly visible examples of water-wise practices. As one of the fastest-growing communities in southern Utah, the City's own water use is both significant and symbolic. Demonstrating best practices in public facilities helps reinforce expectations for residents, businesses, and developers.

Existing Municipal Facilities and Issues:

The City has currently identified several key facilities and areas where municipal operations influence overall water demand:

- **City Hall Grounds** – large irrigated areas suitable for phased conversion to water-wise demonstration gardens and native/xeric plantings.
- **Water Department Building** – landscaped areas currently maintained with traditional landscaping practices, with opportunities for smart controller and nozzle upgrades.
- **Sky Mountain Golf Course** – a major water user requiring efficient irrigation scheduling, equipment upgrades, and potential lawn grass conversion.
- **Parks and Recreation Facilities** – neighborhood parks, sports fields, and landscaped medians represent some of the largest outdoor irrigation loads on the system.
- **New Civic Center (Planned)** – offers a unique opportunity to integrate conservation features during design and construction.

Opportunities for Improvement

To reduce water demand in municipal operations and set a public example, the City may pursue the following strategies:

- **Landscape Conversion and Demonstration Projects:** Replace nonessential lawn grass at City facilities, medians, and park strips with xeriscape or native plantings. Establish demonstration gardens at City Hall or the Civic Center to showcase water-wise landscaping options for residents.
- **Irrigation Efficiency Upgrades:** Transition all City facilities to smart irrigation controllers with weather-based scheduling. Upgrade irrigation systems at Sky Mountain Golf Course and major parks with soil moisture sensors, pressure-regulated heads, and zone-level flow monitoring.
- **Indoor Fixture Retrofits:** Audit municipal buildings for outdated plumbing fixtures and replace them with WaterSense-certified toilets, faucets, and showerheads. Ensure that new facilities are designed to exceed current efficiency standards.
- **Facility Water Audits and Benchmarking:** Conduct annual water audits of all City-owned properties, including buildings, parks, and golf courses.

- **Operational Practices:** Adopt seasonal watering schedules for all City properties consistent with WCWCD drought stage recommendations. Implement proactive leak detection at municipal sites. Evaluate opportunities for non-potable reuse. (e.g., irrigation supplied by secondary or reclaimed water) where feasible.
- **Leadership and Education:** Use City-owned projects as public education tools, with signage that highlights water-saving features (e.g., “This landscape saves 50% more water than traditional lawn grass”). Incorporate conservation education into recreation programming and public events.

In addition to the above-mentioned opportunities for improvement, the City should continue coordinating its operational and infrastructure upgrades with the Washington County Water Conservancy District’s (WCWCD) regional reuse and efficiency framework outlined in the 2023 Regional Water Master Plan. WCWCD’s long-range program anticipates phased expansion of reclaimed water and reuse infrastructure to serve municipal, institutional, and irrigation needs. The City can align future reuse planning, capital investments, and facility retrofits with the District’s implementation schedule to support consistency in regional supply and infrastructure development.

Ordinance Review and Recommendations

As part of the preparation of this Water Element, Hurricane City has reviewed its existing land use ordinances and development standards to identify opportunities to improve water efficiency. Particular attention has been given to Chapter 26, Recreation Resort Zone, which includes development standards that may unintentionally promote high water use. The City will evaluate amendments to reduce these impacts and align the chapter with sustainable landscaping principles. It is recommended that these amendments consider amenity requirements, site-specific landscape design, and requirements for efficient irrigation systems.

Summary

By adopting conservation measures across its facilities, Hurricane City can significantly reduce its own water footprint while sending a clear message about the importance of efficiency. Municipal leadership in areas such as park irrigation, facility retrofits, and public demonstration projects will not only conserve water but also strengthen community awareness and buy-in for broader conservation goals.

State Guidance and Technical Resources

The development of this Water Element was informed by guidance from the Utah Division of Water Resources and regional partners. In accordance with Utah Code 10-9a-403(2)(b)(ii), Hurricane City utilized the following state and regional resources in preparing this plan:

- Division of Water Resources: Water Use & Preservation Planning Guidance (2023).
- Regional Conservation Goals (2021) – Prepared by the Division and Regional Water Providers.
- Washington County Water Conservancy District (WCWCD) Water Efficiency Standards.
- Utah's regional M&I Water Conservation Goals.
- WCWCD Model Conservation Ordinance.
- WCWCD Joint Agency Regional Water Conservation Plan.

These resources provided essential technical data, conservation targets, ordinance templates, and implementation strategies that are reflected throughout this element. These regional planning assumptions are based on the Utah Division of Water Resources' Southwest M&I Water Conservation Region goals, which are incorporated into the WCWCD Regional Water Master Plan (2023 Update). Ongoing coordination with the Division of Water Resources and the WCWCD will ensure that Hurricane City remains aligned with evolving conservation practices and water supply planning.

DRAFT

Goals

WATER GOAL 1: Coordinate Growth with Hurricane’s Water Capacity and Infrastructure.

Policies

- 1.1. Land use decisions should reflect Hurricane’s unique growth pressures and the costs of serving hillside and outlying areas.
- 1.2. Development patterns should be guided toward efficient use of water and infrastructure while maintaining service reliability.

Strategies

- 1.1. Review subdivision and site plans for projected water demand and infrastructure capacity.
- 1.2. Promote compact or clustered development where appropriate to reduce pumping, storage, and distribution needs.
- 1.3. Coordinate with WCWCD and City capital planning efforts to guide infrastructure investments in line with growth.
- 1.4. Review and update City land use ordinances and development standards to remove provisions that unintentionally promote inefficient water use, ensuring alignment with regional conservation goals and sustainable landscaping principles.

WATER GOAL 2: Promote Community-Wide Water Conservation.

Policies

- 2.1. Residents, businesses, and institutions should be encouraged to adopt water-wise practices appropriate for Hurricane’s desert climate.
- 2.2. New development should incorporate regional water efficiency standards that reflect local conditions.
- 2.3. The City should maintain alignment with the Washington County Water Conservancy District’s regional water conservation objectives by supporting a long-term goal of approximately a 33 percent reduction in water use per equivalent residential connection (ERC) by 2050, consistent with the 2025 *Joint Agency Regional Water Conservation Plan*.

Strategies

- 2.1. Support education and outreach that increase awareness of conservation practices.
- 2.2. Promote landscaping and irrigation practices that reduce outdoor water use in both existing neighborhoods and new projects.
- 2.3. Support voluntary modernization of irrigation systems, plumbing fixtures, and secondary water use.
- 2.4. Highlight successful local conservation efforts to build community awareness and participation.

- 2.5. Integrate water efficiency requirements for new development into the City's subdivision and site plan review process.

WATER GOAL 3: Demonstrate Municipal Leadership and Strengthen Regional Collaboration.

Policies

- 3.1. City facilities and operations should model efficient water use to set a positive example for the community.
- 3.2. The City should work collaboratively with WCWCD, state agencies, and neighboring jurisdictions to advance shared water goals.

Strategies

- 3.1. Use prominent municipal sites, such as the new Civic Center and Sky Mountain Golf Course, to showcase conservation practices.
- 3.2. Coordinate closely with WCWCD to align land use planning with regional water supply and conservation strategies
- 3.3. Adapt City practices as needed to respond to regional drought and changing water conditions.

DRAFT



STAFF COMMENTS

Agenda Date:	11/13/2025 - Planning Commission
Application Number:	N/A
Type of Application:	Policy Recommendation
Action Type:	N/A
Applicant:	Hurricane City
Agent:	N/A
Request:	Adopt an Economic Development Policy.
Recommendation:	Recommend approval to the City Council.
Report Prepared By:	Gary Cupp

Discussion:

Staff has received direction to draft an Economic Development Policy for consideration and possible adoption by the City. The City desires to attract businesses and companies capable of creating new, high-paying jobs that will improve the quality of life and increase the tax base within its boundaries. The City desires to incentivize appropriate target businesses. Therefore, to accomplish this aim, an Economic Development Policy is proposed to attract commercial, retail, and industrial projects exhibiting the potential to meet the City’s goal of expanding its economic base. The policy is intended to provide incentives for certain target businesses. The incentives might include:

1. Fast-track approval/review process for commercial projects.
2. Infrastructure cost-sharing between city and developer.
3. Deferral of impact fees not at Building Permit but at CO.
4. Sales tax, and or Property tax agreements.
5. Match successful incentives other cities have used.
6. Identify the areas of the city where such incentives would be provided.

Recommendation:

Staff recommends the Planning Commission review the proposed policy and make a recommendation of approval to the City Council.

Advisory: Below is a draft economic development policy staff has composed at the direction of the City Council. The Council has requested the Planning Commission make a recommendation on the policy. This is a working document and staff intends to have an updated and fleshed out version for the Planning Commission at the meeting.

DRAFT Economic Development Policy

Goal: The City desires to attract businesses and companies capable of creating new, high-paying jobs that will improve the quality of life and increase the tax base within its boundaries. The City desires to incentivize appropriate target businesses. Therefore, to accomplish this aim, an Economic Expansion Committee (EEC) has been formed to review commercial, retail, and industrial projects exhibiting the potential to meet the City's goals of expanding its economic base. The EEC will make recommendations to offer incentives for certain target businesses that might include:

Incentives:

- 1) Fast-track review and approval process to assure that plan reviews are coordinated in a unified fashion for compliance with building, fire, engineering, landscape, and zoning standards to expedite the approval process; thus, helping companies save time and money by getting to permitting and construction faster.
- 2) Infrastructure cost-sharing between the city and the developer through the use of Public Infrastructure Districts, Tax Increment Financing (TIFs), Authority Infrastructure Bank Loans, or direct investment or reimbursement agreements.
- 3) Deferral of impact-fee payment to issuance of certificate-of-occupancy, and/or waive or reduce building permit and zoning application fees.
- 4) Sales tax and/or property tax agreements.
- 5) Match successful incentives other cities have used.

Economic Expansion Committee Review

The EEC, consisting of representatives from Planning, Public Works, Engineering, Planning Commission, and City Administration, will meet to review proposals or applications for commercial, retail, and industrial projects that have the potential to meet the City's economic development goals. The EEC should evaluate projects based on the following criteria:

- 1) Significant square-footage of commercial/retail space to be constructed.
- 2) The average wage of planned new jobs.
- 3) Capital expenditure investment.
- 4) Type and number of new jobs created.
- 5) Whether or not the jobs are related to headquarters or innovation operations.
- 6) The company's corporate citizenry efforts (i.e., Do they meet legal, ethical, and economic obligations to benefit the City while maintaining profitability?).

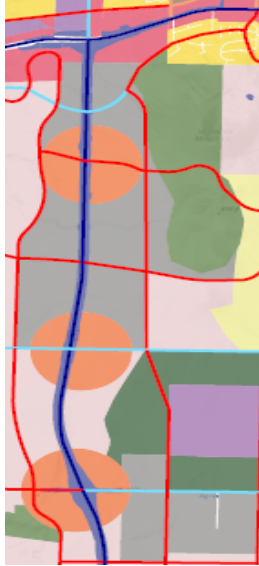
The EEC can request a prospectus from company representatives detailing how these criteria will be satisfied. The EEC will make a recommendation to the City Council for their approval to enter into an agreement to offer any incentives.

Target Areas in the City

The General Plan has identified the priority areas of the city best suited for economic development:

(Note: This list is not exhaustive nor exclusive of other appropriate areas.)

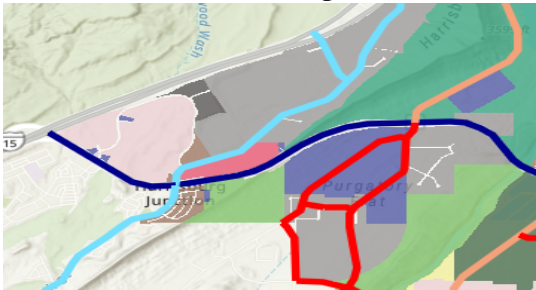
- **Hwy 7 Corridor (between SR9 and 3000 S)**



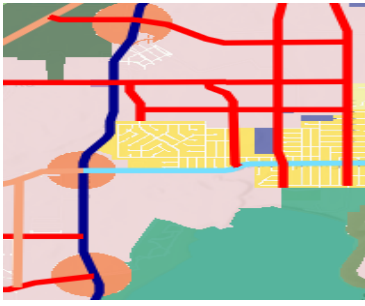
- **SR9**



- **Coral Junction and Fairgrounds**



- **Sand Hollow/Gateway Area**



Target Land Use Designations

- Orange = Neighborhood Commercial
- Grey = Light Industrial/Business
- Red = General Commercial
- Pink = Planned Community

**Hurricane Planning Commission
Meeting Minutes
December 12, 2024**

Minutes of the Hurricane City Planning Commission meeting held on December 12, 2024, at 6:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

Members Present: Mark Sampson, Paul Farthing, Shelley Goodfellow, Rebecca Bronemann, Brad Winder, and Kelby Iverson.

Members Excused: Michelle Cloud, Ralph Ballard

Staff Present: City Planner Fred Resch III, City Attorney Dayton Hall, Planning Technician Brienna Spencer, City Engineer Representative Jeremy Pickering, and Councilman Clark Fawcett.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance led by Paul Farthing

Prayer and/or thought by invitation given from Rebecca Bronemann

Brad Winder motioned to approve the agenda as presented. Paul Farthing seconded the motion. Unanimous.

Declaration of any conflicts of interest

Public Hearings

1. A Land Use Code Amendment to Title 10 Chapter 25 to establish an airport overlay zone.
Fred Resch III shared that state law now requires the city to establish an airport overlay that differs from the one already in place, and this update will implement those changes.

No Comments

2. A Zone Change Amendment request to amend the approved site plan for Pecan Valley to allow for a residential treatment facility located at 5147 W and 5159 W 2200 S. Public Hearing Only. No action on this item will be taken until January 9th, 2025.

Dayton Hall explained that the applicant provided envelopes for noticing, but they included physical addresses instead of mailing addresses. This did not meet the noticing requirements; however, since notice was given and some people are present, the public hearing is being held. New notices will be sent out, and another public hearing will be held at the next planning commission meeting on January 9, 2025. Multiple comments were submitted and have been attached at the end of these minutes.

Michael Chavez shared that he is representing his neighbor, Dean Rostrum, and presented a video statement. Dean Rostrum, a homeowner in the neighborhood, strongly opposes the proposed zone change, stating it is not consistent with the community and would adversely affect his property values. His home was built to accommodate 25 people with recreational amenities, designed for a lively group,

1 which he feels is incompatible with the proposed residential treatment facility (RTC). He emphasized that
2 the CC&Rs prohibit commercial uses of this type and that HOA approval for the change has not been
3 obtained. Michael Chavez added that he lives nearby and will also be affected, noting that the
4 application's portrayal does not match the neighborhood and that ongoing construction in the area
5 makes it unsuitable for a treatment facility.
6

7 Robin Lee, a nurse practitioner residing in Oak Haven, expressed concerns about living half a mile from
8 an inpatient facility. She questioned the security of the facility, the patients' activities, and whether
9 insurance would cover the proposed 90-patient facility. She highlighted potential risks to children and the
10 community, citing concerns about dangerous and unpredictable behavior.
11

12 Jon Sweany, a resident experienced with zoning matters, questioned the applicant's motives, stating
13 that the email from Dr. Hendleman was vague and misleading, with no clear information on patient
14 diagnoses or security measures. He suggested the proposed facility may be more financially motivated
15 than community focused.
16

17 Stuart Thomas read his written statement, which is attached to these minutes.
18

19 Mandy Ellefson stated that she moved to the community for safety and believes that introducing a
20 residential treatment facility could invite unsafe activity, potentially impacting her life savings and
21 neighborhood stability.
22

23 Wayne Halterman read his written statement, which is attached to these minutes.
24

25 Brick Loring acknowledged the need for treatment facilities but noted that the neighborhood's large
26 homes on small lots could create conflicts with this use.
27

28 Sally Avery, residing one block north of the proposed location, shared that her brother-in-law was
29 murdered in a similar facility. She encouraged the commission to visit the neighborhood and questioned
30 the applicant's plans, noting the current condition of Pecan Valley.
31

32 John Hendleman, the applicant and a psychiatrist with eight years of experience, clarified that the facility
33 will not operate as a halfway house or court-ordered program. It is intended for patients with depression
34 or anxiety seeking a vacation-style residential program. He emphasized that safety measures will be in
35 place, fewer than 10 patients will occupy each house, and no disruptive behaviors will be permitted.
36

37 Jon Woolsey, a medical provider in St. George, submitted a comment included in the packet. He
38 acknowledged the importance of mental health but stated that the neighborhood is opposed, citing a
39 petition with 66 signatures and concerns over future regulation of patients.
40

41 Katie Leavitt shared that she grew up next to a treatment facility and experienced no issues, noting that
42 properly monitored facilities can coexist safely in a neighborhood.
43

44 Georgette Loring raised concerns about parking, noting that streets become impassable during holidays
45 and UTV events.
46

47 **3. A Zone Change Amendment request, located at the southeast corner of Gateway Blvd and**
48 **Jellystone Rd to add a PDO, planned development overlay, over the existing R1-8, residential one**
49 **unit per 8,000 square feet. Parcel numbers H-4-2-12-1208-GS1 and H-4-2-12-1209-GS1.**

50 No comments.

1 **4. A Zone Change Amendment request approximately located at the northeast corner of**
2 **Gateway Blvd and Jellystone Rd to add a PDO, planned development overlay, over the existing**
3 **R1-6, residential one unit per 6,000 square feet. Parcel numbers H-4-2-1-1112-GS1, H-3-2-6-340,**
4 **and H-4-2-1-1112-GS1.**

5 No comments.

6
7 **5. A Zone Change Amendment request located at approximately 2600 W 100 N from HC,**
8 **highway commercial, to RM-3, multifamily 15 units per acre. Parcel number H-3-1-32-312 and a**
9 **portion of parcel numbers H-3-1-32-314 and H-3-1-32-41011.**

10 Brian Dial shared his concern about moving the project to a denser multifamily zone right next to single-
11 family homes. He stated he is not necessarily opposed to the project but suggested considering
12 something less dense adjacent to single-family housing.

13
14 **6. A Zone Change Amendment request located at approximately 2800 W 100 N from MH/RV,**
15 **mobile home/RV, and R1-8, residential one unit per 8,000 square feet, to GC, general commercial.**
16 **Parcel numbers H-3-1-32-341, H-3-1-32-342, H-3-1-32-343, H-3-1-32-344, H-3-1-32-44031, and H-3-**
17 **1-32-440112.**

18 No comments.

19
20 **OLD BUSINESS**

21
22 **1. PP24-28: Discussion and consideration of a possible approval of a preliminary plat for**
23 **Hawk Ridge, a 149-lot townhome subdivision, located at the east end of Cliffhanger Dr. Mitch**
24 **Weis, Applicant. Bush & Gudgell, Agent.**

25 The original preliminary plat was approved in 2022 and would have expired after one year if a final plat
26 had not been applied for, but the first phase met those deadlines. This request is for a change from the
27 original preliminary plat. Brady from Perry Homes explained that the changes shift density, with fewer
28 single-family homes and a few more multifamily units, while still remaining below the allowed number of
29 units. Rebecca Bronemann asked about engineering comments and a streets department comment.
30 Brady stated that they have spoken with the water department and that all issues will be worked out.

31
32 *Shelley Goodfellow motioned to approved PP24-28 subject to staff and JUC comments. Rebecca*
33 *Bronemann and Paul Farthing seconded the motion. Unanimous.*

34
35 **NEW BUSINESS**

36
37 **1. FSP24-61: Discussion and consideration of a possible approval of a final site plan for**
38 **Liberty Village Phase 2, a civic educational development located north of the northwest corner of**
39 **W 3000 S and S 2100 W. United We Pledge, Applicant. David Hughes, Agent.**

40 Stephanie Broker is the CEO of Liberty Village. She explained the layout of buildings on this site. Kelby
41 Iverson asked if this is expanding the property boundaries of what the balance of nature property already
42 was. Ms. Broker shared that it is within the existing boundaries.

43
44 *Paul Farthing motioned to approve FSP24-61 subject to staff and JUC comments. Shelley Goodfellow*
45 *seconded the motion. Unanimous.*

46
47 **2. LUCA24-09: Discussion and consideration of a recommendation to the City Council on a**
48 **Land Use Code Amendment to Title 10 Chapter 25 to establish an airport overlay zone. Hurricane**
49 **City, Applicant.**

50 Fred Resch III shared that Gary worked on this to get it up to state compliance. It's really just clerical
51 clean up. Shelley Goodfellow asked if this overlay restricts density. Dayton Hall explained that the

1 proposed change does not restrict density but will restrict building height depending on proximity to the
2 airport. He noted that height limitations would only apply to properties located very close to the airport.
3 The primary purpose of this State change is to require the city to provide notice to any development
4 occurring within 5,000 feet of the airport, designating those properties as being within an airport
5 influence area. In addition, notice would be required to be provided to any purchaser of a lot within a
6 subdivision located inside the 5,000-foot boundary.

7
8 *Rebecca Bronemann motioned a recommendation of approval of LUCA24-09. Shelley Goodfellow*
9 *seconded the motion. Unanimous.*

10
11 **3. ZC24-13 PSP24-38: Discussion and consideration of a recommendation to the City**
12 **Council on a Zone Change Amendment request and preliminary site plan approval approximately**
13 **located at the southeast corner of Gateway Blvd and Jellystone Rd to add a PDO, planned**
14 **development overlay, over the existing R1-8, residential one unit per 8,000 square feet. Parcel**
15 **numbers H-4-2-12-1208-GS1 and H-4-2-12-1209-GS1. Western Mortgage and Realty Co - Tim**
16 **Tippett, Applicant. Karl Rasmussen, Agent.**

17 Karl Rasmussen shared that the property is currently zoned R1-8 and that the proposed PDO change is
18 primarily for setback adjustments, allowing reduced setbacks. Dayton Hall stated that the intent of the
19 PDO code is to permit clustering and reduced setbacks. Mr. Rasmussen added that the plan includes
20 pocket parks and some trails. Mr. Hall commented that it seems this change is mainly to reduce
21 setbacks. Fred Resch III noted that there is some minor clustering, with lots averaging 7,500 square
22 feet. Paul Farthing asked about the original density, and Karl responded that it was 205 units and is now
23 200.1 units under the proposed plan.

24
25 *Paul Farthing motioned a recommendation of approval of ZC24-13 and PSP24-38 subject to staff and*
26 *JUC comments. Shelley Goodfellow seconded the motion. Unanimous.*

27
28 **4. ZC24-14 PSP24-35: Discussion and consideration of a recommendation to the City**
29 **Council on A Zone Change Amendment request and preliminary site plan approval**
30 **approximately located at the northeast corner of Gateway Blvd and Jellystone Rd to add a PDO,**
31 **planned development overlay, over the existing R1-6, residential one unit per 6,000 square feet.**
32 **Parcel numbers H-4-2-1-1112-GS1, H-3-2-6-340, and H-4-2-1-11112-GS1. Western Mortgage and**
33 **Realty Co -Tim Tippett, Applicant. Karl Rasmussen, Agent.**

34 Karl Rasmussen stated that the proposed lots will have an average size of 6,100 square feet. Fred
35 Resch noted that this plan is less dense than the original proposal, which had 371 lots, while the current
36 plan has 338 lots. The primary purpose of the change is to alter the setbacks, and the rest of the
37 subdivision meets R1-6 standards.

38
39 *Kelby Iverson motioned a recommendation of approval of ZC24-14 and PSP24-35 subject to staff and*
40 *JUC comments. Brad Winder seconded the motion. Unanimous.*

41
42 **5. ZC24-18: Discussion and consideration on a recommendation to the City Council on A**
43 **Zone Change Amendment request located at approximately 2600 W 100 N from HC, highway**
44 **commercial, to RM-3, multifamily 15 units per acre and at approximately 2800 W 100 N from**
45 **MH/RV, mobile home/RV, and R1-8, residential one unit per 8,000 square feet, to GC, general**
46 **commercial. Parcel numbers H-3-1-32-341, H-3-1-32-342, H-3-1-32-343, H-3-1-32-344, H-3-1-32-**
47 **44031, H-3-1-32-440112 and H-3-1-32-312 and a portion of parcel numbers H-3-1-32-314 and H-3-1-**
48 **32-41011. Western Commercial Real Estate, PLLC, Applicant. Joby Venuti, Agent.**

49 Joby Venuti shared that on Parcel A, a lot line adjustment was completed to clear things up for the
50 future. On Parcel B, the corner is where the roadway was, and it is the only section zoned R1-8. Parcel
51 A is currently zoned commercial and could be developed as a hotel.

1
2 *Shelley Goodfellow motioned a recommendation of approval of ZC24-18 subject to staff and JUC*
3 *comments. Rebecca Bronemann seconded the motion. Unanimous.*
4

5 **6. PSP24-13: Discussion and consideration of a possible approval of a preliminary site plan**
6 **for Southern Utah sheds, a commercial development located at 980 W State St. Rachael**
7 **Rasmussen, Applicant.**

8 Fred Resch III shared that this item has been on the agenda twice before, but each time the applicant
9 asked to be removed. They have now worked things out and are ready to move forward. Rachael
10 Rasmussen asked about the engineering comment regarding the secondary access, noting she thought
11 this was being resolved with the Applebee's applications. Jeremy Pickering clarified that the comment
12 regarding 100 North access had already been worked out and predated the current application. Ms.
13 Rasmussen stated that this is just a temporary site and asked if the landscape requirements could be
14 waived since they do not plan to put in any water.
15

16 *Paul Farthing motioned to approved PSP24-13 subject to staff and JUC comments. Brad Winder*
17 *seconded the motion. Unanimous.*
18

19 **7. PSP24-30: Discussion and consideration of a possible approval of a preliminary site plan**
20 **for Silverwood Industrial Subdivision, an industrial subdivision located at 850 N Old Highway 91.**
21 **Jeff Andrus, Applicant. Rhett Beazer, Agent.**

22 Rhett Beazer shared that they are planning a commercial development. The subdivision originally
23 consisted of three large parcels, but his client would like to develop his portion differently. The proposed
24 units are essentially glorified storage but could also be used for other purposes. A comment was raised
25 regarding the shared access on the southern boundary. Rebecca Bronemann asked the engineering
26 department about their comments, and Jeremy Pickering responded that some assumptions must be
27 made at this stage. Regarding proposed line work and utilities, he noted that for a preliminary site plan, it
28 is acceptable. However, for walls or fences, if the drive space is between the buildings, there could be
29 significant slope issues. He added that those details can be addressed as the project moves forward.
30

31 *Rebecca Bronemann motioned to approve PSP24-30 subject to staff and JUC comments. Shelley*
32 *Goodfellow seconded the motion. Unanimous.*
33

34 **8. PSP24-32: Discussion and consideration of a possible approval of a preliminary site plan**
35 **for Desert Dunes at Desert Sands, a 100 unit single family "patio home" development located at**
36 **4750 W Dixie Springs Dr. The Hollows LLC, Applicant. DSG Engineering - Logan Blake, Agent.**

37 Brett Burgess explained the project, noting that it is a portion of their master plan. The product is
38 intended as a move-up option from patio homes, consisting of smaller two-story units of about 2,200
39 square feet. The idea is for residents to move from townhomes to these units and then to larger single-
40 family homes. He mentioned they are working on the water model and that engineering concerns will be
41 addressed. The project fits within the allocations for area "K." Dayton Hall asked why the project was not
42 being presented as a preliminary plat. Mr. Burgess responded that it would eventually be platted, but his
43 understanding was that the process began with a preliminary site plan. Fred Resch clarified that since
44 the project consists of single-family homes, a preliminary site plan is not required, and instead a
45 preliminary plat will need to be submitted at a later time.
46

47 *Kelby Iverson motioned to approve PSP24-32 subject to staff and JUC comments. Brad Winder*
48 *seconded the motion. Unanimous.*
49

1 **9. PSP24-33: Discussion and consideration of a possible approval of a preliminary site plan**
2 **for the Rock Place, a construction sales and service facility, located at 3272 W 600 N. Interstate**
3 **Rock Products, Applicant. Chase Stratton, Agent.**

4 Farthing asked about the concerns that had been voiced by engineering. Chase Stratton stated that he
5 figured those issues would simply be worked out during the construction drawing process. Jeremy
6 Pickering explained that in terms of access, it would be beneficial to sit down and determine the future
7 plans for the rest of the property. With the current proposal showing a curb cut, sidewalk, and trail along
8 the roadway, engineering would generally discourage that at this stage in favor of establishing a
9 temporary access. He noted there is another possible access point just off what is currently shown that
10 could provide two access options. He added that this can be evaluated further during the construction
11 drawing process. Kelby Iverson asked if this will be temporary or semi-permanent. Mr. Stratton said that
12 it is permanent.

13
14 *Rebecca Bronemann motioned to approve PSP24-33 subject to staff and JUC comments. Kelby Iverson*
15 *seconded the motion. Unanimous.*
16

17 **10. PP24-30: Discussion and consideration of a possible approval of a preliminary plat for**
18 **The Orchards, a 32 lot single family subdivision located at approximately 3600 W 1640 S. Dennis**
19 **Miller, Applicant. Karl Rasmussen, Agent.**

20 Karl Rasmussen shared that this project is located just south of the zone changes recently approved
21 and is adjacent to Peach Springs. He noted that in the first part of next year, Gateway Blvd will be
22 extended down to Dixie Springs Drive. Fred Resch III explained that the current property is landlocked
23 from any public right-of-ways, with access gained through Peach Springs, which is not yet developed.
24 He added that Jeremy had raised concerns about block lengths, and staff had provided the applicant
25 with a couple of options—they just need to decide which they prefer. Brad Winder asked about the
26 additional comments regarding the conditions of dedicated public access and the provision of utilities to
27 the site. Jeremy Pickering responded that since Peach Springs is currently under construction, if this
28 project attempts to plat first, it would be subject to Peach Springs platting beforehand. Dayton Hall
29 asked, assuming the commission approved this with conditions but without public access, how far the
30 development could proceed without meeting the public access requirement. He questioned whether
31 construction drawings could even be accepted under those circumstances and cautioned about where
32 the commission should draw the line. Mr. Rasmussen replied that a reasonable plan would be put in
33 place to address those concerns. He explained that the drawings already approved for each road with
34 utilities would be incorporated into this project's plan set so that if the applicant does not build them, the
35 city would. A final plat would also need to show that road extending and tying into the subdivision. The
36 commission and staff then continued to discuss back and forth about the risks of moving forward with
37 approval without established public access.
38

39 *Paul Farthing motioned to approve PP24-30 subject to staff and JUC comments with the added*
40 *requirement that documentation of a deed of dedication of a public right of way be submitted with the*
41 *construction drawings. Also adding that they stub access into the property to the north, following the*
42 *engineering redlines for this application. Shelley Goodfellow seconded the motion. Unanimous.*
43

44 **11. PSP24-34: Discussion and consideration of a possible approval of a preliminary site plan**
45 **and recommendation to the City Council on an amendment to a development agreement for**
46 **Stirling Orchards, a mixed-use development consisting of storage units, townhomes, a reception**
47 **center and creamery, located at 1468 S 3400 W. Stirling Development and Enhanced Homes,**
48 **Applicant. Karl Rasmussen, Agent.**

49
50 *Rebecca Bronemann motioned to table PSP24-34 and PP24-31 until such time as the applicant is*
51 *ready. Paul Farthing seconded the motion. Unanimous.*

1
2 **12. PP24-33: Discussion and consideration of a possible approval of a preliminary plat of**
3 **Copper Vista, a 338-lot single family subdivision located at the northeast corner of Gateway Blvd**
4 **and Jellystone Road. Western Mortgage and Realty Co - Tim Tippett, Applicant. Karl Rasmussen,**
5 **Agent.**

6 Karl Rasmussen shared that this is the second zone change request with an average lot size of 6,100
7 square feet. He explained that the applicant's intent is simply to start the process so they can move
8 forward with design work. Dayton Hall asked whether the proposed plat would still meet the
9 requirements of the current zoning if the requested zone change were not granted. Fred Resch
10 confirmed that it does.

11
12 *Kelby Iverson motioned to approve PP24-33 subject to staff and JUC comments. Shelley Goodfellow*
13 *seconded the motion. Unanimous.*

14
15 **13. PSP24-36 PP24-34: Discussion and consideration of a possible approval of a preliminary**
16 **site plan and preliminary plat for BASH Mancaves, a mixed-use development consisting of 14**
17 **mancaves, 42 residential units, and office/retail space located at west of Marla at Elim Valley.**
18 **Western Mortgage and Realty Co - Tim Tippett, Applicant. Karl Rasmussen, Agent.**

19 Karl Rasmussen stated that he would like to follow staff's recommendation and continue this item in
20 order to work through some remaining issues before bringing it back at the next meeting.

21
22 *Brad Winder motioned to continue PSP24-36 and PP24-34 until next meeting Paul Farthing seconded*
23 *the motion. Unanimous.*

24
25 **14. PSP24-37: Discussion and consideration of a possible approval of a preliminary site plan**
26 **for Luisa's Corner, a commercial development located at the southwest corner of Sand Hollow**
27 **Road and Bash Parkway. Brent Moser, Applicant. Karl Rasmussen, Agent.**

28 Fred Resch III shared that the applicant provided an updated site plan showing the use is allowed in the
29 zoning. The update was received at about 3:30 PM, so staff recommends continuing the item to allow
30 time for review. Karl Rasmussen explained that one of their CAD staff mistakenly labeled the building as
31 warehouse/office space, but Fred caught the error. He clarified that it will be a general commercial
32 carpet business with a showroom, similar to Stout Home Furnishings.

33
34 *Paul Farthing motioned to continue PSP24-37. Rebecca Bronemann seconded the motion. Unanimous.*

35
36 **15. PSP24-39: Discussion and consideration of a possible approval of a preliminary site plan**
37 **for BASH Carwash, a commercial development located at the northwest corner Bash Parkway**
38 **and Sand Hollow Road. Brent Moser, Applicant. Karl Rasmussen, Agent.**

39
40 *Rebecca Bronemann motioned to approve PSP24-39 with the modified site plan. Paul Farthing*
41 *seconded the motion. Unanimous.*

42
43 **16. PSP24-40: Discussion and consideration of a possible approval of a preliminary site plan**
44 **for Mad Moose Rentals, a vehicle/equipment rental facility located at 4345 W Abbey Road.**
45 **Spencer Finch, Applicant. Karl Rasmussen, Agent.**

46 Spencer Finch shared that they are currently located in the Quail Creek Industrial Park, at the Sand
47 Hollow Resort, and the Quail Creek State Park. Jeremy Picking noted there has been some discussion
48 of a cross access easement along this property for Bash Mancaves. Karl Rasmussen stated they are
49 already struggling to make the building fit without allowing an access easement.

1 *Shelley Goodfellow motioned to approve PSP24-40 subject to staff and JUC comments with the*
2 *exception that the easement benefiting the property to the south is not required due to the nature of the*
3 *business and the size of the lot. Rebecca Bronemann seconded the motion. Unanimous.*
4

5 **17. PSP24-41: Discussion and consideration of a possible approval of a preliminary site plan**
6 **for Gateway Park, a park located at the southwest corner of Jellystone Road and Gateway Blvd.**
7 **Western Mortgage and Realty Co - Tim Tippett, Applicant. Karl Rasmussen, Agent.**

8 Mark Sampson asked how large the green space is. Karl Rasmussen shared that it is the size of a
9 soccer field. Fred Resch III stated he was unable to get comments from the parks department and that
10 they will need to contact the department to determine what will be required from the applicant.
11

12 *Paul Farthing motioned to approve PSP24-41 subject to staff and JUC comments. Brad Winder*
13 *seconded the motion. Unanimous.*
14

15 **18. CUP24-24: Discussion and consideration of a possible approval of a conditional use**
16 **permit for a building of greater height and size located at 3960 W 2470 S. Enhanced Home**
17 **Builders, Applicant. Trent Johnson, Agent.**

18 All commissioners agree with the application.
19

20 *Kelby Iverson motioned to approve CUP24-24. Rebecca Bronemann seconded the motion. Unanimous.*
21

22 **19. Approval of the 2025 Meeting Schedule**
23

24 *Paul Farthing motioned to approve the 2025 meeting schedule as presented. Rebecca Bronemann*
25 *seconded the motion. Unanimous.*
26

27 *Paul Farthing motioned to adjourn. Shelley Goodfellow seconded the motion. Unanimous.*
28

29 **Adjournment at 8:58PM**

**Hurricane Planning Commission
Meeting Minutes
April 10, 2025**

Minutes of the Hurricane City Planning Commission meeting held on April 10, 2025, at 5:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

Members Present: Mark Sampson, Paul Farthing, Shelley Goodfellow, Ralph Ballard, Brad Winder, Kelby Iverson, Michelle Smith, and Amy Werrett.

Members Excused:

Staff Present: Planning Director Gary Cupp, City Planner Fred Resch III, City Attorney Dayton Hall, Planning Technician Brienna Spencer, City Engineer Representative Jeremy Pickering, Water Department Representative Kory Wright, and Councilman Kevin Thomas.

5:00 p.m. - Planning Commission Business:

1. Discussion on rockfall zones

No need to discuss as it is included as an item to be voted on. There was follow-up discussion on the outcome of City Council's decision regarding the Back 9 Townhomes zone change and the outcome of the PDO in PF zones. Discussion was also held regarding the power hook-up and impact fee changes presented at City Council.

2. Update on the 2025 Utah State Legislative Session

Fred Resch III presented a PowerPoint outlining updates from the State Legislature, including recently passed land-use bills. Discussion and questions followed regarding several of the bills, including HB37, HB368, SB181, HB44, SB340, SB179, HB256, HB198, and HB355.

3. Discussion on restricting storage units only to Industrial Zones

Gary Cupp stated that the intent is to preserve quality commercial areas. Currently, storage units are allowed in some commercial zones and are sometimes used as leverage by developers to obtain other approvals. He suggested considering allowing storage units only in industrial zones. Mark Sampson asked if there was a count of how many storage unit facilities currently exist in the city. Mr. Cupp replied that while there isn't an exact number, it is significant. Paul Farthing noted that there are areas where having storage units near residential pockets is convenient and beneficial. Kevin Thomas suggested making storage units a conditional use to help prevent developers from using them as leverage, allowing the city more discretion.

Ralph Ballard commented that Gary had summarized well the purpose of the discussion for future readers of the minutes and added that industrial space will be needed in the future, so the city must be strategic in preserving it. He emphasized this isn't about stopping storage units but about regulating them appropriately. Commissioner Farthing agreed with the conditional use permit (CUP) idea but raised concern that if all conditions are met, the city cannot deny approval, asking what could be done to maintain flexibility in such cases.

Kelby Iverson noted that from a developer's perspective, such as with the Back 9 Townhomes project, storage units are an allowed use, and when other options are denied, developers default to storage because it's simpler. Councilman Thomas agreed, stating that developers often comply with all

1 requirements yet still face denials. Commissioner Farthing added that the Back 9 property was not prime
2 commercial land, so its denial was confusing. Commissioner Iverson mentioned that similar situations
3 have occurred, such as with the storage units on 2300 S, where opposition shifted once alternatives like
4 modular homes were considered.

5
6 Commissioner Sampson reiterated the need to quantify how many storage units currently exist before
7 making zoning changes, to understand the overall impact. Shelley Goodfellow pointed out that the real
8 question is whether storage units are an industrial use, and if so, the city should create more industrial
9 zones instead of placing them in commercial ones. Commissioner Ballard agreed but noted that storage
10 units are quiet and less intensive than other industrial uses, suggesting that a new category might be
11 appropriate to prevent them from overtaking either industrial or commercial areas. Commissioner
12 Farthing commented that if the property remains zoned commercial, it could instead be used for vacation
13 rentals. Councilman Thomas clarified that vacation rentals are no longer permitted in commercial zones.
14 Commissioner Iverson concluded that while the specific issue that prompted this discussion is important,
15 the broader focus should be on future planning; considering dispersed placement of storage units,
16 potential CUP requirements, and protection of industrial land.

17
18 **6:00 p.m. - Call to Order**

19
20 Roll Call

21
22 Pledge of Allegiance led by Amy Werrett

23
24 Prayer and/or thought by invitation given by Shelley Goodfellow

25
26 Declaration of any conflicts of interest

27
28 **Public Hearings**

29
30 **1. A Zone Change Amendment request located at 2400 W and Liberty Way from M-1**
31 **and R1-10 (PDO) to R1-10 (PDO) and to update the overall PDO for BoN Gardens. Parcel H-3373-**
32 **NP-BL.**

33 Gary Cupp provided a summary of the Balance of Nature project, explaining that the developers are no
34 longer planning to construct the industrial use buildings originally proposed. Because of this change,
35 they are requesting a rezone to remove the industrial use from the project. Ralph Ballard asked if the
36 industrial component is being removed, who the housing units are intended for. Mr. Cupp clarified that
37 the corporate headquarters will still remain on site, and the housing will still be designated for
38 employees. Paul Farthing expressed concern, noting that part of the original justification for the project
39 was the creation of jobs through the industrial use, and removing that element feels like a “bait and
40 switch.” There were no public comments.

41
42 **2. A Land Use Code Amendment to Title 10 Chapter 28 regarding rockfall zone**
43 **development standards.**

44 Gary Cupp summarized the discussion regarding noticing requirements for rock fall zones, explaining
45 that the proposal is to shift the process toward a waiver status. This would allow property owners to
46 acknowledge and assume the risks associated with developing in these areas rather than requiring
47 formal notice or restrictions.

48
49 **3. A Land Use Code Amendment to Title 10 Chapter 3, 7, 12, and 14 regarding farm**
50 **stands.**

1 Gary Cupp explained that the current code already allows farm stands but that the city is looking at
2 expanding what can be done with them.

3
4 Trinity Stout shared general thoughts on the importance of farm stands, citing a quote from the FFA
5 creed and emphasizing that any restrictions limiting their use would negatively impact many citizens.
6 She asked the commission to keep that in mind when discussing potential limitations.

7
8 John Garner, applicant, added that the topic is being brought up because of their existing farm store,
9 which currently does not meet all the standards. Their goal is to provide good food to the community and
10 encourage residents to visit the farm.

11
12 **NEW BUSINESS**

13
14 **1. PP25-11: Discussion and consideration of a possible approval of a preliminary plat**
15 **for Swiss Mesa, a five lot single family residential subdivision located at 300 N 2800 W. Swiss**
16 **Seven, LLC, Applicant. Tony Carter, Agent.**

17 Tony Carter presented a subdivision located just off Southern Parkway, explaining that it is a
18 continuation of the Pariso Subdivision and will connect to the existing street. Fred Resch III noted that
19 the property is within PDO zoning. Carter added that the project will eventually tie into a larger
20 development planned to the north. Mark Sampson asked for clarification on the commercial uses
21 proposed for the area and Mr. Resch outlined the PDO parameters and limitations. Ralph Ballard asked
22 how the project will connect to surrounding areas. Mr. Carter explained that it directly ties into the Pariso
23 Subdivision, with the land to the north having a 30% slope, making it unbuildable; this portion is
24 essentially the only feasible development area. Jeremy Pickering added that a roadway connection is
25 expected as part of the plan.

26
27 *Paul Farthing motioned to approve PP25-11 subject to staff and JUC comments. Brad Winder seconded*
28 *the motion. Unanimous.*

29
30 **2. AFSP25-01: Discussion and consideration of a possible approval of an amended**
31 **final site plan for Glampers Inn, a commercial development, located at 505 S Sand Hollow Road.**
32 **Blow Sand LLC, Applicant. Scott Nielson, Agent.**

33 Scott Nielson presented a proposal to make the water park available to the public and noted that a
34 parking study had been conducted to accommodate public visitors. Gary Cupp requested a modification
35 to allow unused RV spaces to be used as parking for day use water park guests, effectively seeking a
36 parking exemption. Kelby Iverson asked whether adjustments would be made if the RV park was full. Mr.
37 Cupp explained that, according to the report, stalls would be sectioned off to meet parking requirements.
38 Mr. Nielson clarified that the designated white space at the top of the plan provides 647 parking spaces
39 excluding the RV campsites and the roundabout area. Mr. Cupp noted that the parking study provided
40 191 spaces and that the numbers had been verified. Mark Sampson asked if having those spaces was
41 sufficient; Mr. Cupp confirmed that it was.

42
43 Mr. Nielson added that working backwards from the study showed that removing RV spaces drastically
44 reduced water park occupancy and Mr. Cupp emphasized that occupancy limits for the water park
45 should be enforced as part of the decision. Brad Winder asked about the configuration of the RV parking
46 to which Commissioner Sampson noted that the spaces are end-to-end, not side-by-side.

47
48 Commissioner Werrett asked about the timing of a traffic signal referenced in the packet. Mr. Cupp
49 explained that the light would be required if additional facilities, such as a restaurant, were built,
50 including on other properties. Shelley Goodfellow expressed enthusiasm for the water park to be open to
51 the public, noting it provides a recreational option for young families.

1 Paul Farthing confirmed that eliminating some RV parking gains about 66 additional stalls. Mr. Cupp
2 added that a revised parking plan would be required for approval. Ralph Ballard appreciated the removal
3 of pedestals from RV spots to create more permanent parking spaces. Mr. Nielson affirmed confidence
4 in the number of parking spaces that could be created.

5
6 *Kelby Iverson motioned to approve AFSP25-01 subject to staff and JUC comments. Brad Winder*
7 *seconded the motion. Unanimous.*

8
9 **3. LUCA25-02: Discussion and consideration of recommendation to the City Council**
10 **on a Land Use Code Amendment to Title 10 Chapter 28 regarding rockfall zone development**
11 **standards. Hurricane City, Applicant.**

12 Gary Cupp summarized the proposed ordinance update regarding the rock fall zone, explaining that
13 under the current code, if a building permit falls within that zone, it requires a significant amount of
14 geotechnical reporting and testing. He stated that the state does not have similar requirements for these
15 areas and that the city had been asked to minimize the level of geotechnical reporting required. The
16 proposal would still require a letter or brief report acknowledging that the property lies within a rock fall
17 zone and identifying the severity of the risk. Additionally, a stronger indemnification and liability waiver
18 would be implemented, which the property owners would be required to sign to release the city from
19 responsibility.

20
21 Mark Sampson asked for clarification using an example of a subdivision being built within a rock fall
22 zone, asking if a waiver would be required in that case. Mr. Cupp explained that yes, liability waivers
23 would be recorded with the subdivision, and while a geotechnical report would still be required, it would
24 not be as extensive as what has been required in the past. He added that this ordinance would not be
25 retroactive, as none of the city's ordinances apply retroactively, and existing developments would be
26 considered legal non-conforming uses.

27
28 Commissioner Sampson then asked what would happen if property owners later requested changes to
29 their lots. Mr. Cupp stated that in that case, they would be required to comply with the current standards
30 and provide the necessary documentation. Ralph Ballard asked whether having property owners go
31 through the process of acknowledging the hazard would shift liability onto the developer. Mr. Cupp
32 clarified that the intent was not to shift liability onto others but to remove liability from the city, placing the
33 responsibility on whoever is developing the property.

34
35 Paul Farthing suggested tabling the item until City Attorney Dayton Hall could be present, expressing
36 concern that the proposed changes contained several legal gaps. He noted that if a builder signed the
37 waiver but the property owner did not, the liability could still fall back on the city, effectively allowing
38 development in unsafe areas. Mr. Cupp responded that there are currently no state-level requirements
39 for such reports or restrictions, and therefore the city is not obligated to impose them at all.

40
41 Michelle Smith asked how many projects were required to comply with the geotechnical reporting since
42 the code was updated to include the rock fall zone requirements. Mr. Cupp stated he was unsure, noting
43 that enforcement had been inconsistent and that some projects were caught and required to complete
44 the reports, while others were missed and did not. Commissioner Smith expressed concern that allowing
45 development in these questionable areas without the requirement places significant responsibility on the
46 city.

47
48 Shelley Goodfellow commented that there is a lot of red tape the city is trying to remove to make
49 housing more affordable and felt this may be one of those areas. She noted that much of southern Utah
50 lies within various hazard zones and that developments have already been approved in areas with fault
51 lines and other risks. She concluded that she is unsure what the right balance or answer is.

1
2 Amy Werrett commented that a lawsuit is likely to occur regardless of any waiver or document that is
3 signed. She noted that while initial owners can be given notice of the hazard, future owners may not
4 have that same awareness once the property is sold. Commissioner Ballard stated that anytime a
5 property title is transferred, the disclosure and liability information would follow the title, ensuring new
6 owners are notified.

7
8 Kelby Iverson remarked that the proposal being discussed reflects what staff had previously developed
9 in the work meeting, but now the discussion seems to be circling back. He emphasized that statistically,
10 more people have been killed by lightning than by falling rocks and expressed concern about continually
11 adding red tape and regulation. He stated that approximately 90% of the rock fall zones in the city are
12 already built out. He suggested identifying the riskiest area and using that as a standard, rather than
13 expanding restrictions unnecessarily; adding that implementing a recorded letter that follows the
14 property title would likely reduce the city's liability more effectively than adding extensive requirements
15 that still might not prevent an incident. He questioned whether any area within the current rock fall zone
16 is more hazardous than the Angell Heights area. Mr. Cupp responded that according to state guidelines,
17 there are no restrictions that prohibit building in rock fall zones. The state only provides standards and
18 recommendations for risk areas but does not impose any limitations on construction within them.

19
20 Commissioner Farthing stated that he would still prefer to have engineering reports and professional
21 recommendations included as part of the process. Commissioner Ballard remarked that if someone
22 chooses to sit on the edge of a cliff and falls, they would naturally be hurt; implying that some degree of
23 risk is inherent and unavoidable.

24
25 Julie Iverson noted that the recorded disclosure would follow the property, ensuring new owners are
26 notified through title, making it their responsibility. Commissioner Ballard asked whether the city could
27 include specific language in the documentation strongly recommending that property owners take certain
28 safety measures. Commissioner Farthing pointed out that soils reports are already required for every lot,
29 though they may still miss certain issues. Commissioner Sampson recommended tabling the discussion
30 until Dayton could be present to provide additional input.

31
32 Mr. Cupp noted that Dayton had been involved in drafting the proposed language but supported tabling
33 the item for further discussion. Commissioner Iverson added that the proposal had previously come
34 before the commission months ago, when the language stated that no structures could be built within the
35 rock fall zone. He explained that the commission later held a work meeting to revise that and then sent it
36 to legal, where it was worked up to match what was discussed. He expressed frustration that after all
37 that, the item was now being sent back again for further discussion.

38
39 *Kelby Iverson motioned a recommendation of approval of LUCA25-02 to the City Council. Ralph Ballard*
40 *seconded the motion. Roll call. Shelley Goodfellow – nay, she would like to table to discuss with legal,*
41 *Michelle Smith – nay, Paul Farthing – nay, Ralph Ballard – aye, Mark Sampson – aye, Kelby Iverson –*
42 *Aye, Amy Werrett – aye, Brad Winder – aye. Motion carries.*

43
44 **4. LUCA25-03: Discussion and consideration of recommendation to the City Council**
45 **on a Land Use Code Amendment to Title 10 Chapter 3, 7, 12, and 14 regarding farm stands.**
46 **Hurricane City, Applicant.**

47 Gary Cupp explained that the current code allows farm stands but does not permit the sale of
48 commercially packaged items. The proposed update would expand the allowable uses for farm stands in
49 agricultural zones to include limited sales of commercially packaged goods. However, this would require
50 a conditional use permit. Mark Sampson asked whether this would typically be addressed through a
51 business license. Mr. Cupp clarified that agricultural uses do not require a business license, but once

1 commercial products are added the operation transitions into a commercial use, which is not currently
2 permitted in agricultural zones. Paul Farthing commented that allowing up to 50% of sales from
3 commercially packaged items seemed excessive and could detract from the true purpose of a farm
4 stand.

5
6 Kelby Iverson expressed concern with the current code requiring that all farm products sold must be
7 grown on the same property. He noted that many local farmers may want to sell products from
8 neighboring farms as well and suggested the code be revisited to allow that flexibility. Mr. Cupp
9 responded that the intent is to ensure the farm stands remain agricultural in nature and not evolve into
10 convenience stores operating in front of every farm.

11
12 Commissioner Sampson asked if other jurisdictions had been consulted on how they handle similar
13 situations and how such farm stands have been managed historically. Mr. Cupp replied that it has mostly
14 been complaint-driven, and the wording proposed mirrors what has been used elsewhere.
15 Commissioner Iverson noted that the additional commercialized items would likely be limited to organic
16 or specialized products, not large-scale retail. Commissioner Sampson inquired if there were any issues
17 with the list of allowable commercialized items. Commissioner Iverson added that it is impractical for
18 small-scale farm stand producers to meet a five-acre requirement, indicating the code needs
19 modification. Mr. Cupp clarified that farm stands are already permitted, but the current limitation is on the
20 commercialized aspect.

21
22 Commissioner Iverson stated that RA-0.5 should be the minimum allowable lot size. Paul Farthing
23 expressed concern that some farm stands might be operating as a front for a commercial business.
24 Commissioner Iverson responded that they are likely selling mostly ag-related commercial items rather
25 than general retail. Commissioner Farthing clarified that he has no issue with ag-related products.
26 Commissioner Iverson noted that the key is defining what is considered commercial versus ag-related,
27 but the main concern is the acreage requirement. Mr. Cupp asked if there should be no minimum
28 acreage and Commissioner Iverson thinks that as long as it is in an agricultural zone, there would be no
29 minimum.

30
31 Commissioner Farthing brought up that the Beaver Cheese Factory is a commercial business and asked
32 whether a conditional use permit would need to be updated every time a farm stand changes its items.
33 Mr. Cupp clarified that it would not. There were questions regarding the Cherry Hills farm stand and
34 clarification that it will be relocating, but the discussion helped illustrate what could be done under the
35 proposed ordinance changes. Shelley Goodfellow expressed support for the ordinance, noting that
36 agriculture is struggling and often requires supplemental products to survive, likening this to agri-tourism.
37 She agreed that anything in agricultural zoning should have no acreage limit to help keep agriculture
38 viable. Mr. Cupp noted that the specific location in question is zoned residential-agriculture, not
39 agricultural, so agri-tourism would not be allowed there.

40
41 Michelle Smith asked if there are regulations regarding baked goods. Mr. Cupp explained that there is a
42 definition in the ordinance but health-related requirements are under the Health Department's authority.
43 Commissioner Farthing noted that the definition of commercial items is quite broad, including products
44 like potato chips, soda, and beer; he questioned how far the allowance for commercial items should
45 extend when the purpose is supposed to be a farm stand. Commissioner Ballard agreed with Farthing's
46 concern regarding the amount of commercial allowed but concurred with having no acreage limit. Mr.
47 Cupp stated he was documenting the discussion and points so that any recommendation would include
48 these considerations.

49
50 Commissioner Iverson suggested tabling the discussion to rework the ordinance so that City Council
51 doesn't approve it with an acreage limit, which could potentially put many small farms out of business.

1 *Kelby Iverson motioned to table LUCA25-03 giving staff the direction that the commission would like to*
2 *see the changes to the acreage limit. Shelley Goodfellow seconded the motion.*

3

4 **Approval of Minutes:**

5

6 1. January 9, 2025

7

8 *Brad Winder motioned to approve the minutes for January 9, 2025. Paul Farthing seconded the motion.*
9 *Unanimous.*

10

11 Commissioners return to Planning Commission Business #3. Discussion on restricting storage units only
12 to Industrial Zones.

13

14 *Kelby Iverson motioned to adjourn. Shelley Goodfellow seconded the motion. Unanimous.*

15

16 **Adjournment**

**Hurricane Planning Commission
Meeting Minutes
September 11, 2025**

Minutes of the Hurricane City Planning Commission meeting held on September 11, 2025, at 6:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

Members Present: Mark Sampson, Paul Farthing, Shelley Goodfellow, Ralph Ballard, Brad Winder, Kelby Iverson (joined late), Michelle Smith, and Amy Werrett.

Members Excused:

Staff Present: Planning Director Gary Cupp, City Planner Fred Resch III, City Attorney Dayton Hall, Planning Technician Brienna Spencer, City Engineer Representative Jeremy Pickering, and Councilman Kevin Thomas (online).

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance led by Paul Farthing

Prayer and/or thought by invitation given by Mark Sampson

Brad Winder motioned to accept the agenda as presented. Paul Farthing seconded the motion. Unanimous.

Declaration of any conflicts of interest

Public Hearings

1. A Land Use Code Amendment request to Title 10, Chapters 3, 7, 13-17, & 37 regarding accessory buildings in the front yards.

No comments

NEW BUSINESS

1. PSP25-20: Discussion and consideration of a possible approval of a preliminary site plan for Pizza Wagon Restaurant, a restaurant located at 363 W State St. FireSalt LLC, Applicant. Jeffrey Madsen, Agent.

Jeff Madsen shared that the Pizza Wagon is currently operating on State Street at a temporary location. They are now pursuing a brick-and-mortar location a few blocks away, near Taco Bell, and presented two layout options for review. Michelle Smith asked about the JUC comment regarding the left-turn concern. Gary Cupp first addressed parking, noting that a parking modification is being requested. Depending on which site plan is selected, the required parking differs. Option 1 requires 20 stalls and provides 18, while Option 2 requires 25 stalls and provides 22. A parking study and parking modification will be required at the final site plan stage. Both preliminary site plan options are acceptable for approval at this stage.

51 Paul Farthing asked about the fire department's comment favoring Option 2 and whether that was the
52 only option that could be approved. Mr. Cupp explained that Option 2 is the preferred option but both
53 can be accommodated. Mr. Farthing also asked about the potential for extending the medians on State
54 Street to address left-hand turns. Jeremy Pickering shared that the current median ends near this site,
55 but as traffic increases along SR-9, it is anticipated that the median will be extended, which would
56 eventually eliminate the ability to make a left-hand turn into the property.

57
58 Amy Werrett asked whether there would be any indoor seating, noting the outdoor seasonal seating
59 shown on the plan. Mr. Madsen stated that there will be some indoor seating, though the amount is still
60 undetermined, as their primary focus is the kitchen space. The business will primarily operate as a grab-
61 and-go establishment. Mrs. Werrett then asked whether staff had a preferred option and if there were
62 any notable advantages or disadvantages between the two. Mr. Pickering stated that both options are
63 viable. Option 2 provides more parking and building space, though the fire turnaround area may pose
64 some challenges. With Option 1, he suggested that changing the on-site traffic flow from clockwise to
65 counterclockwise could improve circulation.

66
67 Ralph Ballard asked if the additional kitchen space in both options was the reason for the reduced
68 parking count. Mr. Madsen confirmed that they intend to maintain the same amount of dining space
69 while expanding the kitchen area. He added that due to their grab-and-go model, they do not anticipate
70 needing as much parking as typically required.

71
72 *Brad Winder motioned to approve PSP25-20 subject to staff and JUC comments. Amy Werrett*
73 *seconded the motion. Unanimous.*

74
75 **2. PSP25-17: Discussion and consideration of a possible approval of a preliminary**
76 **site plan for Ernie's Too, a gas station and convenience store located at State St and 300 W. Gas**
77 **Patch LLC, Applicant. Eric McFadden, Agent.**

78 Mark Sampson inquired why a new site plan approval is required, noting that this project is essentially a
79 restart. Gary Cupp responded that the proposed building will be larger than previously planned, which
80 qualifies as an expansion and therefore necessitates a new site plan approval. Ralph Ballard expressed
81 concern that landscaping requirements can sometimes be overly burdensome, particularly in areas
82 where space is already limited. He emphasized the importance of implementing landscaping that is
83 practical and makes sense given the constraints of the site. Mr. Cupp stated that staff is in agreement
84 with this perspective and believes the proposed minimal landscaping is appropriate for the site. Paul
85 Farthing echoed Mr. Ballard's comments and supported a common-sense approach to the landscaping
86 requirements.

87
88 *Paul Farthing motioned to approve PSP25-17 subject to staff and JUC comments. Ralph Ballard*
89 *seconded the motion. Unanimous.*

90
91 **3. PP25-09: Discussion and consideration of a possible approval of a preliminary plat**
92 **for Ridgecrest, a 21 lot manufactured home subdivision, located at 2680 W 200 N. Joby Venuti,**
93 **Applicant.**

94 Joby Venuti shared that this project involves the property located behind Canyons RV up on the hill.
95 While it is not part of the Canyons RV subdivision, it is included within the PDO masterplan. The
96 preliminary site plan for the project was approved last year, and this application represents phase one of
97 the subdivision. Mr. Venuti explained that they are ready to move forward with this phase, while phase
98 two will take more time due to the need for water looping connections into the Canyons RV subdivision
99 and sewer connections extending all the way to Walmart, which is expected to take at least another
100 year. He noted that phase one includes an emergency easement that extends out by the two hotels and
101 has been in place since the Sky Ridge development was constructed.

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Shelley Goodfellow asked whether this subdivision would consist of manufactured homes. Mr. Venuti clarified that the homes will be stick-built, which is why the lots are larger. Although the zoning is MH/RV, the homes will range between 1,300 and 1,500 square feet. Mrs. Goodfellow also asked about the need for a second fire access and whether the existing easement could serve that purpose. Kelby Iverson questioned why the development is being referred to as a manufactured home subdivision. Fred Resch explained that the classification is based on the zoning designation of MH/RV. He further clarified that manufactured homes are allowed in all residential zones, provided they are placed on permanent foundations, so this subdivision could technically be built out with manufactured homes if desired.

Michelle Smith asked if all necessary easements had been secured. Mr. Venuti responded that the overhead Rocky Mountain Power easement will remain in place and that there is also an existing sewer line easement, though its exact location is unclear and will need to be identified and shown on the construction drawings and final plat. Both easements will ultimately be reflected in the plans. Mrs. Smith then asked why the item was recommended for tabling. Mr. Cupp explained that while the applicant has responded to the city's comments, staff has not yet had sufficient time to review the revisions and would like the opportunity to do so before granting final plat approval.

Paul Farthing motioned to continue PP25-09. Amy Werrett seconded the motion. Unanimous.

4. PSP25-15: Discussion and consideration of a possible approval of a preliminary site plan for 65 N LLC, a nightly rental complex located at 57 N State St. Kendall Clements, Applicant. Karl Rasmussen, Agent.

Karl Rasmussen noted that the property in question is located kitty-corner from the fire station. He explained that the applicants wish to make changes to the existing development, and that any such changes trigger an application before the Planning Commission. Paul Farthing asked what the implications would be if the proposed units fail as vacation rentals, and whether they could then be used as long-term rentals. Gary Cupp responded that the property would have to be used for commercial purposes. Amy Werrett inquired about the occupancy of each unit and whether any amenities are planned. Mr. Rasmussen stated that each unit would accommodate approximately four people, and that they hope to eventually construct a pool between the buildings. Ralph Ballard brought up concerns about landscaping requirements given the curve of the property and emphasized the need for careful consideration of its layout. Referring back to the area near Ernie's, he expressed safety concerns due to the number of young drivers, particularly high school students, passing through the area and stressed the importance of addressing this in the planning process.

Amy Werrett motioned to approve PSP-15 subject to staff and JUC comments. Brad Winder seconded the motion. Unanimous.

5. PSP25-18: Discussion and consideration of a possible approval of a preliminary site plan for Hurricane Dental Holdings, a medical office located at 3174 W 90 N. Interstate Rock Products, Applicant. Kyson Spendlove, Agent.

Kyson Spendlove distributed a copy of the comments that have been addressed to date. He explained that one of the primary items discussed with engineering involved access from 90 North. The applicant has secured a cross-access agreement that allows them to utilize the existing access at that location. Additional comments were received from the water department, which initially questioned whether a water line was available in the area. Mr. Spendlove clarified that they have confirmed the presence of an existing line, and a water loop will not be necessary since the line can simply be extended. Roadway and access easements were also reviewed and discussed as part of the updated plans.

152 Mark Sampson asked whether the road in front of Walmart would be able to accommodate the additional
153 traffic generated by this development. Fred Resch responded that a traffic study will be required to
154 determine what roadway improvements may be necessary. Michelle Smith inquired about the possibility
155 of installing a turn lane at 90 North. Jeremy Pickering noted that 90 North is not currently classified as a
156 master-planned roadway but explained that the proposed internal road network would function similarly
157 to the road running between Walmart and Home Depot in Washington City, providing interconnectivity
158 between the commercial properties.

159 *Paul Farthing motioned to approve PSP25-18 subject to staff and JUC comments. Shelley Goodfellow*
160 *seconded the motion. Unanimous.*

161

162 **6. PSP25-19: Discussion and consideration of a possible approval of a preliminary**
163 **site plan for Ahi's Hurricane, a restaurant located at 282 W State St. Fassio Legacy, Applicant.**

164 **Brandee Walker, Agent.**

165 This will be two stories. Main floor will be a family friendly restaurant and the upstairs will be 21+ bar. A
166 parking modification will be needed. They are currently under discussion with the other businesses and
167 will have more than enough spots once that agreement has been signed. Paul Farthing asked about the
168 bar being located too close to the high school. The agent shared that they meet all the distance
169 requirements by the state.

170

171 *Amy Werrett motioned to approve PSP25-19 subject to staff and JUC comments. Shelley Goodfellow*
172 *seconded the motion. Unanimous.*

173

174 **7. AFP25-10: Discussion and consideration of a possible approval of an amended**
175 **final plat for BAJR subdivision Partial Amendment A, located at 800 N Old Highway 91. Jeff**

176 **Andrus, Applicant. Ryan Scholes, Agent.**

177 Ryan Scholes shared that they are amending a larger lot within a subdivision to have smaller lots. This is
178 the first phase to the amendment. The zone will remain industrial. Ralph Ballard shared that there is a
179 need for more introduction to light industrial and this is a good fit.

180

181 *Amy Werrett motioned to approve AFP25-10 subject to staff and JUC comments. Paul Farthing*
182 *seconded the motion. Unanimous.*

183

184 **OLD BUSINESS**

185

186 **1. LUCA25-06: Discussion and consideration of a recommendation to the City Council**
187 **on a Land Use Code Amendment request to Title 10, Chapters 3, 7, 13-17, & 37 regarding**
188 **accessory buildings in the front yards.**

189 Gary Cupp shared that this will allow for accessory buildings in the front buildable area on all properties
190 that are half an acre or larger and accessory dwelling units in the front buildable area on smaller lots with
191 a conditional use. Kevin Thomas asked how this would affect building on a flag lot? Gary Cupp shared
192 that there is still a buildable area on a flag lot, if she meets these requirements, it would be allowed but
193 the setbacks still apply. This code change wasn't intended to address flag lots. The commissioners
194 directed staff to look at the flag lots and how we define setbacks on them and would like to have it come
195 back. Ralph Ballard shared that there was a lot of issues that came with two stories on adu's. Neighbors
196 do care when windows are looking into properties and we need to be aware of that.

197

198 *Kelby Iverson motioned a recommendation of approval of LUCA25-06 to the City Council. Paul Farthing*
199 *seconded the motion. Roll call, unanimous.*

200

201 **Approval of Minutes:**

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1. February 27, 2025

Shelley Goodfellow motioned to approve the minutes from February 27, 2025. Brad Winder seconded the motion. Unanimous.

Brad Winder motioned to adjourn. Paul Farthing seconded the motion. Unanimous.

Adjournment

DRAFT

**Hurricane Planning Commission
Meeting Minutes
September 25, 2025**

Minutes of the Hurricane City Planning Commission meeting held on September 25, 2025 at 6:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

Members Present: Mark Sampson, Paul Farthing, Shelley Goodfellow, Ralph Ballard, Brad Winder, Kelby Iverson, Michelle Smith, and Amy Werrett.

Members Excused:

Staff Present: Planning Director Gary Cupp, City Planner Fred Resch III, City Attorney Dayton Hall, Planning Technician Brienna Spencer, and City Engineer Representative Jeremy Pickering.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance led by Paul Farthing

Prayer and/or thought by invitation given by Shelley Goodfellow

Brad Winder motioned to approve the agenda as presented. Shelley Goodfellow seconded the motion. Unanimous.

Declaration of any conflicts of interest

OLD BUSINESS

1. PP25-09: Discussion and consideration of a possible approval of a preliminary plat for Ridgecrest, a 21 lot manufactured home subdivision, located at 2680 W 200 N. Joby Venuti, Applicant.

No comments. Staff recommends approval now that concerns and comments were addressed.

Amy Werrett motioned to approve PP25-09 subject to staff and JUC comments. Shelley Goodfellow seconded the motion. Unanimous.

2. LUCA25-06: Clarification on a previous recommendation to the City Council on a Land Use Code Amendment request to Title 10, Chapters 3, regarding the definition of accessory dwelling units.

Gary Cupp noted that the definition previously included a reference to family member relationships, which has now been removed due to the inability to regulate or enforce it. Ralph Ballard requested clarification on the changes and the reasoning behind them. Dayton Hall explained that the current definition now classifies an ADU as a unit rented to individuals who are not family members, as the previous language was being misused by those submitting multiple units under the pretense that family members were occupying them, even in areas where such units were not allowed. Under the revised

1 definition, only one unit is permitted regardless of who resides in it. Mr. Ballard commented that this
2 change is reminiscent of past restrictions on multiple kitchens in a single home.

3
4 *Paul Farthing motioned a recommendation of approval of LUCA25-06. Amy Werrett seconded the*
5 *motion. Unanimous.*

6
7 **NEW BUSINESS**

8
9 **1. PP25-14: Discussion and consideration of a possible approval of a preliminary plat**
10 **for The Vineyards at Elim Valley, a 32 lot single family residential subdivision located east of**
11 **Jellystone Road and 3400 W. Western Mortgage and Realty Company, Applicant. Karl**
12 **Rasmussen, Agent.**

13 Fred Resch III stated that the item was initially recommended to be tabled due to unresolved issues, but
14 those concerns have since been addressed, allowing the project to move forward. Karl Rasmussen
15 noted that the abandonment of Flora Tech Road, which the development borders, has now occurred and
16 the area will consist of single-family homes.

17
18 Amy Werrett inquired about the status of gated communities and private streets; Mr. Rasmussen
19 confirmed those elements have been removed and all streets will be public. Shelley Goodfellow asked
20 for clarification on the plat's location on the satellite map and whether there would be access to the
21 parcel east of phase three. Mr. Rasmussen explained that only phase one is being platted at this time
22 and the marked line on the map indicates a slope exceeding 30%, not a separate parcel.

23
24 Commissioner Goodfellow questioned the city's policy on private communities. Dayton Hall clarified that
25 such developments require City Council approval post-construction and must meet city standards. When
26 asked how Southern Shores became gated, Mr. Hall explained it was approved during the preliminary
27 plat stage by the City Council.

28
29 Michelle Smith raised concerns about limited access, noting that the area is currently unimproved. Mr.
30 Rasmussen confirmed access would be from Bash Parkway and the former Flora Tech Road, now
31 designated as 3400 West and reiterated that only phase one is proceeding at this time. He added that all
32 city concerns will be addressed during the plan submission process. Gary Cupp stated that adequate
33 public facilities can be provided in time for construction drawings. Mr. Rasmussen concluded by stating
34 the homes will be high-end, parade-of-homes quality.

35
36 *Shelley Goodfellow motioned to approve PP25-14 subject to staff and JUC comments. Paul Farthing*
37 *seconded the motion. Ralph Ballard, Amy Werrett, Mark Sampson, Shelley Goodfellow, and Brad*
38 *Winder - aye. Michelle Smith - nay.*

39
40 Commissioner Smith said that she does not believe the project is ready for plat approval, stating that
41 several issues still need to be resolved before moving forward.

42
43 **2. PP25-08: Discussion and consideration of a possible approval of a preliminary plat**
44 **for Rock Hollow, a 55 lot single family residential subdivision located at 3300 S 1100 W.**
45 **Teancum Properties LLC, Applicant. Karl Rasmussen, Agent.**

46 Karl Rasmussen provided background on the project, explaining that once the development resurfaced
47 to move forward it was discovered that the original construction drawings had expired. The applicant
48 decided to bring the project forward again for approvals. Adjustments have been made to improve
49 access into the subdivision, specifically modifying one section of the development to function more
50 efficiently. They are currently working with staff to finalize updated construction drawings. Mr.
51 Rasmussen also provided an overview of the surrounding area and ongoing projects, noting that this

1 development will contribute to the cost of the new sewer line being installed along 1100 West. All
2 associated improvements and related components will move forward to staff for review as a complete
3 package.
4

5 Shelley Goodfellow asked about the name "Sediment Lane." Jeremy Pickering explained that it will
6 serve as an extension of a roadway through the North Slope area, designed to maintain limited access
7 to the gravel pit while minimizing direct access points off 1100 West. The alignment will match existing
8 accesses across the street for improved traffic flow and safety. He was unsure of the origin of the
9 roadway's name but noted that future planning should take into account potential land uses once the
10 gravel pit is no longer operational.
11

12 Amy Werrett asked for clarification regarding a note referencing the Washington County Water
13 Conservancy District and how this development will be accounted for in their planning. Dayton Hall
14 confirmed that when the development is approved, it will be included in WCWCD's calculations for the
15 number of homes they must plan to supply water to. Ralph Ballard asked whether vacant lots within the
16 city are already included in that count. Fred Resch III explained that only lots within recorded
17 subdivisions are counted not undeveloped or split parcels. Mr. Hall further clarified that the WCWCD
18 tracking tool is used solely for planning purposes to ensure adequate water supply in future agreements.
19 It does not represent an allocation of water, only a planning metric.
20

21 Commissioner Ballard then asked about soil settlement in the area. Mr. Rasmussen stated that
22 settlement varied between one and two feet in some areas. Commissioner Goodfellow asked whether
23 any work would be done to address the lots and Mr. Rasmussen noted that the site had settled
24 approximately 20 feet overall and was over-excavated 4 to 8 feet. He added that this zone is closer to
25 the gravel layer, so settlement issues are less significant than further west.
26

27 Brad Winder expressed a safety concern regarding traffic along 1100 West, which is posted at 45 mph
28 but often traveled at higher speeds. He noted that the location of the subdivision's access could create a
29 visibility issue if Lot 1 includes a six-foot wall, as it may obstruct the line of sight for vehicles entering or
30 exiting the development.
31

32 *Shelley Goodfellow motioned to approve PP25-08 subject to staff and JUC comments with the*
33 *recommendation that they ensure the site triangle is to standards. Brad Winder seconded the motion.*
34 *Unanimous.*
35

36 **3. PSP25-22: Discussion and consideration of a possible approval of a preliminary**
37 **site plan for Culver's, a restaurant located at 489 W State St. State Street Properties LLC,**
38 **Applicant. Rick Meyer, Agent.**

39 Rick Meyers reported that this project is a 4,300 sq. ft. restaurant located at the former Ace Hardware
40 location. Will Henry will serve as the operator of the new restaurant; he also owns a location in St.
41 George. The restaurant is expected to employ 50–80 individuals, with approximately 10% of employees
42 being neurodivergent or otherwise disabled.

43 Jeremy Pickering noted that the applicants voluntarily closed off one of the existing accesses. He
44 recommended exploring a possible cross-access with the parking lot to the west. The new property
45 owner would need to meet with the high school to determine if a new agreement could be negotiated.
46 Mr. Pickering stated that the city could serve as neutral ground for such a discussion. He added that the
47 current site layout will be further refined as the process moves forward.

48 Amy Werrett suggested clearly marking the parking to prevent it from being filled with high school
49 students. Paul Farthing asked if the state or city had plans for a center median along State Street, noting
50 difficulty exiting parking lots due to traffic volumes. Mr. Pickering responded that right-out-only

1 restrictions could be implemented but advised against addressing the issue one location at a time. He
2 suggested the city could raise the matter with UDOT.

3 Ralph Ballard emphasized the importance of SR-9 and the role of medians but noted the lack of side
4 roads for safe turnaround options. He cautioned that while more medians may be desirable, traffic
5 circulation must be carefully considered to avoid creating further issues.

6 Shelley Goodfellow asked whether the school district supported a cross-access arrangement. Mr.
7 Pickering responded that David Stirland had expressed interest when previously contacted, though
8 further discussions would be necessary. Mr. Meyers noted that Mr. Pickering's red lines improved the
9 layout and added parking spaces.

10 Commissioner Goodfellow again raised concern about high school students parking at the site. Mr.
11 Henry stated he has a meeting scheduled with Mr. Stirland and anticipated concessions could be made
12 with the school. Commissioner Ballard asked whether future access to the Subway property might be
13 possible. Mr. Pickering explained that such cross-access should be considered when the building south
14 of Subway reaches the end of its useful life and is redeveloped.

15
16 *Paul Farthing motioned to approve PSP25-22 subject to staff and JUC comments. Amy Werrett*
17 *seconded the motion. Unanimous.*

18
19 **Approval of Minutes:**

- 20
21 **1. March 13, 2025**
22
23 **2. March 27, 2025**
24

25 *Amy Werrett motioned to approve the minutes for March 13, 2025 and March 27, 2025 as it. Shelley*
26 *Goodfellow seconded the motion. Unanimous.*

27
28 *Paul Farthing motioned to adjourn the meeting. Amy Werrett seconded the motion. Unanimous.*

29
30 **Adjournment at 7:12pm**