



HURRICANE CITY UTAH

Planning Commission

*Mark Sampson, Chair
Ralpjh Ballard, Alternate Chair
Paul Farthing
Shelley Goodfellow
Brad Winder
Kelby Iverson
Michelle Smith
Scott Hughes*

Mayor

Clark Fawcett

City Manager

Kaden DeMille

Hurricane Planning Commission Meeting Agenda

March 26, 2026

6:00 PM

Hurricane City Offices 147 N 870 W, Hurricane

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. at the Hurricane City Offices 147 N 870 W, Hurricane, UT.

Meeting link:

<https://cityofhurricane.webex.com/cityofhurricane/j.php?MTID=me42b4eb65609e35eb0e0664c925c9dbc>

Meeting number:2632 882 4836

Password:HCplanning

Host key:730111

Join by phone+1-415-655-0001 US Toll

Access code: 2632 882 4836

Host PIN: 9461

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance

Prayer and/or thought by invitation

Declaration of any conflicts of interest

Public Hearings

1. A zone change amendment request located on a portion of approx.. 630 S 60 E from RA-1, residential agriculture one unit per acre, to R1-10, single family residential one unit per 10,000 square feet. Parcel number H-362.

OLD BUSINESS

1. PSP24-36 PP24-34: Discussion and consideration of a possible approval of a preliminary site plan and preliminary plat for BASH Mancaves, a mixed use development consisting of 14 mancaves, 42 residential units, and office/retail space

located at west of Marla at Elim Valley. Western Mortgage and Realty Co - Tim Tippet, Applicant. Karl Rasmussen, Agent.

2. PP26-02: Discussion and consideration of a possible approval of a preliminary plat for Desert's Edge at Sky Mountain, a mixed-use development consisting of 63 townhome units and two commercial lots, located at 2230-2254 W 600 N. 317 Sycamore LLC, Applicant. Brixton Call, Agent.

NEW BUSINESS

1. PP26-03: Discussion and consideration of a possible approval of a preliminary plat for Cordero Phase 4, a nine lot single family subdivision located at 2100 W Cliff View Drive. River Valley Development, Applicant. Brant Tuttle, Agent.
2. ZC26-05: Discussion and consideration of a recommendation to the City Council on a zone change amendment request located on a portion of approx. 630 S 60 E from RA-1, residential agriculture one unit per acre, to R1-10, single family residential one unit per 10,000 square feet. Parcel number H-362. Samantha Hinton, Applicant.
3. CUP26-11: Discussion and consideration of a possible approval of a conditional use permits for buildings of greater height located at 920 S 1250 W. WPP Hurricane Land LLC, Applicant. Wade Edwards, Agent.
4. FSP26-07: Discussion and consideration of a possible approval of a final site plan for Gateway Park, a park located at the corner of Jellystone Road, Gateway Blvd, and Bash Parkway. Hurricane City, Applicant. Karl Rasmussen, Agent.

Adjournment

REASONABLE ACCOMMODATION: Hurricane City will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs, please contact the City Planning Technician, 435-635-2811 x 112, at least 24 hours in advance if you have special needs.

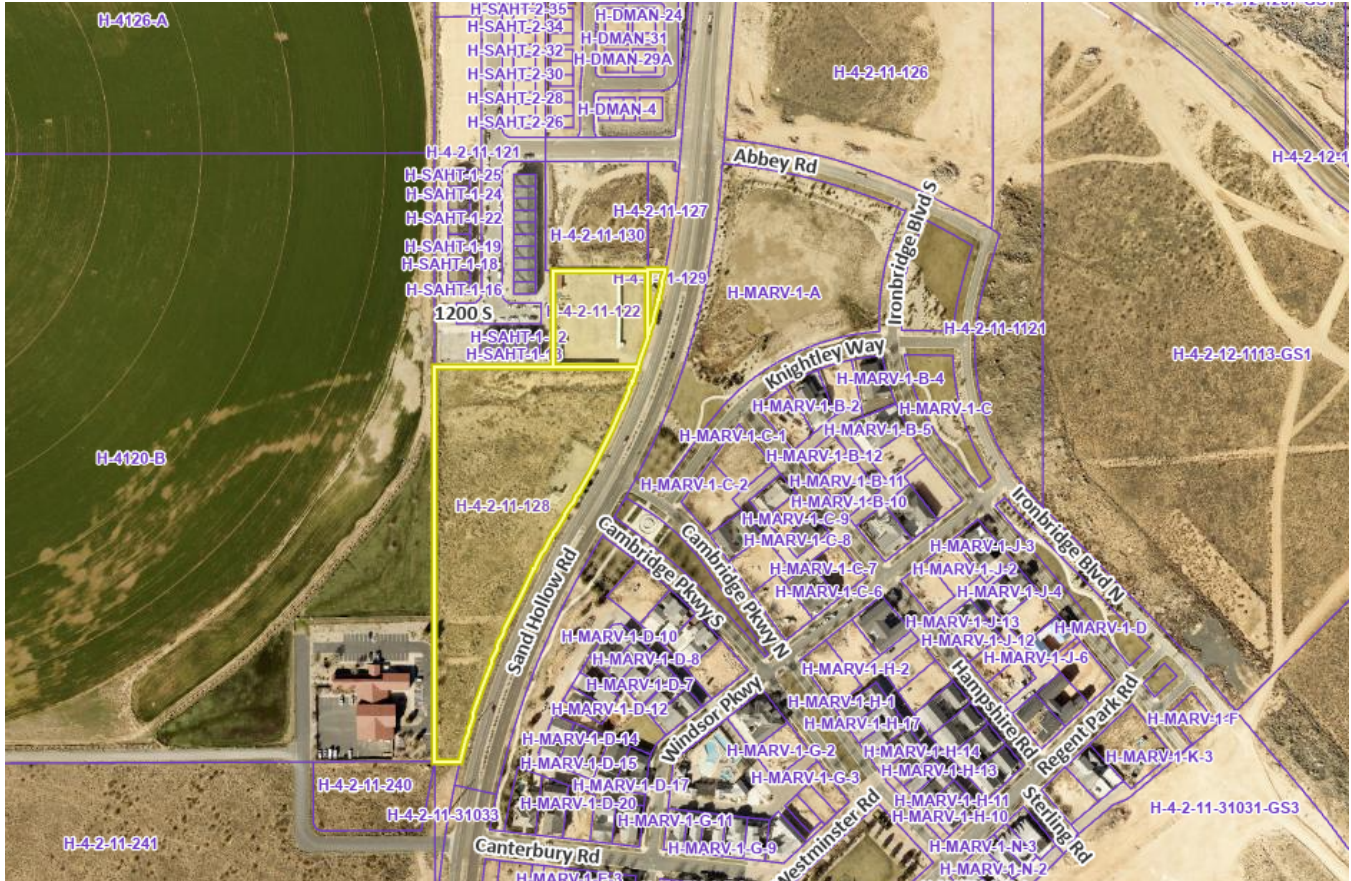


STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	PSP24-36 PP24-34
Type of Application:	Preliminary Site Plan and Preliminary Plat
Action Type:	Administrative
Applicant:	BASH Holdings
Agent:	Karl Rasmussen
Request:	Preliminary Site Plan and Plat Approval.
Location:	West of Marla at Elim Valley
Zoning:	Planned Commercial (PC)
General Plan Map:	Planned Community
Recommendation:	Approve
Report Prepared by:	Fred Resch III

Updated Discussion for 3/26/2026:

This application was tabled by the Planning Commission on January 9th, 2025. The applicant has filed a preliminary plat and site plan for BASH Mancaves, a mixed-use development located across Sand Hollow Road from Marla at Elim Valley. This development was originally approved with a zone change to Planned Commercial in 2023, as part of the Sand Hollow Road Commercial development under the name of “Adventus Phase 2.” This development consists of 42 residential units, 13 “mancaves,” and 22,400 square feet of office/retail space.



Vicinity Map

JUC Comments

The following items will need to be addressed:

1. **Public Works:** [No comments received.]
2. **Power:** [Dixie Power area. No comments received.]
3. **Sewer:** [No comments received.]
4. **Street:** [No comments received.]
5. **Water:** Approved.
6. **Engineering:** Traffic control on Sand Hollow Road needs further coordination with public works and engineering together (see HCS 3.2.4.3, Transportation Master Plan section 9.3.2, & MUTCD 3a.06). Previously discussed access goals aren't met with this design. Proposed improvements must be coordinated with Terra Rosa Townhomes. They plan to have a turn lane at Canterbury/1490 South. Hurricane City Standard 3.2.4.2(G) states, "new access locations created by development shall be unified whenever possible to create the fewest number of access points onto arterials or major collectors. Cross use agreements shall be required where necessary." The Planning Commission should indicate if cross access easements to Ash Creek Special Service District's parking lot or other portions of the property should be made necessary.

Sand Hollow Road's intersections with Turf Sod Road and Bash Parkway are the nearest planned traffic signals. (see also HCS 3.2.2). Extending the storm drain pipe will exacerbate existing storm drain maintenance issues for Hurricane City (HCS 3.4.1(14th paragraph)). Existing pipes in and under Sand Hollow Road are silted nearly completely full (existing infrastructure isn't fully modeled). It's unclear if the site intends to grant Hurricane City access for maintenance. A higher concentrated flow will be conveyed to Ash Creek Special Service District's property. The design must be coordinated with them (HCS 3.4.1(6th paragraph)).

7. **Fire:** Approved.
8. **Cable:** Approved.
9. **Phone:** Approved.
10. **Gas:** Approved.
11. **Water Conservancy:** “Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.”

Staff Comments: Preliminary Site Plan

1. **Land Use:** The zoning for this property is Planned Commercial. Planned Commercial is a mixed-use zoning that requires a mixture of residential and commercial use. Hurricane City Code (HCC) section 10-15-8(D)(1)(b) states: “*The preliminary site plan shall show general areas and proposed percentages of use.*” The exact percentages of use are not shown however staff can determine based on the information provided that at least 20% of the site is proposed to be used residentially. The applicant has told staff the “mancafe” use is solely a commercial use that will be available for short-term rental use.
2. **Parking:** The site plan indicates that 240 parking stalls are required and 243 are provided; thus, satisfying the parking requirement.
3. **Landscaping:** A landscape plan will be required with the final site plan. They will have to show they are providing enough parking lot landscaping for a parking lot this size. City Code requires the following:

HCC section 10-15-8(G) states: “*Landscaping. Landscaping within a planned commercial development shall comply with the following standards:*”

1. *Street trees are required for every 50 feet of frontage. These trees may be incorporated within park strips, landscape buffers, or planter boxes within the right-of-way. The placement of street trees must be approved by the City.*
2. *The applicant shall comply with City standards for landscaping.*
3. *In lieu of a ten-foot landscaping buffer along the right-of-way frontage for commercial uses, an applicant can provide that space for sidewalks, outdoor dining, and retail space that enhances the neighborhood's walkability. In these areas, street trees shall be required every 50 feet of frontage.*

4. *Parking lots and parking courts shall remain buffered by a ten-foot landscape area along the frontage with one tree and three shrubs for every 35 linear feet. Except as set forth in this chapter, other landscape requirements within the City landscaping and screening standards shall apply.*

HCC section 10-32-6(D) states: “*Parking lot landscaping.*

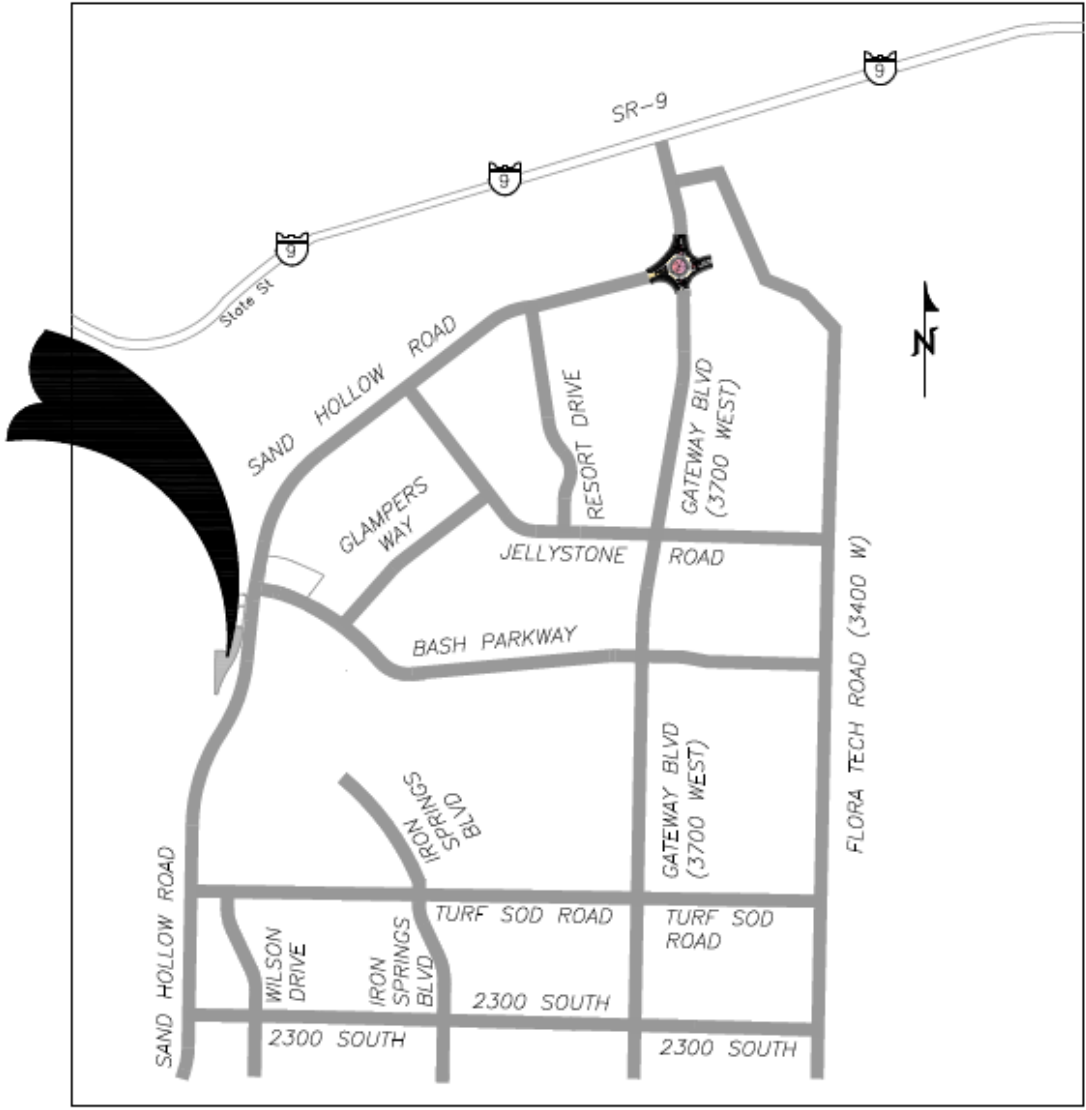
1. *Every parking lot consisting of more than ten spaces and 3,500 square feet of area shall contain internal landscaped areas as follows:*
 - a. *Multiple-family residential. A minimum of ten percent of total parking lot area.*
 - b. *Office and commercial. A minimum of seven percent of total parking lot area.*
 - c. *Industrial and warehouse. A minimum of five percent of total parking lot area.*
 2. *For every ten required parking spaces, or portion thereof, a minimum of two shrubs and one deciduous tree shall be provided within the internal parking area. The species of such trees shall be such that at maturity a tree canopy is provided to shade the parking area below each tree.*
 3. *Landscaped areas shall contain a minimum of 25 square feet and shall have a minimum average width of at least five feet.*
 4. *Landscape islands should be located in the following priority:*
 - a. *To define major drives and accessways;*
 - b. *To delineate ends of parking rows;*
 - c. *At aisle intersections; and*
 - d. *Within parking rows.”*
4. All park strips will need to be landscaped and have the proper improvements.
 5. As proposed this site will have two accesses on Sand Hollow Road, both of which will be right-in right-out due to an existing median in Sand Hollow Road.
 6. We have received a will serve letter from Hurricane City Water and Ash Creek Special Service District.
 7. A note indicating whether or not the property is in a tortoise take area has not been provided.
 8. **Water use:** The Washington County Water Conservancy District has a county-wide tracking budget of approximately 75,000 units with approximately 25,000 units being located within Hurricane City. As part of the Gateway to Sand Hollow Public Infrastructure District this development and its units are already accounted for within Hurricane City’s tracking data.

Recommendation: The Planning Commission should review this application based on standards within the Hurricane City Code. Staff recommends approval subject to staff and JUC comments.

Narrative BASH Mancaves

BASH Holdings LLC and Thomas Guy Larsen plan to develop 13 mancaves along with another multi-purpose building with 22,400 s.f. of retail/office space on the first floor and three floors of 42 units of work force apartment housing.

**PROJECT
LOCATION**



VICINITY MAP
N. T. S.

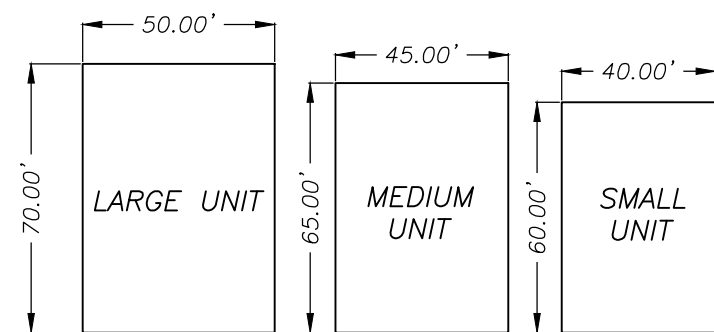
LAND USE SUMMARY

CURRENT ZONING - PLANNED COMMERCIAL
 TOTAL DEVELOPMENT AREA = 247,810 SQ.FT. (5.689 AC)
 TOTAL BUILDING FOOTPRINT AREA = 64,150 SF
 TOTAL RESIDENTIAL UNITS = 42 (84 PARKING STALLS REQ'D)
 TOTAL MANCAVE UNITS = 13 (EACH UNIT PROVIDES 4 PARKING STALLS)
 - 5 LARGE UNITS (6 BEDROOMS) = 30 STALLS REQ'D
 - 4 MEDIUM UNITS (5 BEDROOMS) = 20 STALLS REQ'D
 - 4 SMALL UNITS (4 BEDROOMS) = 16 STALLS REQ'D
 TOTAL OFFICE/RETAIL SPACE = 22400 S.F. = 90 REQ'D PARKING STALLS
 TOTAL REQUIRED PARKING STALLS = 240
 TOTAL PLANNED PARKING = 52 STALLS WITH MANCAVES AND 191 STALLS IN THE PARKING LOT
 = 243 TOTAL STALLS

TOTAL LANDSCAPE AREA = 55,679 S.F.

NOTES:

1. STORM WATER WILL BE COLLECTED AND CONVEYED VIA CURB AND GUTTER, CATCH BASINS AND PIPES TO A SUBTERRANEAN DETENTION BASIN. FROM THERE THE STORM WATER WILL BE RELEASED AT A CONTROLLED PRE-DEVELOPMENT RATE INTO THE NATURAL DRAINAGE AT THE NORTH SIDE OF THE PROPERTY. THE EXACT SYSTEM DESIGN AND PARAMETERS WILL BE DETERMINED DURING THE CONSTRUCTION DRAWING PHASE.



TYPICAL UNIT DIMENSIONS

**PRELIMINARY SITE PLAN FOR:
 BASH MANCAVES**

LOCATED IN THE NE QUARTER OF SECTION 11, T42S, R14W, S.L.B.#M.
 HURRICANE, WASHINGTON COUNTY, UTAH

OWNERS:

BASH HOLDINGS LLC
 LARSON THOMAS GUY, ET AL

CONTACT REPRESENTATIVE:

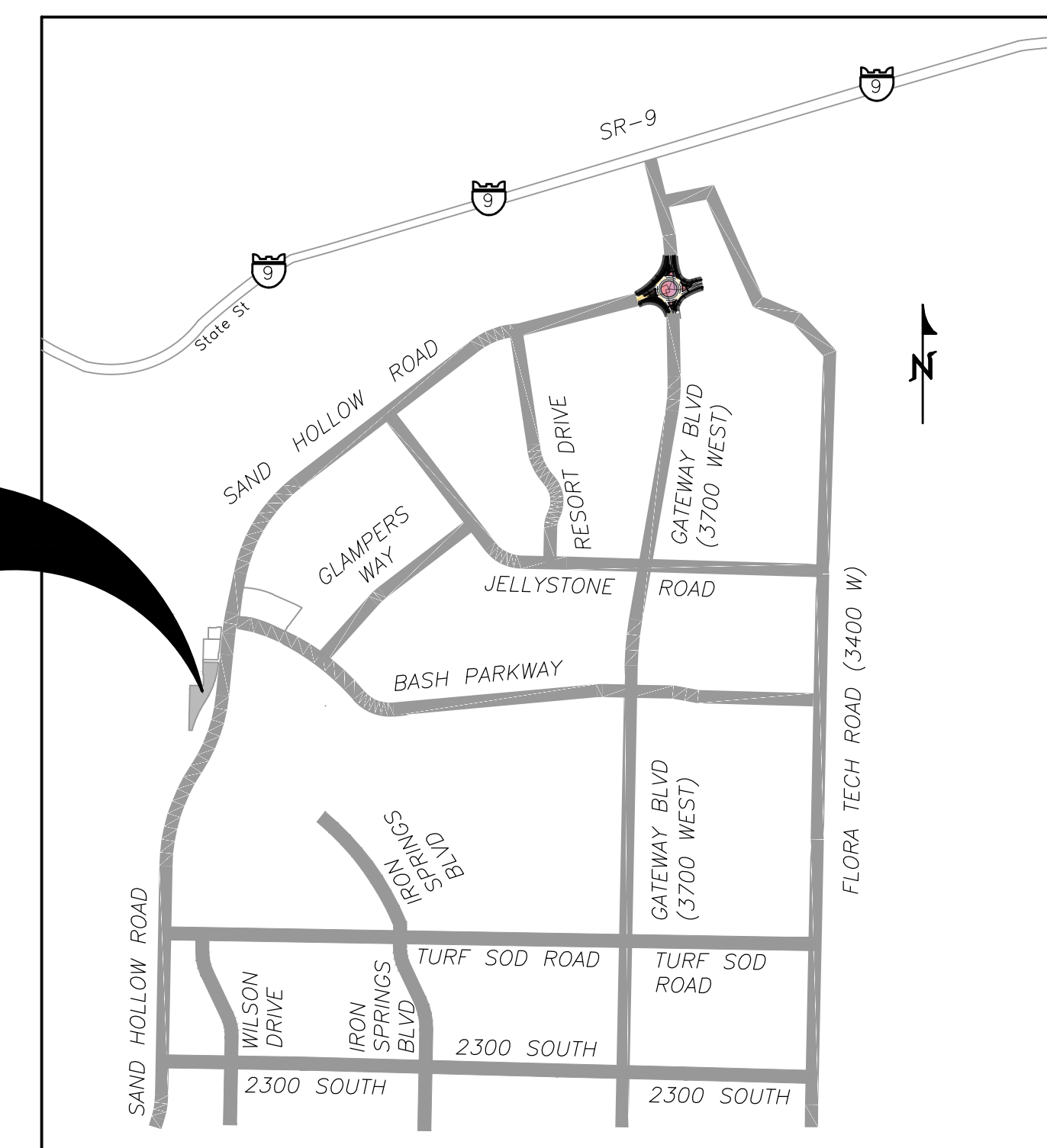
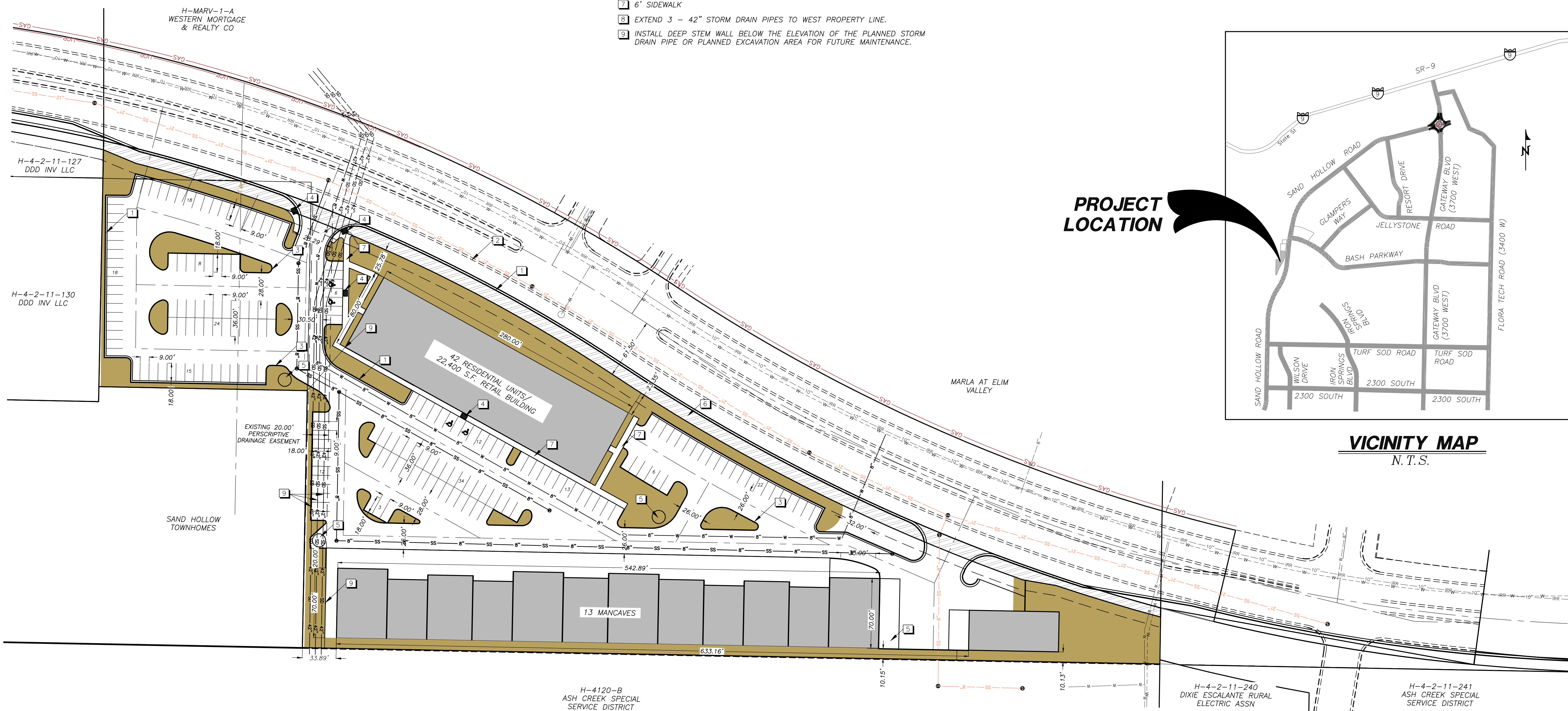
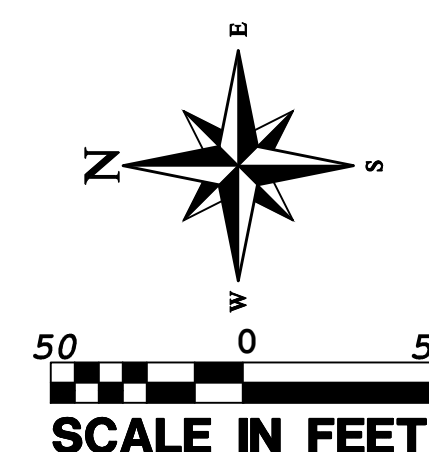
BRENT MOSER
 (801)-793-0346
 ENHANCEDHOMESOFUTAH@GMAIL.COM

KEYNOTES:

- 1 NEW CURB & GUTTER, TYPE HB30-7 DETAIL NO. CC101
- 2 EXISTING CURB & GUTTER
- 3 NEW "A" CURB PER DETAIL NO. CC100
- 4 ADA RAMP
- 5 POTENTIAL DUMPSTER LOCATION
- 6 12' TRAIL
- 7 6' SIDEWALK
- 8 EXTEND 3 - 42" STORM DRAIN PIPES TO WEST PROPERTY LINE.
- 9 INSTALL DEEP STEM WALL BELOW THE ELEVATION OF THE PLANNED STORM DRAIN PIPE OR PLANNED EXCAVATION AREA FOR FUTURE MAINTENANCE.

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTER LINE
	CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING 1' CONTOURS
	EXISTING 5' CONTOURS
	PUBLIC UTILITY EASEMENT
	EXISTING SEWER LINE (SIZE SHOWN)
	PROPOSED SEWER MAIN (SIZE SHOWN)
	PROPOSED WATER MAIN (SIZE SHOWN)
	EXISTING WATER MAIN (SIZE SHOWN)
	EXISTING IRRIGATION MAIN
	EXISTING GAS MAIN
	EXISTING STORM PIPE
	AREA OF ROADWAY TO BE DEDICATED
	LANDSCAPE AREA
	ADA RAMP
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE



VICINITY MAP
 N.T.S.

NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
 Engineers - Land Surveyors - Land Planners
 20 South 850 West, Suite 1
 Hurricane, Utah 84731
 Phone: (435) 688-8801



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BASH MANCAVES
 LOCATED IN THE NE QUARTER OF SECTION 11, T42S, R14W, S.L.B.#M.
 HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 1/23/2016
 SCALE: 1"=50'

JOB NO.
 281-021

SHEET NO:
1 OF 1

281-021

LAND USE TABLES & SUMMARY

CURRENT ZONING - PLANNED COMMERCIAL
 TOTAL DEVELOPMENT AREA = 247,810 SQ.FT. (5.689 AC)
 TOTAL BUILDING FOOTPRINT AREA = 64,837 SF
 PARKING TABLE:

PARKING REQUIREMENT				
BUILDING TYPE (USE)	QUANTITY	UNITS	STALLS PER UNIT	STALLS REQ'D
COMMERCIAL	25760	SF	250 SF/STALL	103
RESIDENTIAL	34	UNITS	2 STALLS/UNIT	68
MANCAVE (6 ROOM)	30	ROOMS	1 STALL/ROOM	30
MANCAVE (5 ROOM)	20	ROOMS	1 STALL/ROOM	20
MANCAVE (4 ROOM)	16	ROOMS	1 STALL/ROOM	16
TOTAL STALLS REQ'D				237

STALLS PROVIDED = 250

LANDSCAPE REQUIREMENT TABLE:

LANDSCAPE REQUIREMENT				
BUILDING TYPE (USE)	QUANTITY	UNITS	% LANDSCAPE REQ'D	LANDSCAPE REQ'D, SF
PARKING LOT AREA	110,913	SF	7%	7,763.91
TOTAL SF REQ'D				7,764

LANDSCAPE SF PROVIDED = 44,581

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 BASH MANCAVES**

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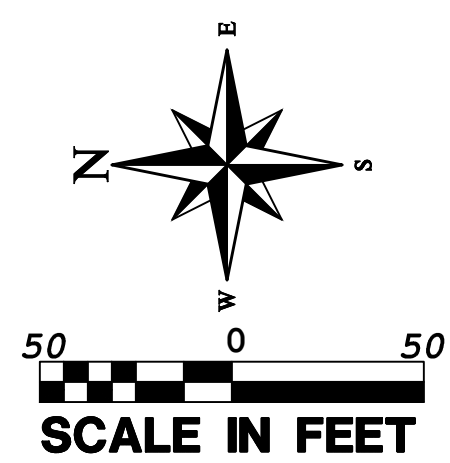
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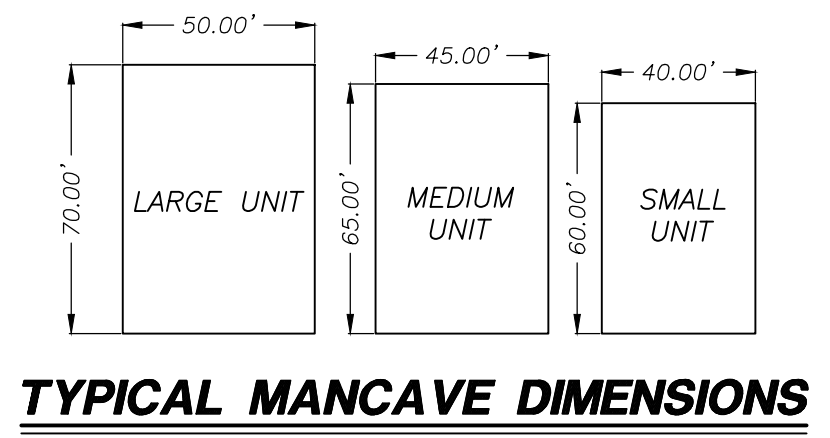
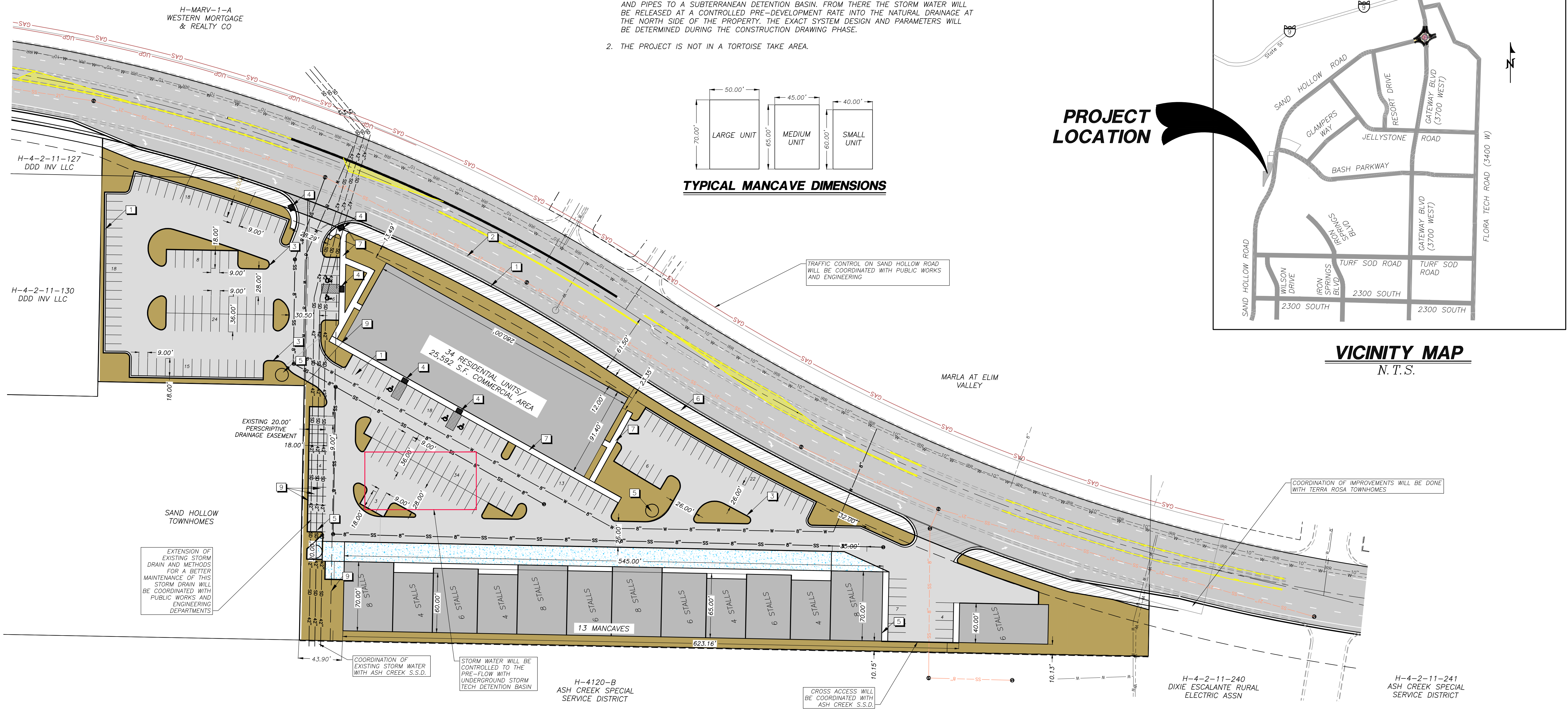
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2. THE PROJECT IS NOT IN A TORTOISE TAKE AREA.

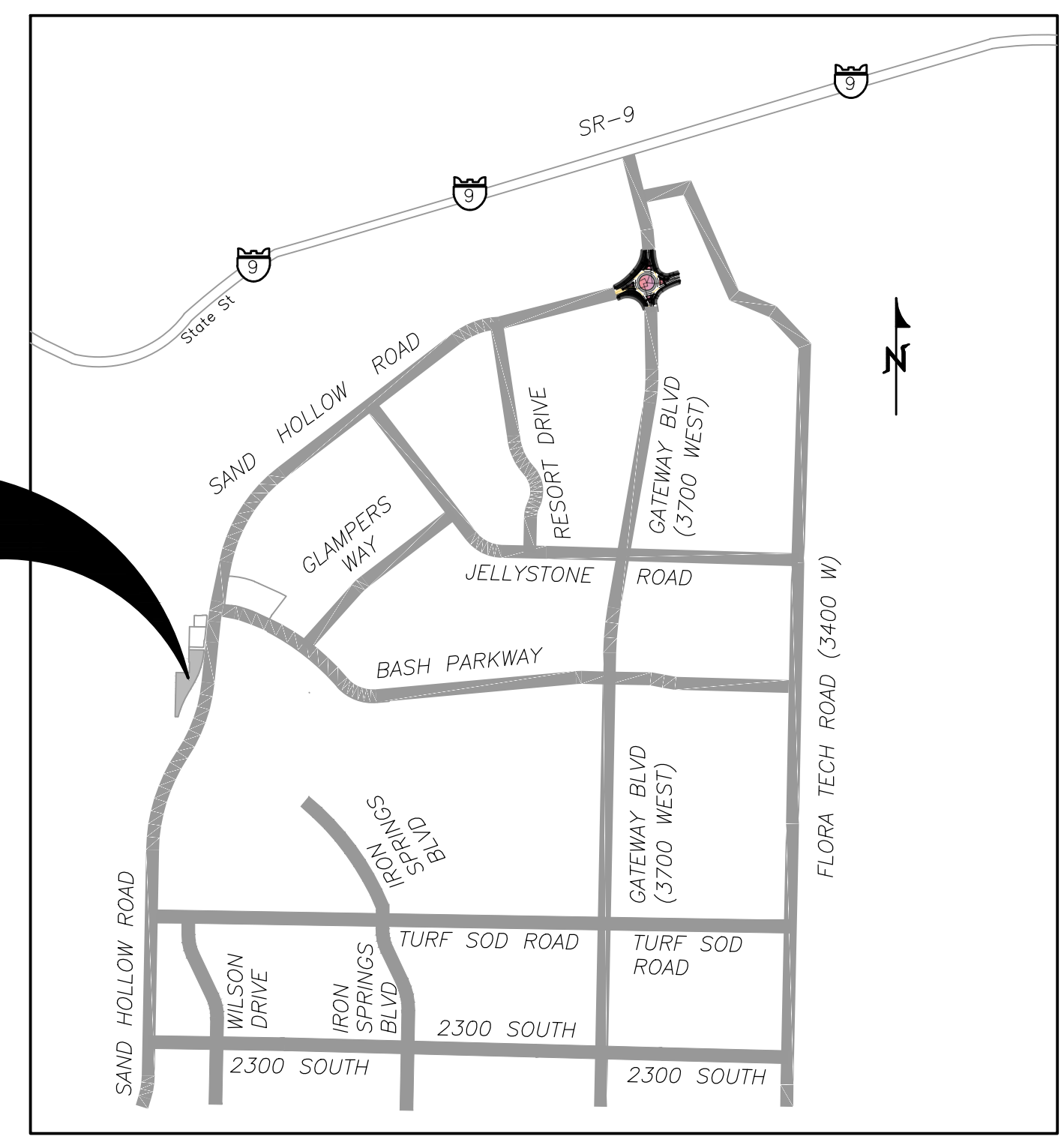


LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTER LINE
- CURB AND GUTTER
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- EXISTING STORM PIPE
- AREA OF ROADWAY TO BE DEDICATED
- LANDSCAPE AREA
- ADA RAMP
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE



PROJECT LOCATION



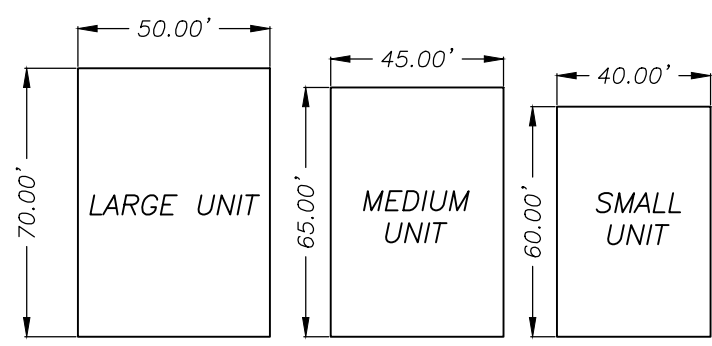
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**PRELIMINARY SITE PLAN FOR:
 BASH MANCAVES**
 LOCATED IN THE NE QUARTER OF SECTION 11, T42S, R14W, S.L.B.&M.
 HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 3/5/2016
 SCALE: 1"=50'
 JOB NO. 281-021
 SHEET NO. **1 OF 1**



TYPICAL UNIT DIMENSIONS

GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2 - HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING HAZARD	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	Ca
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-LOW SUSCEPTIBILITY TO EXPANSION
GYPSIFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING AND EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY <10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSI-LOW MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT
SHALLOW GROUND WATER	SHW3-MODERATELY TO FREELY DRAINING SOILS WITH SEASONAL OR TRANSIENT SHALLOW GROUND WATER

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

PRELIMINARY STORM DRAINAGE PLAN

STORM WATER WILL BE COLLECTED AND CONVEYED VIA CURB AND GUTTER, CATCH BASINS AND PIPES TO A SUBTERRANEAN DETENTION BASIN. FROM THERE THE STORM WATER WILL BE RELEASED AT A CONTROLLED PRE-DEVELOPMENT RATE INTO THE NATURAL DRAINAGE AT THE NORTH SIDE OF THE PROPERTY. THE EXACT SYSTEM DESIGN AND PARAMETERS WILL BE DETERMINED DURING THE CONSTRUCTION DRAWING PHASE.

LINE TABLE			LINE TABLE		
LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION
L1	57.70'	S48°48'02"E	L18	5.00'	N88°54'26"W
L2	11.40'	S57°21'46"E	L19	45.27'	S1°05'34"W
L3	10.15'	N88°54'26"W	L20	5.00'	N88°54'26"W
L5	50.26'	S1°05'34"W	L21	40.00'	S1°05'34"W
L6	10.00'	N88°54'26"W	L22	5.00'	S88°54'26"E
L7	40.00'	S1°05'34"W	L23	45.52'	S1°05'34"W
L8	5.00'	S88°54'26"E	L24	5.00'	N88°54'26"W
L9	45.53'	S1°05'34"W	L25	40.00'	S1°05'34"W
L10	5.00'	N88°54'26"W	L26	10.00'	S88°54'26"E
L11	40.00'	S1°05'34"W	L27	52.37'	S1°05'34"W
L12	10.00'	S88°54'26"E	L28	70.00'	N88°54'26"W
L13	50.53'	S1°05'34"W	L29	545.00'	N1°05'34"E
L14	5.00'	N88°54'26"W	L30	70.00'	S88°54'26"E
L15	45.00'	S1°05'34"W	L31	10.15'	N88°54'23"W
L16	5.00'	S88°54'26"E			
L17	50.52'	S1°05'34"W			

PRELIMINARY PLAT PLAN FOR: BASH MANCAVES

LOCATED IN THE NE QUARTER OF SECTION 11, T42S, R14W, S.L.B.&M. HURRICANE, WASHINGTON COUNTY, UTAH

LEGAL DESCRIPTION

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 42 SOUTH, RANGE 14 WEST OF THE SALT LAKE BASE AND MERIDIAN; THENCE N89°05'48"W ALONG THE QUARTER SECTION LINE 1271.19 FEET TO THE POINT OF BEGINNING; THENCE

THENCE N89°05'48"W 56.02 FEET; THENCE N01°05'34"E 858.85 FEET; THENCE S88°54'05"E 257.28 FEET; THENCE N01°06'23"E 208.71 FEET; THENCE S88°54'02"E 246.27 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF SAND HOLLOW ROAD; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: (1) SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT A DISTANCE OF 568.58 FEET, HAVING A RADIUS OF 1570.66 FEET AND A RADIAL BEARING OF N77°06'53"W, THROUGH A CENTRAL ANGLE OF 20°44'29" (LONG CHORD BEARS: S23°15'21"W 565.49 FEET); (2) SOUTHWESTERLY ALONG THE ARC OF A 1847.20 FOOT RADIUS REVERSE CURVE TO THE LEFT A DISTANCE OF 594.51 FEET, THROUGH A CENTRAL ANGLE OF 18°26'25" (LONG CHORD BEARS: S24°24'19"W 591.94 FEET) TO THE POINT OF BEGINNING.

AREA CONTAINS 248,582 SQUARE FEET OR 5.707 ACRES.

LAND USE SUMMARY

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TOTAL DEVELOPMENT AREA = 247,810 SQ.FT. (5.689 AC)
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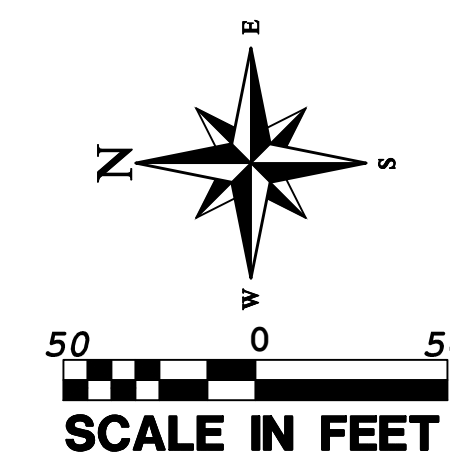
GEOLOGICAL NARRATIVE

QAE: ALLUVIAL AND EOLIAN DEPOSITS (HOLOCENE TO UPPER PLEISTOCENE):-

MODERATELY SORTED GRAVEL, SAND, AND SILT DEPOSITED IN SMALL CHANNELS AND ON ALLUVIAL FLATS, AND WELL-SORTED, FINE- TO MEDIUM-GRAINED, REDDISH-BROWN EOLIAN SAND LOCALLY REWORKED BY ALLUVIAL PROCESSES; YOUNGER DEPOSITS (QAE) FORM ACTIVE DEPOSITIONAL SURFACES, WHEREAS OLDER DEPOSITS (QAE0) TYPICALLY FORM INCISED, INACTIVE SURFACES; AS MUCH AS ABOUT 20 FEET (6 M) THICK.

QEO: EOLIAN SAND DEPOSITIS (HOLOCENE TO UPPER PLEISTOCENE)

WELL SORTED, FINE TO MEDIUM-GRAINED, WELL-ROUNDED, FROSTED QUARTZ SAND; SAND IS RECYCLED PRINCIPALLY FROM THE NAVAJO SANDSTONE AND KAYENTA FORMATION; LOCALLY FORMS SMALL DUNES PARTIALLY STABILIZED BY VEGETATION; LOCALLY INCLUDES THICK CALCIC SOILS (HARDPAN OR CALICHE); TYPICALLY LESS THAN 20 FEET (6m) THICK.



OWNERS:

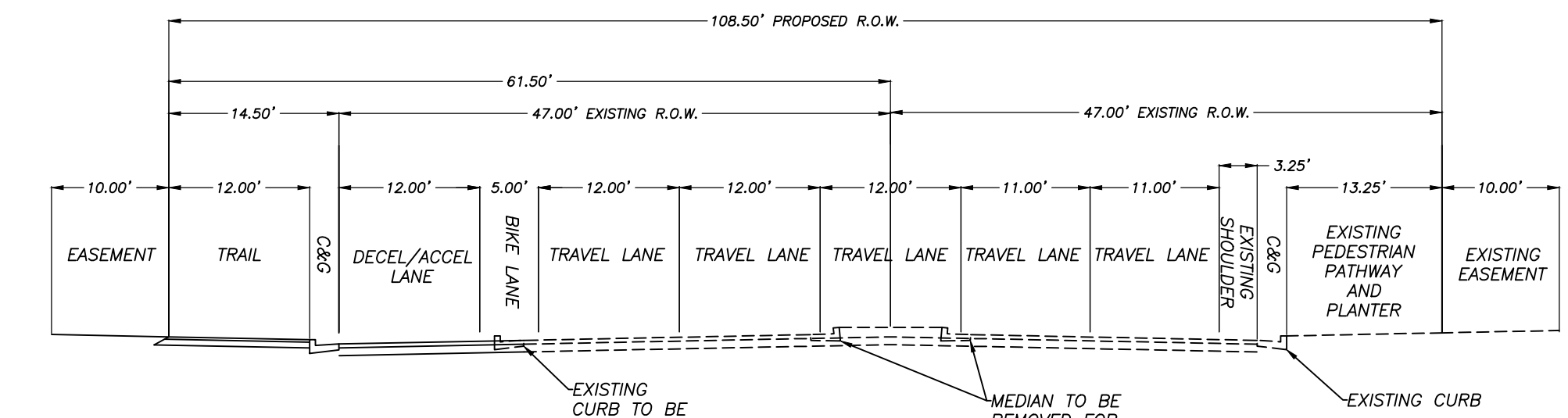
BASH HOLDINGS LLC
LARSON THOMAS GUY, ET AL

CONTACT REPRESENTATIVE:

BRENT MOSER
(801)-793-0346
ENHANCEDHOMESOFUTAH@GMAIL.COM

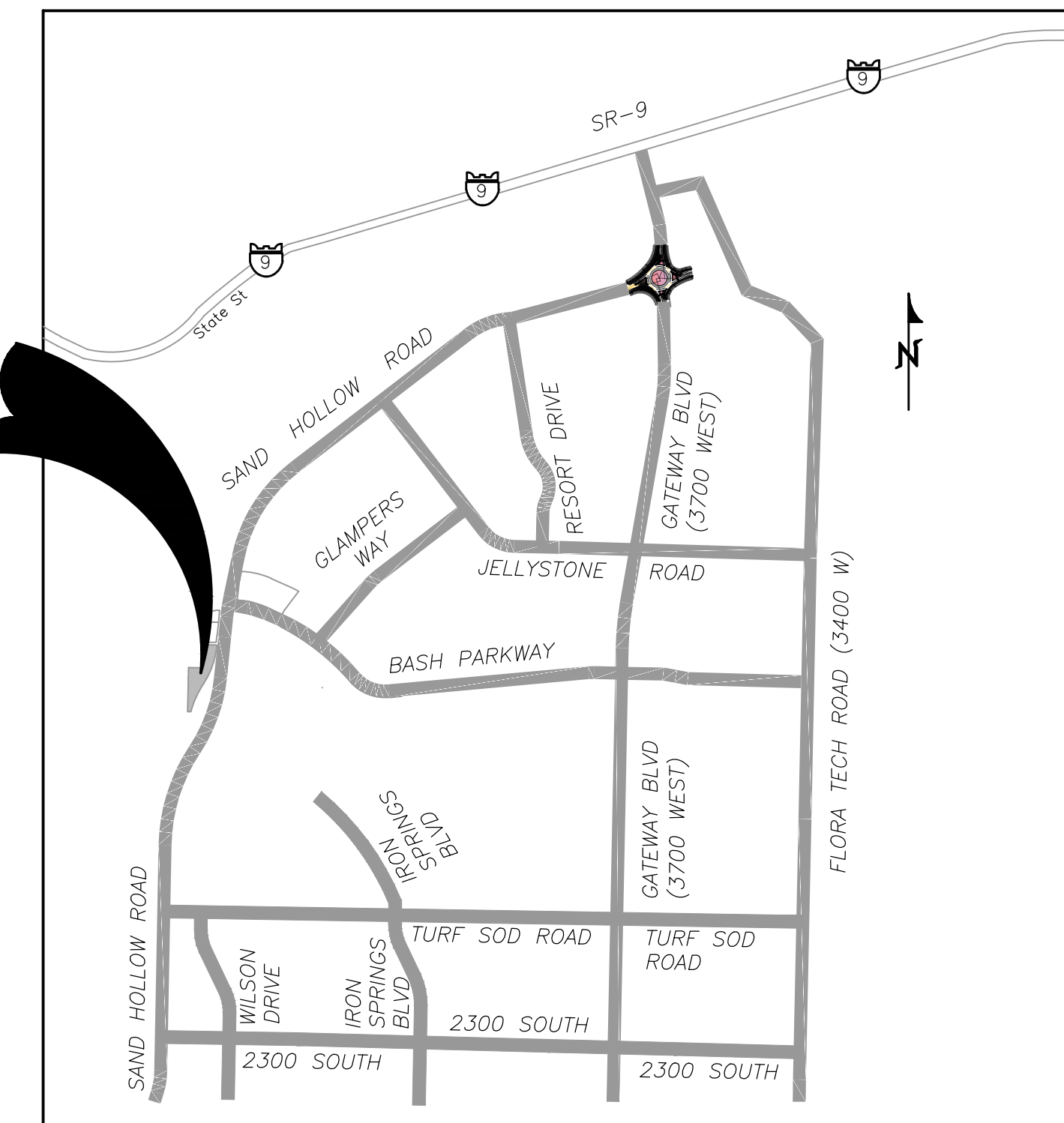
LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - CENTER LINE
- - - CURB AND GUTTER
- - - EXISTING CURB AND GUTTER
- - - EXISTING 1' CONTOURS
- - - EXISTING 5' CONTOURS
- - - PUBLIC UTILITY EASEMENT
- - - EXISTING SEWER LINE (SIZE SHOWN)
- - - EXISTING WATER MAIN (SIZE SHOWN)
- - - EXISTING IRRIGATION MAIN
- - - EXISTING GAS MAIN
- - - EXISTING STORM PIPE
- - - EXISTING SEWER MANHOLE
- - - SECTION CORNER AS DESCRIBED

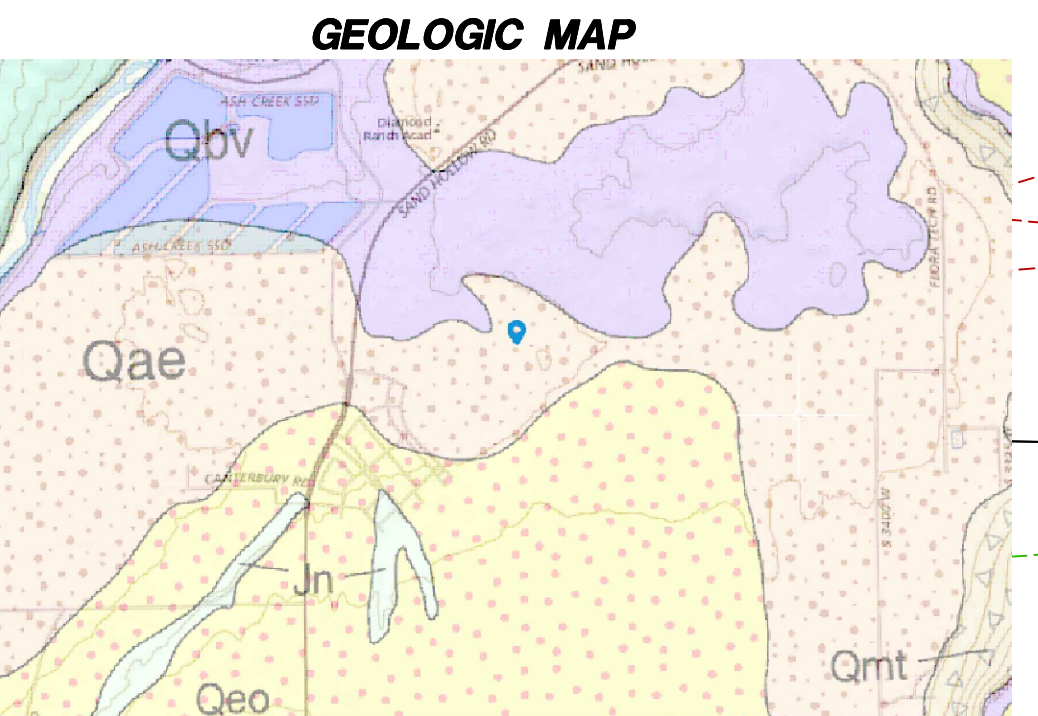
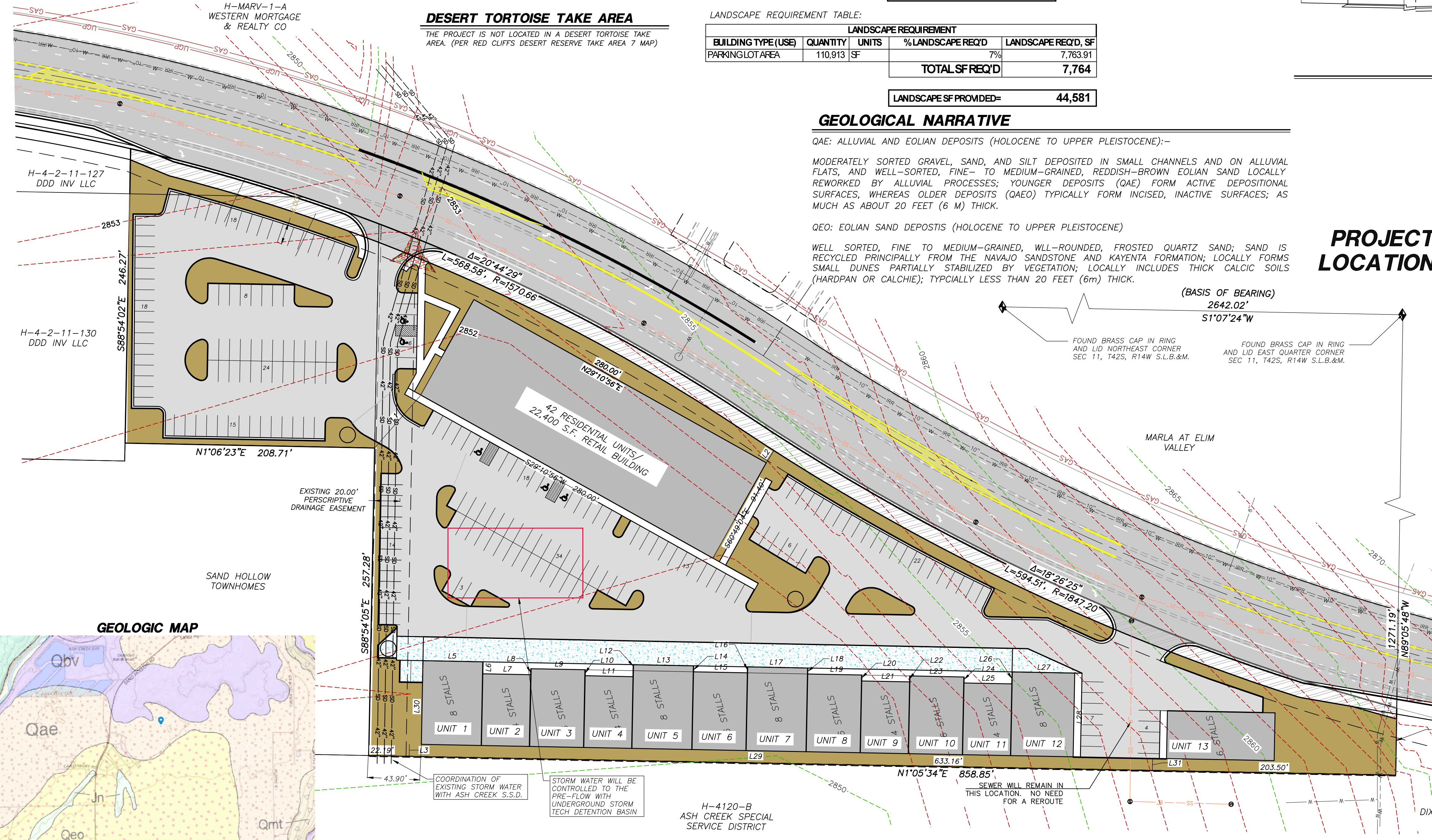


SAND HOLLOW ROAD CROSS SECTION

PROJECT LOCATION



VICINITY MAP
N. T. S.



GEOLOGIC MAP

NO	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
110 South 800 West, Suite 101
Hurricane, UT 84757
Phone: (435) 648-8307



PRELIMINARY PLAT PLAN FOR:
BASH MANCAVES
LOCATED IN THE NE QUARTER OF SECTION 11, T42S, R14W, S.L.B.&M. HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 3/21/2026
SCALE: 1"=50'
JOB NO: 281-021
SHEET NO: 1

281-021



STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	PP26-02
Type of Application:	Preliminary Plat
Action Type:	Administrative
Applicant:	317 Sycamore LLC
Agent:	Brixton Call
Request:	Approval of a Preliminary Plat.
Location:	2230-2254 W 600 N
Zoning:	R1-8(PDO)/PC
General Plan Map:	Planned Community
Recommendation:	Pending
Report Prepared by:	Fred Resch III

Updated Discussion for 3/26/2026:

This item was continued by the Planning Commission on February 26, 2026, and again on March 12th, 2026. Staff met with the applicant on March 2, and had a productive discussion, with the expectation that updated plat materials would be submitted. As of the date of this report was prepared, staff has not yet received any updates from the applicant. Staff therefore recommends that the item be tabled until the requested revisions are submitted.

Previous Discussion:

The applicant has filed a preliminary plat for Desert’s Edge at Sky Mountain, a mixed use development consisting of 63 townhome units and three commercial lots. This project’s zoning was approved in 2025 as “Back Nine at Sky Mountain” and is combined with another previously approved project to the west, called 600 N Planned Commercial, encompassing a total of 11.97 acres. This property is located along 600 N adjacent to the Sky Mountain Golf Course.

for basins to be detention. On-street parking must comply with (HCC 10-34-8(J)). As proposed, it does not. The proposed sewer layout is unrealistic without a sewer pump and pressure sewer. Gravity systems are much more reliable. An acceptable gravity connection appears to be northeast of the proposed subdivision (see HCS 2.1(bullets 1 & 3)). The road on the subdivision's east boundary (2200 W) must be dedicated to the public and road improvements must be constructed with the proposed subdivision (HCC 10-39-11(A)(3)). What is the proposed cross section for 2200 West (HCC 10-39-7(C)(5))? This plat fails to provide one. It appears combining the internal road and 2200 West into a single public street would be the best use of property. However, the fencing plan must be considered with said proposal (HCC 10-23-9(C)). 600 N is an existing 80' public right of way. It appears additional dedication isn't proposed. Applicant must specify the cross section that's to be built (see document #20090021039 for alignment data). doc#20260003563? existing easements must be shown and labeled (HCC 10-39-7(B)(4)). It seems document #20260003563 will allow the applicant to construct public infrastructure but it's unclear if the property for the public infrastructure can be conveyed to the public by the applicant. Engineering would appreciate some additional clarification (HCC 10-39-7(C)(10)). A category I traffic impact study must inform the final layout for the streets connecting to 600 North (HCS 3.9.2). The proposed spacing is substandard (HCS 3.2.4.3), the neighboring property has substantial development potential, and proposed/existing 2200 W is offset from both 2170 W & 2260 W. "Water mains must be in public rights-of-way ... pipelines will not be installed on back lot or side lot lines" - HCS 3.6.8.1; however, water mains with a single source can be up to 600 feet long and serve up to thirty (30) water services and two (2) fire hydrants (HCS 3.6.8.2). Proposed 600 N sidewalk should connect to the existing at 2460 W and 600 N (HCS 2.1(bullet 1)) staff should determine if its impact fee reimbursable (HCC 9-2).

7. **Fire:** construction drawings must be submitted and approved prior to installation
8. **Cable:** Approved.
9. **Gas:** Approved.
10. **Water Conservancy:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the proposed plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments: Preliminary Plat

1. **Land Use:** The proposed development shown on the preliminary plat meets the standards and conditions of the preliminary site plan approved for this development.
2. **Parking:** The plan shows two car garages for the townhomes as well as ten additional guest parking spaces. Another site plan detailing how the parking requirements will be met will be needed prior to development of "Commercial Lot 3."
3. **Amenities:** Sufficient open space and amenities as required by HCC 10-33-5 are depicted, but additional detail should be provided on the final site plan.
4. Easements through the property to the west for water looping have been provided to the City. Additional review from staff and clarification by the applicant is needed to determine if these easements are adequate to meet the standards of the adequate public facilities ordinance (HCC 10-37-4)

5. All park strips will need to be landscaped and have the proper improvements.
6. A will serve letter from the water and sewer departments has been provided.
7. **Water use:** To assist the Washington County Water Conservancy District (WCWCD) as the city's wholesale water provider under the 2006 Regional Water Supply Agreement, Hurricane City and other cities report monthly the number of final platted lots, preliminary platted lots, lots subject to development agreements, and lots within PID taxing areas. These numbers help the WCWCD plan for future water needs and inform the WCWCD's 20-year plan to supply water to the growing County. This development and its 63 lots have not been previously reported and will be added to Hurricane City's totals.

Recommendation: The Planning Commission should review this application based on standards within the Hurricane City Code. Staff recommends tabling the item if staff and JUC comments are not addressed.

Preliminary Plat Application Narrative

Project Name: Desert's Edge at Sky Mountain

Applicant: 317 Sycamore LLC

Property Address: Approximately 2230–2254 W 600 N, Hurricane, Washington County

Date: 11/24/25

Introduction

317 Sycamore LLC, the applicant, is submitting this preliminary plat application for the development of Desert's Edge at Sky Mountain subdivision. The proposed plat establishes the lot layout, street network, utility plans, and overall subdivision design for a new single-family residential neighborhood on approximately 7.83 acres located at 2230–2254 W 600 N in Hurricane, Utah.

The plat is consistent with the existing R1-8 zoning and is designed to create a high-quality residential community that complements surrounding land uses, improves connectivity, and supports the City's long-term development goals.

Property Description

The subject property comprises approximately 7.83 acres and is situated in a prime location for development. To the east, the property is bordered by undeveloped land, offering potential for future growth and expansion. To the west, the property borders Sky Mountain golf course, providing scenic views and recreational opportunities for residents. Additionally, to the west, there is a recently approved development featuring a similar mixed-use of commercial and residential, which complements the proposed Desert's Edge project and promotes a cohesive community environment.

Subdivision Overview

The Preliminary Plat establishes:

- Residential townhome and commercial lots in accordance with the approved preliminary site plan.
- A logical internal street network that connects to 600 N and provides circulation within the development.
- A roadway extension designed to support future development to the east by providing required secondary fire access and utility connectivity.
- Adequate space for public utilities, drainage, and required public improvements.

Lot sizes, setbacks, and design standards will comply with all applicable sections of the Hurricane City Code.

Planning & Design Considerations

1. Compatibility With Surrounding Land Uses

The plat design reflects and enhances the surrounding context:

- The residential layout is consistent with neighboring subdivisions.
- The golf course frontage provides natural buffering and enhances property desirability.
- The design aligns with the city's preferred land-use patterns along 600 N, supporting an attractive gateway corridor.

2. Transportation & Access

The preliminary plat includes:

- A safe and efficient primary access point from 600 N.
- An internal local street system designed to City standards.
- A road layout that continues eastward, enabling necessary secondary emergency access for future adjacent development.
- Sidewalks and pedestrian connections throughout the community.

Traffic impacts are expected to be manageable, with the subdivision generating typical trip volumes for single-family neighborhoods.

3. Infrastructure & Utilities

All required utilities will be extended to serve the subdivision, including:

- Water
- Sewer
- Storm drainage
- Power
- Communications

Stormwater will be managed through a compliant system of on-site retention, conveyance, and drainage improvements. All utilities will be designed per City engineering standards.

4. Conformance With the General Plan

The subdivision supports Hurricane City's long-term objectives by:

- Providing needed residential housing.
- Preserving commercial lots along 600 Nn
- Creating efficient connectivity for future growth areas.
- Ensuring development occurs in a structured, infrastructure-supported manner.

Conclusion

The Desert's Edge at Sky Mountain Preliminary Plat represents a well-planned neighborhood that aligns with the City's zoning, subdivision standards, and long-range planning goals. It

supports orderly growth, enhances connectivity, and provides high-quality housing opportunities within Hurricane.



August 4, 2025

Hurricane City
Gary Cupp
127 N. 870 W.
Hurricane, UT 84737

Subject: Back Nine at Sky Mountain

Gary,

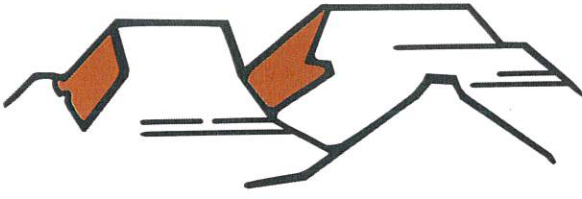
There is sewer capacity for this project. The developers understand and agree that they will need to get plan approval for the sewer system.

After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Amber Gillette".

Amber Gillette, P.E.
Engineer
Ash Creek Special Service District



WATER
HURRICANE CITY
UTAH

Ken Richins, Superintendent

August 14, 2025

To Whom It May Concern:

317 Sycamore, LLC (the "Developer") has requested a culinary water will serve letter for the subdivision known as The Back Nine at Sky Mountain, located at approximately 2256 W 600 N in Hurricane, Utah (the "Project").

Infrastructure

The City currently has infrastructure to supply culinary water in the general vicinity of the Project. However, Developer will be responsible to connect the Project to the existing water infrastructure, including the installation of infrastructure in dedicated public streets and as otherwise required to meet City standards. A looped water system will be required. In addition, Developer may be required to obtain and supply a hydraulic water study to ensure the water system will deliver required fire flows and provide adequate storage.

Water Supply

As of the date of this letter, the City has adequate water to supply water to 66 residential connections within the Project. However, water within the City is a finite resource with limited supply. The ability of the City to supply water to previously approved projects, as well as continue to serve additional water customers, is contingent on water supplies being available from the Washington County Water Conservancy District (the "Conservancy District"). Therefore, the City's statements in this letter regarding the adequacy of water supply is (1) contingent on water being available from the Conservancy District and (2) shall expire one year from the date of this letter, after which a renewed will serve letter will be required for any property or lot that has not obtained a metered connection to the City's culinary water system. Developer is encouraged to obtain a guarantee of water from the Conservancy District.

General Requirements

In addition to the requirements and limitations described above, Developer shall be required to comply with all applicable laws, ordinances, policies, and construction and design standards. These requirements include, but are not limited to, secondary water system requirements and any obligations described in an applicable development agreement. The Water Department will withhold any approval of the proposed Project until all the requirements and conditions of this letter are met as determined by the Water Department.

Sincerely,

Ken Richins
Water Department Superintendent

HURRICANE, UT

SKY MOUNTAIN SUBD

CIVIL CONSTRUCTION SET

SHEET INDEX

C0.00	COVER SHEET
C0.10	GENERAL NOTES, LEGEND & ABBREV.
C1.00	PROPOSED SITE PLAN
C1.01	LOT LAYOUT

DEVELOPMENT SUMMARY

LOCATION:	HURRICANE, WASHINGTON COUNTY
ZONING:	R1-8 PDO
INTENDED USE:	COMMERCIAL/RESIDENTIAL
PROPERTY SIZE:	521,397 SF / 11.97 ACRES
TOWNHOMES:	36 UNITS
RESIDENTIAL LOTS:	27 LOTS

SITE DATA

AFFECTED PARCEL NO.:
H-3-1-29-2212-RD2, H-3-1-29-2213-RD2, H-3-1-29-2214-RD2, H-3-1-29-2211-RD2

FLOOD INFORMATION:
FLOOD ZONE DESIGN ZONE "X", AREA OF WHICH FLOOD HAZARDS ARE LESS THAN 0.2% ANNUAL CHANCE. REFERENCE F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBER 49053C0840G, DATED 4/2/2009.

BENCHMARK INFORMATION:
FOUND NAIL IN BOULDER. ELEV = 3223.83'
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

AS-SURVEYED DESCRIPTION:
BEGINNING AT A POINT SOUTH 89°40'47"EAST, 2501.87 FEET AND NORTH 0°00'00" EAST, 40.00 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF 600 NORTH STREET, A PUBLIC 80.00 FOOT WIDE ROADWAY; THENCE NORTH 00°19'13" EAST, 186.64 FEET TO THE BEGINNING OF A 100.00 FOOT RADIUS CURVE CONCAVE TO THE EAST; THENCE NORTHEASTERLY TO THE RIGHT, ALONG THE ARC OF SAID CURVE 38.92 FEET THROUGH A CENTRAL ANGLE OF 22°17'51"; THENCE NORTH 22°37'04" EAST, 80.02 FEET TO THE BEGINNING OF A 100.00 FOOT RADIUS CURVE CONCAVE TO THE WEST; THENCE NORTHEASTERLY, TO THE LEFT, ALONG THE ARC OF SAID CURVE 39.48 FEET, THROUGH A CENTRAL ANGLE OF 22°37'04"; THENCE NORTH 00°00'00" EAST, 78.00 FEET; THENCE NORTH 90°00'00" WEST, 96.45 FEET TO A POINT ON THE SKY MOUNTAIN GOLF COURSE, THE FOLLOWING TWENTY (20) COURSES FOLLOW THE SKY MOUNTAIN GOLF COURSE BOUNDARY: THENCE NORTH 17°32'08"EAST, 24.59 FEET; THENCE NORTH 07°49'17" WEST, 82.25 FEET; THENCE NORTH 33°05'41" WEST, 153.61 FEET; THENCE NORTH 43°06'09" WEST, 83.39 FEET; THENCE NORTH 38°59'36" WEST, 67.43 FEET; THENCE NORTH 35°04'15" WEST, 120.51 FEET; THENCE NORTH 45°30'57" WEST, 56.85 FEET; THENCE NORTH 48°33'31" WEST, 71.87 FEET; THENCE NORTH 16°20'04" WEST, 94.31 FEET; THENCE NORTH 36°16'05" EAST, 36.84 FEET; THENCE NORTH 87°59'45" EAST, 257.61 FEET; THENCE NORTH 53°35'22" EAST, 51.17 FEET; THENCE NORTH 38°32'44" EAST, 44.52 FEET; THENCE NORTH 54°14'37" EAST, 37.22 FEET; THENCE SOUTH 46°05'18" EAST, 31.52 FEET; THENCE SOUTH 12°40'51"EAST, 63.84 FEET; THENCE SOUTH 24°26'02" EAST, 65.29 FEET; THENCE SOUTH 46°07'24" EAST, 92.95 FEET; THENCE NORTH 57°37'95" EAST, 50.19 FEET; THENCE SOUTH 89°56'21" EAST, 11.36 FEET; THENCE SOUTH 00°03'21" WEST, 983.70 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF 600 NORTH STREET; THENCE ALONG SAID RIGHT OF WAY LINE NORTH 89°40'47" WEST, 135.20 FEET TO THE POINT OF BEGINNING.

PROJECT TEAM

DEVELOPER:
THREE SEVENTEEN CAPITAL GROUP
ATTN: K. BEAU OGZEWALLA
1148 W LEGACY CROSSING BLVD, SUITE 317
CENTERTVILLE, UT 84014
PH: (801) 540-4275

SURVEYOR:
LAYTON SURVEYS
ATTN: WILLIS D. LONG
1857 N 1000 W STE. 1
CLEARFIELD, UT 84015
PH: (801) 663-1641

CIVIL ENGINEER (PROJECT CONTACT):
HUNT DAY
ATTN: THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PH: (801) 664-4724

AGENCY / UTILITY CONTACTS

CITY ENGINEER:
147 N 870 W
HURRICANE, UT 84737
PHONE: (435) 635-2811

PUBLIC WORKS:
147 N 870 W
HURRICANE, UT 84737
PHONE: (435) 635-2811

STREETS & DRAINAGE:
600 N 654 W
HURRICANE, UT 84737
PHONE: (435) 216-7314

WATER & IRRIGATION:
600 N 646 W
HURRICANE, UT 84737
PHONE: (435) 635-9442

FIRE DEPARTMENT:
HURRICANE VALLEY FIRE DISTRICT
202 E STATE ST
HURRICANE, UT 84737
PHONE: (435) 635-9562

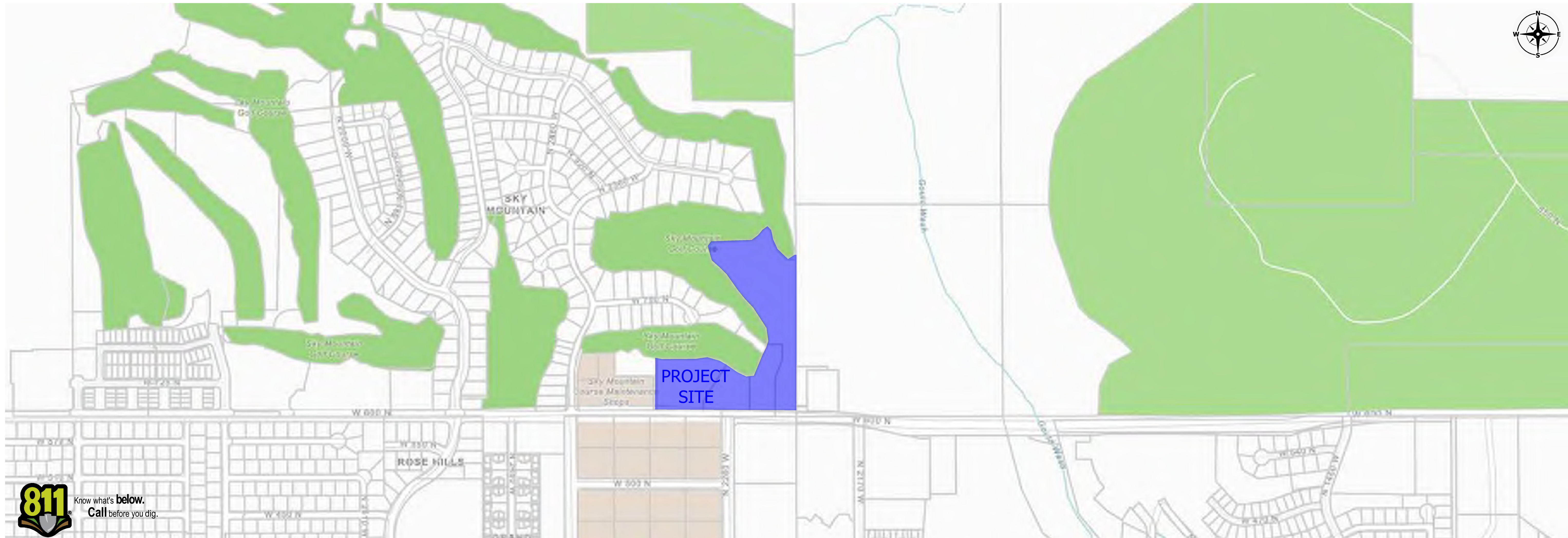
GAS COMPANY:
DOMINION ENERGY
PHONE: (800) 323-5517

POWER DEPARTMENT:
526 W 600 N
HURRICANE, UT 84737
PHONE: (435) 635-5536

NOTICE TO CONTRACTORS

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

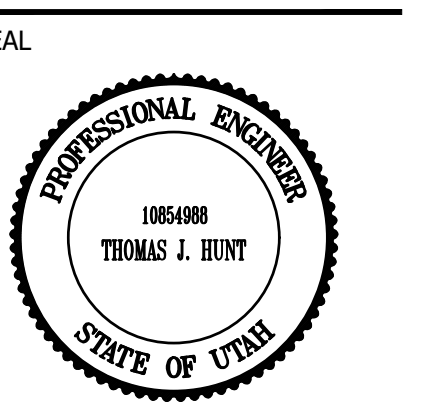
VICINITY MAP



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
SKY MOUNTAIN
2256 W 600 N
HURRICANE, UT
LOCATED IN THE SE QUARTER OF SECTION 29,
TOWNSHIP 41 SOUTH, RANGE 13 WEST, 5L BASE AND MERIDIAN

REV.	DATE	DESCRIPTION



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.
Engineer: T. Hunt
Drawn: R. Hatfield
Date: 09 / 16 / 2025
Proj. No. 101 - 05

COVER SHEET

SHEET NO.
C0.00

RYAN H C:\Users\Ryan.Hunt\My Desktop\Projects\101-05 The Back 9\09-CAD\101-05_Sky Mountain_2025.09.16 9/16/2025 10:36 AM



General Notes

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:
- INTERNATIONAL BUILDING CODES (IBC)
- INTERNATIONAL PLUMBING CODES
- STATE DRINKING WATER REGULATIONS
- APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS
- ADA ACCESSIBILITY GUIDELINES.
1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:
- LANDSCAPE PLANS
- SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)
- FIRE PROTECTION
- ARCHITECTURAL SITE PLANS
- ACCESSIBLE ROUTES
- ETC.
3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
4.6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:
- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
- CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."
- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.
- ASPHALT COMPACTION SHALL BE A MINIMUM 96%.
- SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
- AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
- THICKNESS OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
6.3 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
6.4 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
6.5 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
7.2 CONTRACTOR TO VERIFY BY POTHOLES BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
- ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.
- RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- TRACKING STRAW PERPENDICULAR TO SLOPES
- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Linetypes

Table listing various linetypes and their corresponding utility types, such as PROPERTY LINE, BASIS OF BEARING, CENTERLINE, ADJACENT LOT LINE, EASEMENT, SETBACK, CHAINLINK FENCE, WOODEN FENCE, VINYL FENCE, RAILROAD, CONTOUR MAJOR, CONTOUR MINOR, EXIST. CONTOUR MAJOR, EXIST. CONTOUR MINOR, UTILITY FLOW DIRECTION, EX UNKNOWN UTILITY, EX OVERHEAD POWER, EX UNDERGROUND POWER, EX NATURAL GAS, EX OVERHEAD POWER, EX CABLE TV, EX COMMUNICATIONS, EX FIBER OPTIC, EX TRAFFIC SIGNAL, EX TELEPHONE, EX CULINARY WATER, EX CULINARY WATER, EX FIRE SERVICE, EX SANITARY SEWER, EX FORCE MAIN, EX SANITARY SEWER, EX STORM DRAIN, EX STORM DRAIN, STORM DRAIN, ROOF DRAIN, EX STORM DRAIN, EX ROOF DRAIN, EX IRRIGATION, EX LAND DRAIN, EX SECONDARY WATER, EX IRRIGATION, LAND DRAIN, SECONDARY WATER, EX IRRIGATION.

Abbreviations

Table listing abbreviations and their meanings, such as BFE = BASEMENT FLOOR ELEVATION, BLDG = BUILDING, BOS = BOTTOM OF STAIRS, BOW = BOTTOM OF WALL, BP = BEGINNING POINT, C&G = CURB & GUTTER, CB = CATCH BASIN, CF = CUBIC FEET, CFS = CUBIC FEET PER SECOND, FF = FINISH FLOOR, FFE = FINISH FLOOR ELEVATION, FG = FINISHED GRADE, FH = FIRE HYDRANT, FL = FLOW LINE, GB = GRADE BREAK, INV = INVERT, LF = LINEAR FEET, NG = NATURAL GRADE, PC = POINT OF CURVATURE, PP = POWER/UTILITY POLE, PRC = POINT OF RETURN CURVATURE, PT = POINT OF TANGENCY, PUE = PUBLIC UTILITY EASEMENT, QTY = QUANTITY, RCP = REINFORCED CONCRETE PIPE, RIM = RIM OF MANHOLE, ROW = RIGHT-OF-WAY, SD = STORM DRAIN, SS = SANITARY SEWER, TBC = TOP BACK OF CURB, TOA = TOP OF ASPHALT, TOC = TOP OF CONCRETE, TOFF = TOP OF FINISHED FLOOR, TOS = TOP OF STAIRS, TOW = TOP OF WALL, TSW = TOP OF SIDEWALK, W = CULINARY WATER, WM = WATER METER.

Hatching

Table showing hatching patterns for PROPOSED BUILDING, EXISTING BUILDING, PROPOSED CONCRETE PAVEMENT, PROPOSED ASPHALT PAVEMENT, EXISTING CONCRETE PAVEMENT, EXISTING ASPHALT PAVEMENT.

Symbols

Table listing symbols and their meanings, such as SIGN, STREET LIGHT, LIGHT, SD MH, INLET, AND COMBO BOX, SEWER MANHOLE, CLEAN-OUT, VALVE, TEE, & BEND, WATER BLOW-OFF, WATER METER, FIRE HYDRANT, POWER POLE, ELECTRICAL BOX, TRAFFIC BOX, TELEPHONE MANHOLE, IRRIGATION VALVE, PROP STREET MONUMENT, EX STREET MONUMENT, SECTION CORNER, SURVEYOR MONUMENT, SPOT ELEVATION.

Detail Identification

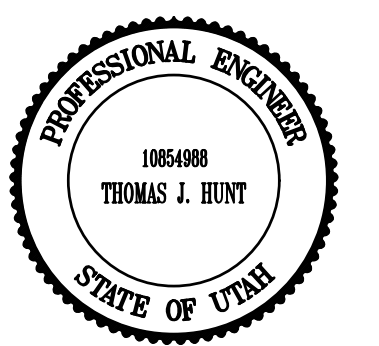
Table showing detail identification symbols and their meanings, such as DETAIL NUMBER, SHEET NUMBER, DETAIL NAME, TYPICAL DETAIL NUMBER, TYPICAL DETAIL NAME, SECTION LETTER, SHEET NUMBER.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
SKY MOUNTAIN
2256 W 600 N
HURRICANE, UT
LOCATED IN THE SE QUARTER OF SECTION 29,
TOWNSHIP 41 SOUTH, RANGE 13 WEST, 5L BASE AND MERIDIAN

Table for REVISIONS with columns for REV., DATE, and DESCRIPTION.



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.
Engineer: T. Hunt
Drawn: R. Hatfield
Date: 09 / 16 / 2025
Proj. No. 101 - 05

GENERAL NOTES, LEGEND, & ABBREV.

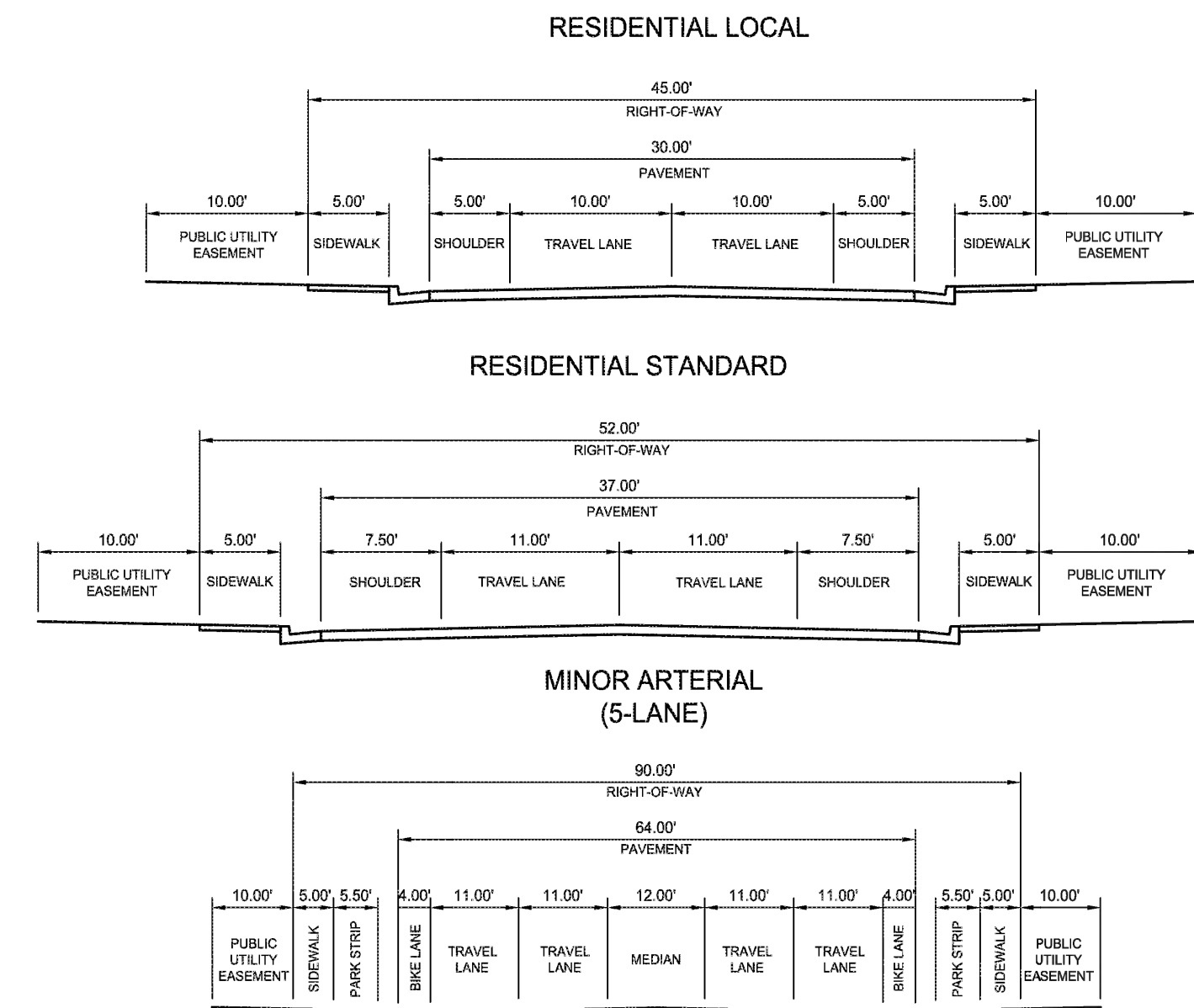
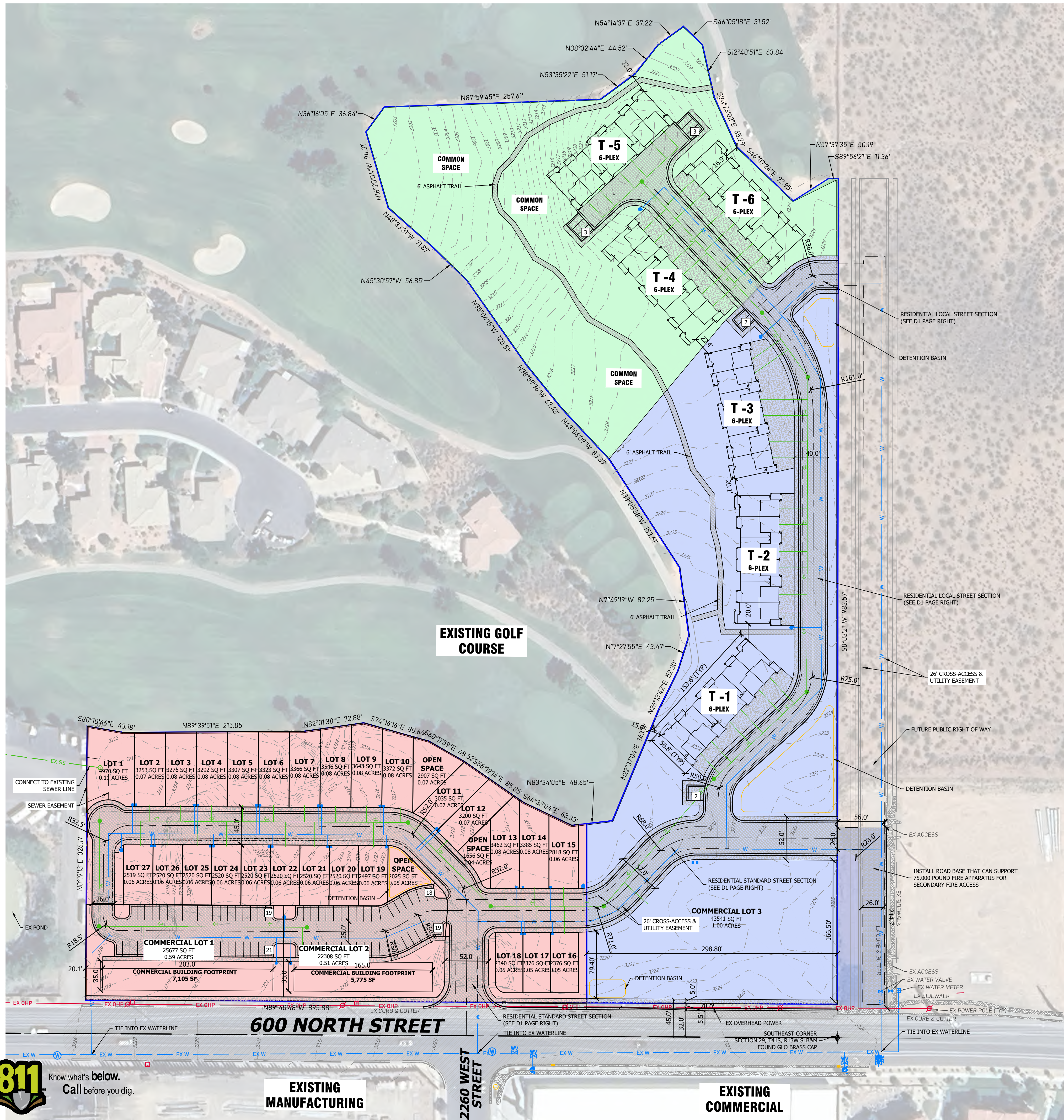
SHEET NO.
C002



HUNT · DAY
 3445 Antelope Drive, St 200
 Syracuse, UT 84075
 PH: 801.664.4724
 EM: Thomas@HuntDay.co

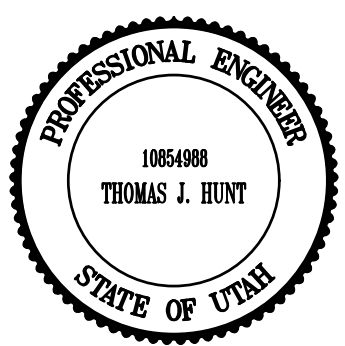
SKY MOUNTAIN
2256 W 600 N
HURRICANE, UT

LOCATED IN THE SE QUARTER OF SECTION 29,
 TOWNSHIP 41 SOUTH, RANGE 13 WEST, 5L BASE AND MERIDIAN



D1 Road Sections
 Scale: NTS

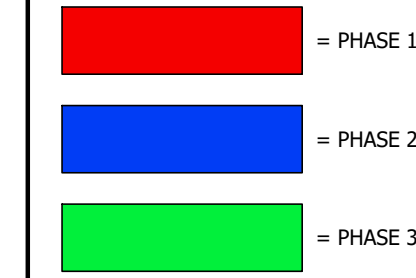
REV.	DATE	DESCRIPTION	BY



VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1" 1"

PROJECT INFO.
 Engineer: T. Hunt
 Drawn: R. Hatfield
 Date: 09 / 16 / 2025
 Proj. No. 101 - 05
 SHEET TITLE

Phasing Legend



General Notes

- TOWNHOMES TO BE PLATTED INDIVIDUALLY, THE REMAINDER OF THE PARCEL WILL BE PLATTED AS COMMON SPACE.

Site Data

LOCATION: HURRICANE, WASHINGTON COUNTY, UTAH
 CURRENT ZONING: NC PDD
 PROPOSED ZONING: R1-8 PDD
 PROPERTY SIZE: 521,397 SF / 11.97 AC
 TOWNHOMES: 36 UNITS
 RESIDENTIAL LOTS: 27 LOTS

PROPOSED SITE PLAN

SHEET NO.
C1.00

RYAN H C:\Users\Ryan.Hunt\My Documents\Projects\101-05 Sky Mountain_2025\09_16_2025_10:36 AM

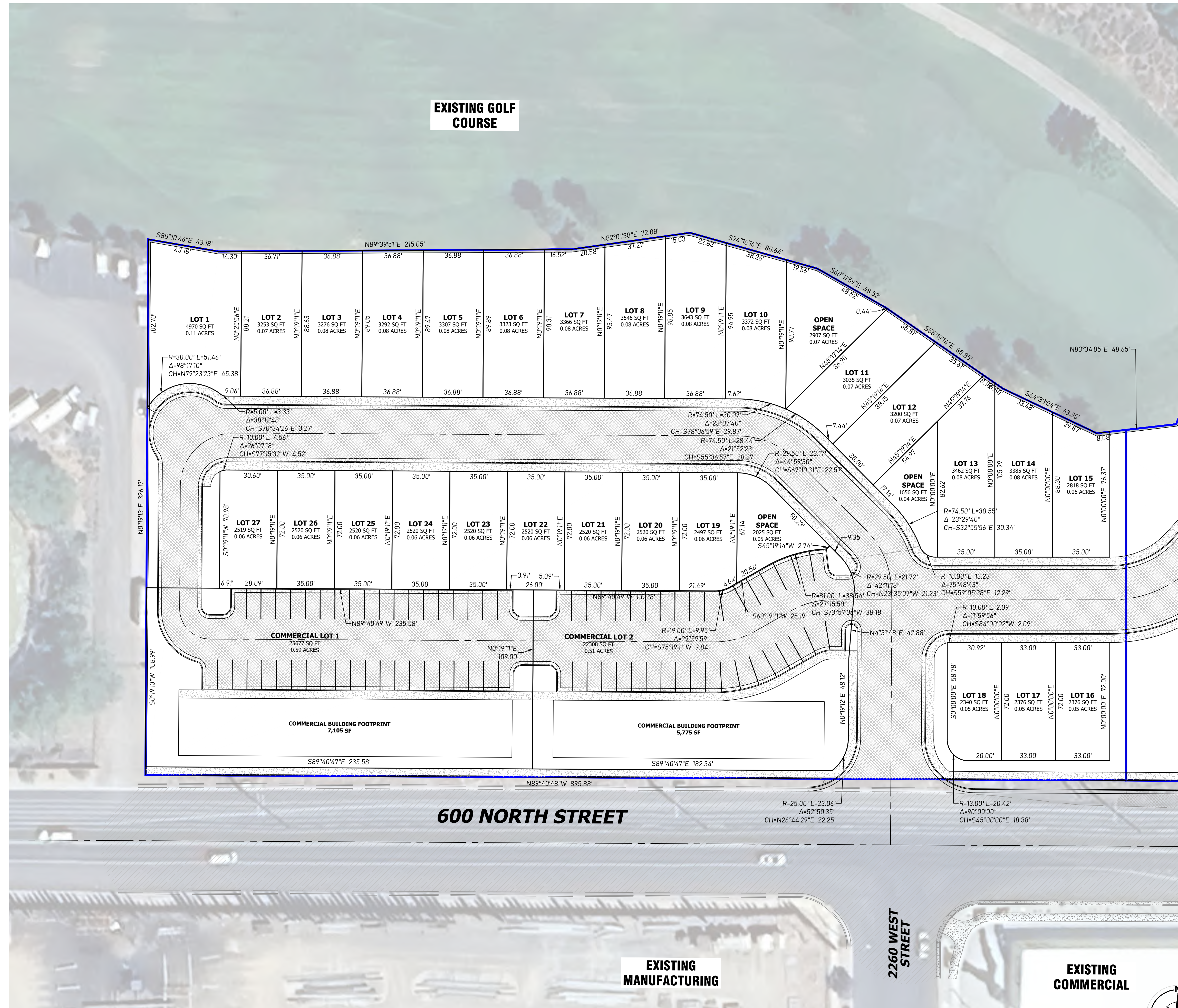




HUNT · DAY
 3445 Antelope Drive, St 200
 Syracuse, UT 84075
 PH: 801.664.4724
 EM: Thomas@HuntDay.co

SKY MOUNTAIN
2256 W 600 N
HURRICANE, UT

LOCATED IN THE SE QUARTER OF SECTION 29,
 TOWNSHIP 41 SOUTH, RANGE 13 WEST, 5L BASE AND MERIDIAN



EXISTING GOLF COURSE

EXISTING MANUFACTURING

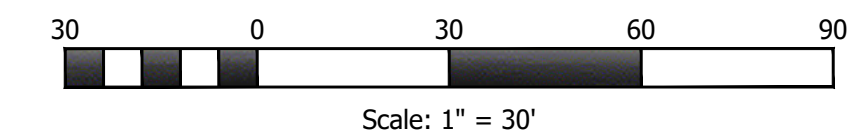
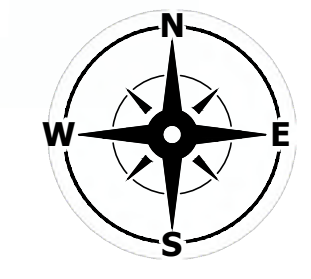
EXISTING COMMERCIAL

600 NORTH STREET

2260 WEST STREET

COMMERCIAL BUILDING FOOTPRINT
7,105 SF

COMMERCIAL BUILDING FOOTPRINT
5,775 SF



PROJECT TITLE

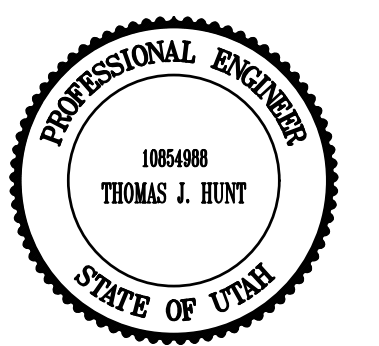
REVISIONS

SEAL

VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 0 30 60 90
 IF NOT ONE INCH ON THIS SHEET, ADJUST
 SCALES ACCORDINGLY

PROJECT INFO.
 Engineer: T. Hunt
 Drawn: R. Hatfield
 Date: 09 / 16 / 2025
 Proj. No. 101 - 05
 SHEET TITLE

REV.	DATE	DESCRIPTION	BY



LOT LAYOUT

SHEET NO.
C1.01

RYAN H C:\Users\Ryan H\Hunt Day Dropbox\Projects\101-05 Sky Mountain_2025.09.16 9/16/2025 10:36 AM



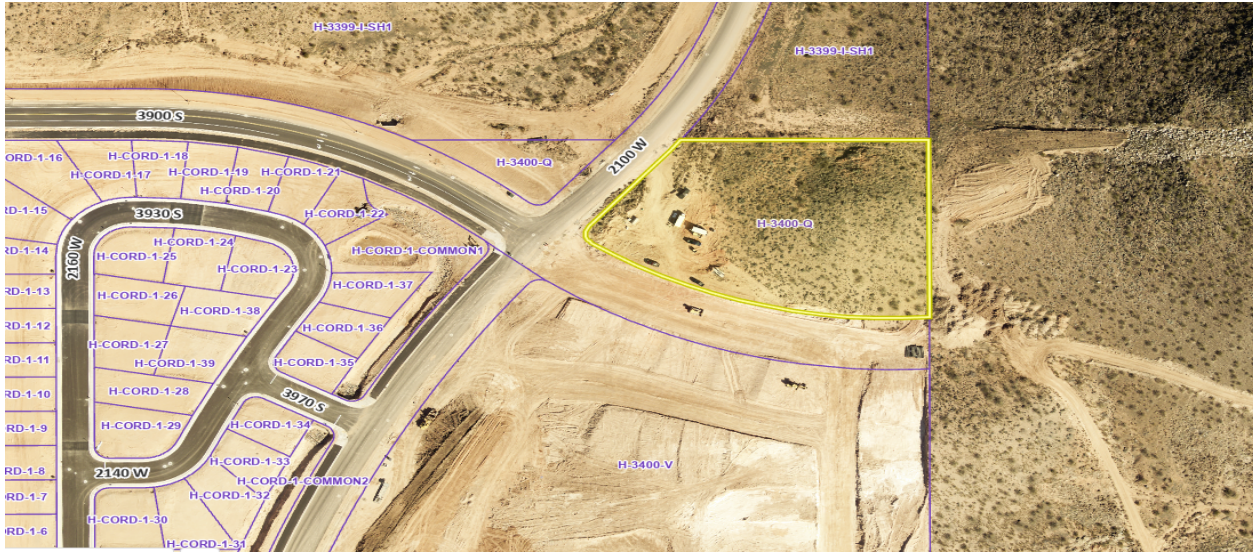


STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	PP26-03
Type of Application:	Preliminary Plat
Action Type:	Administrative
Applicant:	River Valley Development
Agent:	Brant Tuttle
Request:	Preliminary Plat Approval
Location:	2100 W Cliff View Drive
Zoning:	R1-6
General Plan Map:	Planned Community
Recommendation:	Approve
Report Prepared by:	Fred Resch III

Discussion:

The applicant is requesting preliminary plat approval for Cordero Phase 4, a nine-lot subdivision located north of the currently under-construction Cordero development. The property is situated at the northeast corner of 2100 West and Cliff View Drive. Under the original Cordero Development Agreement, a total of 700 residential units were approved for the combined Cordero, Southern Shores, and Southern Dunes Townhomes developments. Existing entitlements account for 691 of those units, leaving nine remaining units available. Cordero Phase 4 represents the allocation of those remaining nine units. This property is zoned Single Family Residential R1-6.



Vicinity Map

JUC Comments

The following items will need to be addressed:

1. **Public Works:** Lots 8 and 9 cannot access from 2100 W.
2. **Power:** Make sure 10' PUE is clear and level, may have to install power on the west side of 2100 W to provide power to Lots 8 & 9.
3. **Sewer:** Approved.
4. **Streets:** Approved.
5. **Water:** Approved.
6. **Engineer:** Cliff View Drive and 2100 W are both Major Collectors with 12' trails (typical 77' cross sections). Residential lots cannot have direct access to major collector roads and larger unless otherwise approved by the city engineer (HCS 3.9.1.1). The Engineering office is willing to accept the common/shared driveway for lots 1 to 7 as proposed. However, lots 8 & 9 must also share a common driveway with curb returns due to access spacing and proximity to corner requirements (HCS 3.9.1.1(E)).

Areas undisturbed by grading should be preserved by easement on the Final Plat.

The plat fails to identify how retention and detention requirements for stormwater drainage will be handled; however options are available (HCC 10-39-7(C)(6)).

Plat fails to identify potential geotechnical constraints however, the applicant has been warned of the existing studies (HCC 10-39-7(B)(8)). The plat appears to fall within special study area on the special study 127 faults and surface faulting map, over l & m2 areas on the special study 127 liquefaction map, in the moderate rock-fall hazard area on the special study 127 rock-fall map, within the CSA, CSB, & CSC areas of the special study 127 collapsible soil map, on the BRB-buried area of the special study 127 shallow bedrock map, and over the SGW3 area of the special study 127 shallow ground water map.

7. **Fire:** Approved.
8. **Cable/Phone:** Approved.
9. **Gas:** Approved.

10. **Water Conservancy District:** We have an 8-inch line in along 2100 W. Please include the line location in the CDs. Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments: Preliminary Plat

1. Zoning is R1-6. All lots meet R1-6 development standards.
2. Access restrictions for lots 5-9 will need to be in place per Engineering comments. These will need to be placed on the final plat.
3. The development is governed by a development agreement which capped the total number of lots at 700 for the whole area. The development agreement required preliminary plats to list the number of lots that have been approved for the full Cordero development. This note has not been provided.
4. There are some potential sensitive lands on the property. The applicant has submitted a grading plan showing how they intend to leave most of the steepest property undisturbed. Staff finds this acceptable due to the relatively nonsubstantial nature of the sensitive lands on the property.
5. Rock fall hazard boundary and a notice to property owners will need to be added to the final plat.
6. Will-serve letters from Hurricane City Water and Ash Creek Sewer District have been provided.
7. **Water use:** To assist the Washington County Water Conservancy District (“WCWCD”) as the city’s wholesale water provider under the 2006 Regional Water Supply Agreement (“RWSA”), Hurricane City and other cities report monthly the number of number final platted lots, preliminary platted lots, lots subject to development agreements, and lots within PID taxing areas. These numbers help the WCWCD plan for future water needs and inform the WCWCD’s 20-year plan to supply water to the growing County. The nine lots contemplated by this application were previously reported to WCWCD as part of the Cordero development agreement.

Recommendation: The Planning Commission should review this application based upon standards within the Hurricane City Code and State Code standards. Staff recommends approval subject to staff and JUC comments.

February 11, 2026

Mr. Gary Cupp
City Planning Director
City of Hurricane
147 North 870 West
Hurricane, UT 84737

Cordero Phase Two Preliminary Plat Summary

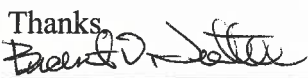
Dear Gary,

The Cordero Phase Four Preliminary Plat contains 9 lots on 2.71 acres for a density of 3.32 lots per acre. Phase Four is located at the northeast corner of the 2100 West and Cliff View Drive intersection. The street improvements along the East side of 2100 West and along the North side of Cliff View Drive will be completed with Cordero Phase Four.

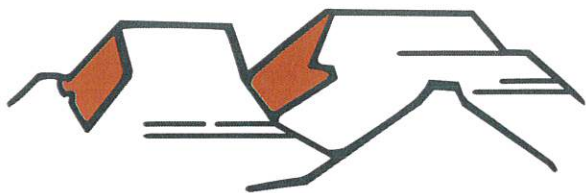
The general slope of the property flows from the northeast to the southwest with the southwest corner being the lowest in elevation. Where there are no new streets being constructed, other than the street improvements along 2100 West and Cliff View Drive, the storm water drainage will be managed with the existing storm drainage facilities and the new curb and gutter constructed with Phase Four. There are no Hurricane Canal Company facilities located on the project site.

Potential geotechnical constraints were previously evaluated at this site and there are no known collapsible soils or geologic fault lines in this area. A soils report was previously performed on the site and will be resubmitted with the construction drawings. The property is not located in a desert tortoise area. Combined lot drive access with either a looped driveway or hammerhead type driveway, will be designed for combined lot access on both 2100 West and Cliff View Drive. The construction drawings will provide combined lot access details. The Ash Creek Special Service District has an existing sewer line installed at 2100 West Street. The water system improvements as part of Cordero Phase One and Phase Two have previously been installed. A new 8" sewer line will be constructed at Cliff View Drive for sewer services on Cliff View Drive. Cordero Phase Four will be developed in one phase.

If you have any questions or need any additional information, please contact me.

Thanks,


Brant D. Tuttle, P.E.
Northern Engineering, Inc.



WATER
HURRICANE CITY
UTAH

Ken Richins, Superintendent

February 10, 2026

To Whom It May Concern:

River Valley Development (the “Developer”) has requested a culinary water will serve letter for the subdivision known as Cordero Phase 4, located at approximately 2100 W Cliff View Drive in Hurricane, Utah (the “Project”).

Infrastructure

The City currently has infrastructure to supply culinary water in the general vicinity of the Project. However, Developer will be responsible to connect the Project to the existing water infrastructure, including the installation of infrastructure in dedicated public streets and as otherwise required to meet City standards. A looped water system will be required. In addition, Developer may be required to obtain and supply a hydraulic water study to ensure the water system will deliver required fire flows and provide adequate storage.

Water Supply

As of the date of this letter, the City has adequate water to supply water to 9 residential connections within the Project. However, water within the City is a finite resource with limited supply. The ability of the City to supply water to previously approved projects, as well as continue to serve additional water customers, is contingent on water supplies being available from the Washington County Water Conservancy District (the “Conservancy District”). Therefore, the City’s statements in this letter regarding the adequacy of water supply is (1) contingent on water being available from the Conservancy District and (2) shall expire one year from the date of this letter, after which a renewed will serve letter will be required for any property or lot that has not obtained a metered connection to the City’s culinary water system. Developer is encouraged to obtain a guarantee of water from the Conservancy District.

General Requirements

In addition to the requirements and limitations described above, Developer shall be required to comply with all applicable laws, ordinances, policies, and construction and design standards. These requirements include, but are not limited to, secondary water system requirements and any obligations described in an applicable development agreement. The Water Department will withhold any approval of the proposed Project until all the requirements and conditions of this letter are met as determined by the Water Department.

Sincerely,



Ken Richins
Water Department Superintendent



February 10, 2026

Hurricane City
Gary Cupp
127 N. 870 W.
Hurricane, UT 84737

Subject: Cordero Phase 4

Gary,

There is sewer capacity for this project. The developers understand and agree that they will need to get plan approval for the sewer system.

After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Amber Gillette".

Amber Gillette, P.E.
Engineer
Ash Creek Special Service District

GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE HURRICANE CITY PUBLIC WORKS DEPARTMENT.
- A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, HURRICANE CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.

ROADWAY/STORM DRAIN

- ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF HURRICANE CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- STORM DRAIN PIPES MUST BE RCP CLASS III. PIPES SHALL BE INSTALLED ACCORDING TO PERTINENT HURRICANE CITY STANDARDS.

SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ASH CREEK SPECIAL SEWER DISTRICT DESIGN STANDARDS AND PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF ASH CREEK SPECIAL SERVICE DISTRICT.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY ASH CREEK SPECIAL SERVICE DISTRICT.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF RECORD DRAWINGS TO ASH CREEK SPECIAL SERVICE DISTRICT AND (1) SET TO NORTHERN ENGINEERING, INC.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH HURRICANE CITY STANDARDS.
- ALL SEWER LINE WITHIN PUBLIC STREETS ARE PUBLIC SEWER LINES TO BE OPERATED AND MAINTAINED BY ASH CREEK SPECIAL SERVICE DISTRICT. NO PRIVATE SEWER LINES ARE ALLOWED.

WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE HURRICANE CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST HURRICANE CITY ENGINEERING DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF RECORD DRAWINGS TO HURRICANE CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH HURRICANE CITY STANDARDS.
- WATERLINES TO BE BEDDED IN GRANULAR MATERIAL. A MIN. OF 8" COVER OVER TOPS OF PIPE IS REQUIRED TO AVOID PENETRATION OF SUB BASE FROM ABOVE. THE OVERALL COVER OF THE CULINARY PIPE NEEDS TO BE NO LESS THAN 4 FEET.
- ALL CULINARY WATERLINES SHALL BE POLY WRAPPED DUCTILE IRON OR PVC C-900.
- WATER SERVICES SHALL BE TYPE "K" COPPER ONLY.
- THRUST BLOCKS ARE NOT ALLOWED. JOINT RESTRAINTS ARE REQUIRED. SEE DETAIL SHEET.
- HURRICANE VALLEY FIRE DISTRICT TO APPROVE THE LOCATION OF FIRE HYDRANTS.
- ALL MAIN AND SERVICE LINES SHALL MAINTAIN A 10 FOOT SEPARATION BETWEEN WATER AND SEWER.
- ALL WATER MAINS 10-INCH AND LARGER SHALL BE POLY-WRAPPED DUCTILE IRON.
- ONLY A PRE-QUALIFIED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE WATER SYSTEM.

DOMINION ENERGY NOTES

- DEVELOPER NEEDS TO CONTACT DOMINION ENERGY PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP. JEFF BURTON ☎ 435-674-6112
- DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPERS EXPENSE.
- IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COST. A MAP WILL BE AVAILABLE AT DOMINION ENERGY FOR CASING LOCATIONS. (1155 E 350 N. ST. GEORGE).
- ALL OF THE 10 FOOT UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF THE CURB BEFORE GAS LINES WILL BE INSTALLED. DEVELOPER WILL BE RESPONSIBLE FOR THE COST OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.
- ALL TRENCHES SHALL BE BACKFIELD AND ALL DEBRIS, CONSTRUCTION MATERIALS, AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
- PROPERTY LOT LINES, BACK OF CURB, AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
- POWER, WATER, SEWER LINES, CULVERTS, OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
- FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF GAS SERVICE TO THIS PROJECT.
- CONTACT CRAIG HANSEN, (435) 674-6144, AT LEAST TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
- IMPORTANT NOTICE: GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED, STREETS ARE WITHIN 6 INCHES OF SUB-GRADE, AND THE 10 FOOT UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.
- HIGH PRESSURE GAS NOTE:
IF HIGH PRESSURE GAS LINES ARE LOCATED IN OR NEAR YOUR DIGGING AREA, BEFORE DIGGING PLEASE CALL: BRYAN WARD ☎ (435) 599-6547.

TDS BROADBAND NOTES

- THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITH IN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
- TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST THREE WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
- ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARD DAVID TRAUTVEIN WITH TDS AT 435-703-8932.
- RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
- ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

WASHINGTON COUNTY WATER CONSERVANCY DISTRICT NOTES:

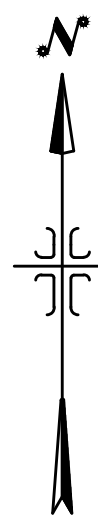
- WASHINGTON COUNTY WATER CONSERVANCY DISTRICT HEREBY ACKNOWLEDGES THAT BASED ON THE INFORMATION PROVIDED, THE PLANS ADEQUATELY MITIGATE INTERFERENCE WITH DISTRICT FACILITIES AND PROPERTY INTERESTS. THE DISTRICT RESERVES THE RIGHT TO REScind THIS ACKNOWLEDGEMENT IF ADDITIONAL INFORMATION BECOMES AVAILABLE.
- THE DISTRICT HAS NOT DETERMINED WHETHER WATER WILL BE AVAILABLE FOR THIS DEVELOPMENT AND DOES NOT HEREBY MAKE ANY GUARANTEE OF WATER AVAILABILITY.
- IN ADDITION, THE DEVELOPMENT MUST CONFORM WITH APPLICABLE DISTRICT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO PAYMENT OF FEES.

CORDERO PHASE FOUR PRELIMINARY PLAT HURRICANE, UTAH

JANUARY 2026

-INDEX OF SHEETS-

SHEET	DESCRIPTION
1-1	COVER SHEET AND NOTES
1-2	MASTER PLAN
2-1	PRELIMINARY PLAT SHEET 1
2-2	PRELIMINARY PLAT SHEET 2
2-3	PRELIMINARY UTILITY PLAN
2-4	PRELIMINARY GRADING PLAN
DT-1	TYPICAL STREET CROSS-SECTIONS



VICINITY MAP

-NTS-

PARKS

- ANY LANDSCAPING, INCLUDING STREET LANDSCAPING STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

INFOWEST, CATV/FIBER OPTIC NOTES

- DEVELOPER TO PROVIDE ALL REQUIRED TRENCHING WITHIN THE PROJECT.
- ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER
- INFOWEST WILL PROVIDE ALL CONDUIT. CALL 435-272-3559 OR EMAIL JUC@infowest.com FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH.
- FOR COMMERCIAL PROJECTS WITH AN MDF/COMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF THE BUILDING.
- ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLAY, 435-272-3559 OR JUC@infowest.com
- RELOCATION OF NEW OR EXISTING INFOWEST FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COST FOR THE WORK DONE.

CENTURYLINK NOTES

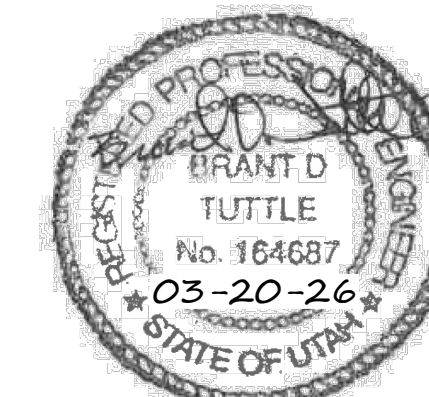
- CENTURYLINK WILL PROVIDE ALL 2" AND 4" PVC AND DELIVER IT TO THE SITE. PLEASE CALL 1-435-632-6553 TO SCHEDULE DELIVERY.
- CENTURYLINK TO PLACE CONDUIT IN POWER TRENCH.
- THE DEVELOPER IS TO PROVIDE ALL STREET NAMES AND LOT ADDRESSES WITHIN TWO WEEKS OF UTILITY PLAN APPROVAL.
- FAILURE TO COMPLY WITH THE ABOVE NOTES COULD RESULT IN DELAY OF SERVICE TO THE PROJECT. CONTACT TELCO ENGINEER WITH QUESTIONS 1-435-673-9639.
- ANY QUESTIONS: CONTACT ZACH MATHEWS ☎ 435-673-9639.

POWER NOTES

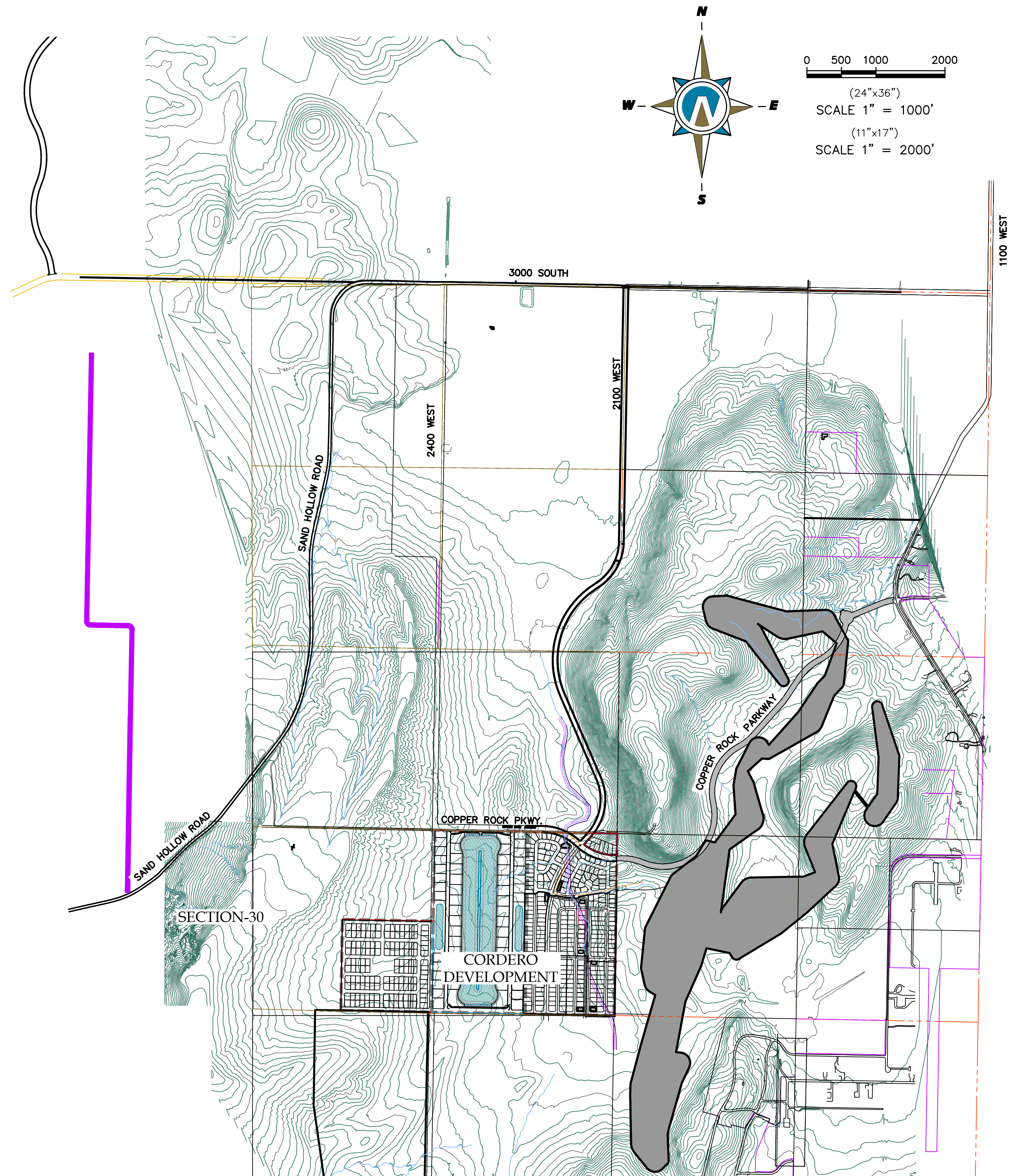
- DEVELOPER RESPONSIBLE FOR ALL COST, UNLESS OTHERWISE STATED ON PRINT.
- ONLY A PRE-APPROVED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
- LINE ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
- PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. 435-635-5536.
- EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
- NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
- ALL CONDUITS TO BE FOAMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
- ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
- THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH.
- IMPACT FEES TO BE COLLECTED BY BUILDING DEPT. IMPACT FEES TO BE CHARGED PER METER/INDIVIDUAL BREAKER SIZE. CONTACT HURRICANE POWER REGARDING QUESTIONS ON THIS.
- METERS SHALL NOT BE LOCATED IN FENCED IN AREAS. METERS SHALL BE KEPT ACCESSIBLE AT ALL TIMES.
- DEVELOPER WILL BE BILLED IN TERMINATION FEE \$102.00 DOLLARS PER PRIMARY ELBOW TERMINATIONS.
- CEMENT BASEMENTS, THREE PHASE TRANSFORMER PADS AND STREETLIGHT BASES TO BE PRE-CAST ONLY. TO BE SUPPLIED BY APPROVED VENDORS ONLY.
- HURRICANE CITY POWER WILL NEED TO KNOW MAIN PANEL SIZE AND SERVICE VOLTAGE NEED IN ORDER TO DETERMINE TRANSFORMER SIZE AND IMPACT FEES BEFORE PROJECT STARTS.
- SIZE OF ACCEPTABLE CONDUITS FROM THE TRANSFORMER TO METER PANELS IS 3" OR 4" PVC. YOU MAY NEED MULTIPLE RUNS OF CONDUIT FROM THE TRANSFORMER TO THE PANEL. QUALITY NEEDED TO BE DETERMINED BY ELECTRICIAN. SIZE OF ACCEPTABLE WIRE IS 350 OR 500 ALUMINUM.
- HURRICANE POWER HAS CHANGED OUR STREETLIGHTS SPEC. TO LED'S SEE HURRICANE POWER FOR NEW SPEC (DECORATIVE AND 25' FOR THIS PROJECT (BLACK))
- THE RUNNING LINE FOR GAS AND POWER NEEDS TO BE ON THE OPPOSITE SIDE OF THE ROAD FROM ONE ANOTHER.
- POWER IS DEPENDENT ON CORDERO PHASE 1 AND PHASE 2 POWER INFRASTRUCTURE.
- A LEVEL DIRT PAD SHALL BE AROUND ALL ELECTRICAL EQUIPMENT AT SIDEWALK HEIGHT FOR AT LEAST 5' AROUND EQUIPMENT.

HURRICANE CITY APPROVAL

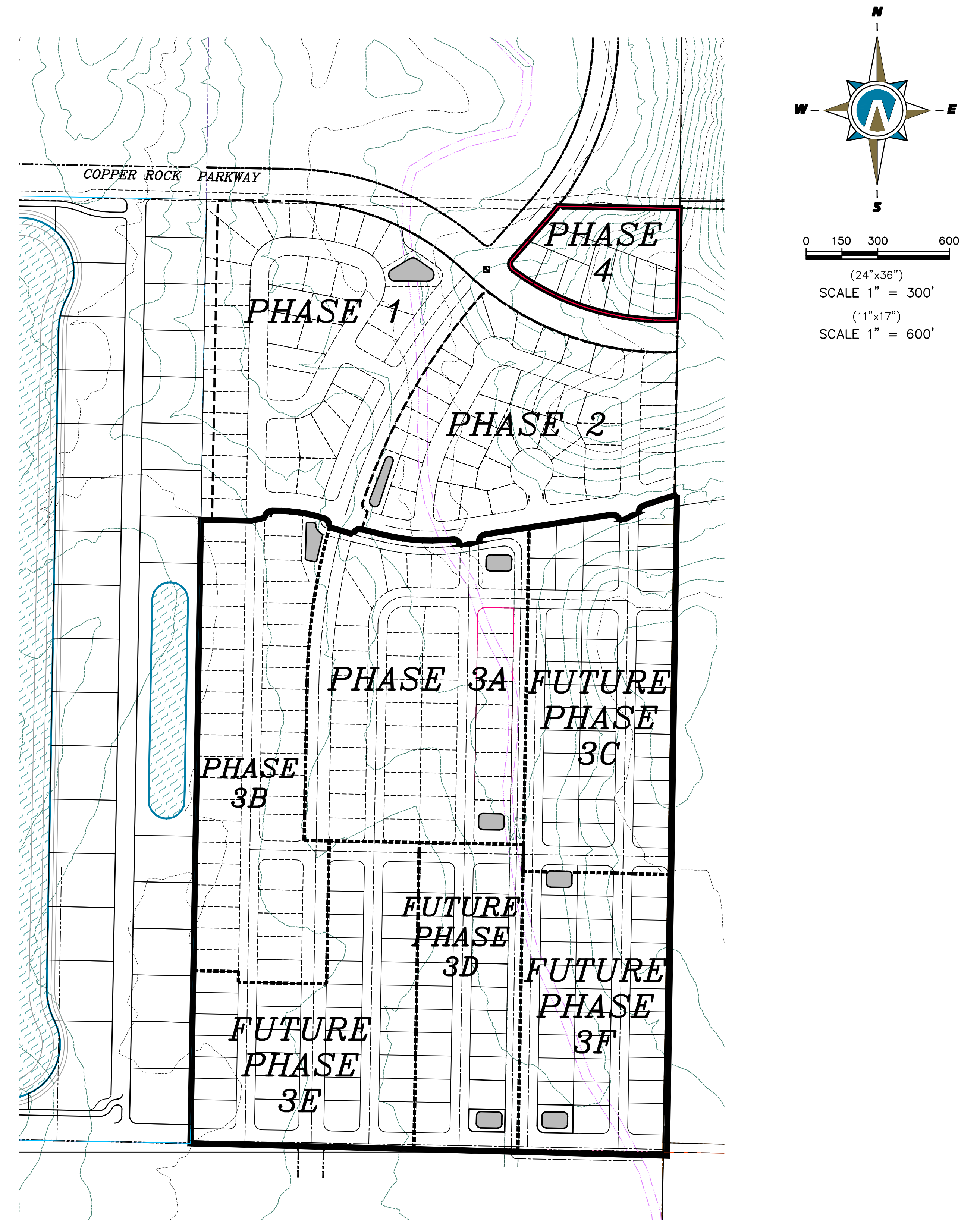
INFOWEST	DATE
WCWCD	DATE
STREETS DEPARTMENT	DATE
ASH CREEK SEWER DISTRICT	DATE
WATER DEPARTMENT	DATE
CENTURYLINK	DATE
DOMINION ENERGY	DATE
PLANNING DEPARTMENT	DATE
HURRICANE POWER DEPARTMENT	DATE
FIRE DEPARTMENT	DATE
PARKS DEPARTMENT	DATE
TDS TELECOM	DATE
PUBLIC WORKS DEPARTMENT	DATE
CITY ENGINEER	DATE



 Northern ENGINEERING INC ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT	1040 E. 800 N. OREM, UTAH 84097 (801) 802-8992	JOB NO. 3-16-052
		SHEET NO. 1-1



VICINITY PLAN



MASTER PLAN

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
	REV. COGO FILE:		DATE:



Northern
ENGINEERING INC
 ENGINEERING—LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

CORDERO PHASE FOUR
SUBDIVISION

MASTER PLAN

JOB NO.
03-16-052

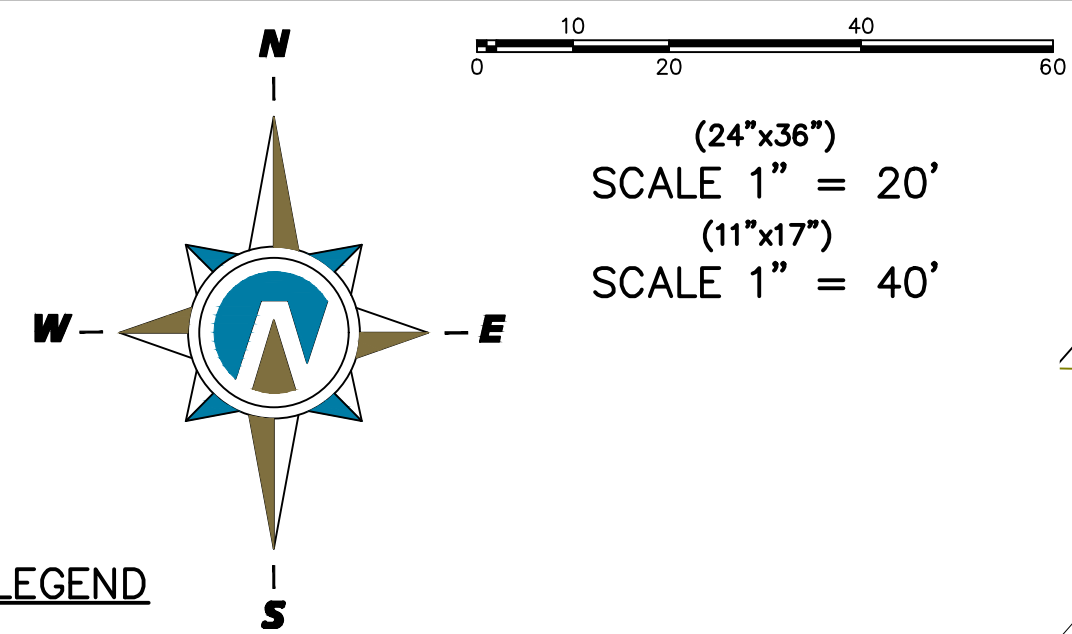
HURRICANE, UTAH

SHEET NO.
1-2

PRELIMINARY PLAT CORDERO PHASE FOUR SUBDIVISION

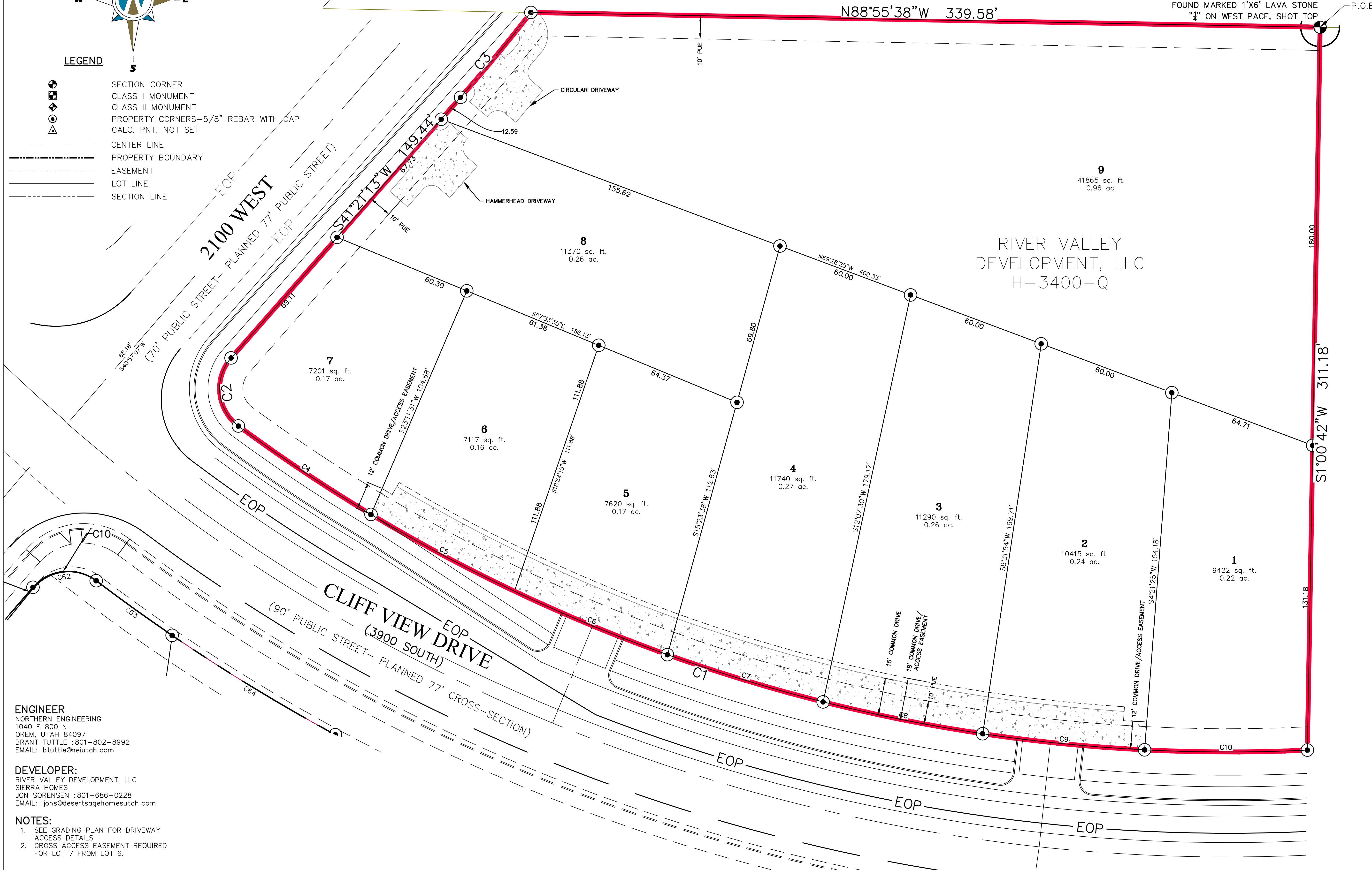
PROJECT LOCATED IN WASHINGTON COUNTY, UTAH
SECTIONS 29 T 42 S R 13 W SLB&M

EAST QUARTER CORNER
OF SECTION 29,
T 42 S, R 13 W, SLB&M
FOUND MARKED 1"x6" LAVA STONE
"¼" ON WEST PACE, SHOT TOP



LEGEND

- SECTION CORNER
- CLASS I MONUMENT
- CLASS II MONUMENT
- PROPERTY CORNERS—5/8" REBAR WITH CAP
- CALC. PNT. NOT SET
- CENTER LINE
- PROPERTY BOUNDARY
- EASEMENT
- LOT LINE
- SECTION LINE



ENGINEER
NORTHERN ENGINEERING
1040 E 800 N
OREM, UTAH 84097
BRANT TUTTLE : 801-802-8992
EMAIL: btuttle@neutah.com

DEVELOPER:
RIVER VALLEY DEVELOPMENT, LLC
SIERRA HOMES
JON SORENSEN : 801-686-0228
EMAIL: jons@desertsagehomesutah.com

NOTES:
1. SEE GRADING PLAN FOR DRIVEWAY ACCESS DETAILS
2. CROSS ACCESS EASEMENT REQUIRED FOR LOT 7 FROM LOT 6.

REVISIONS	DATE	BY	APP.

Northern ENGINEERING INC
ENGINEERING—LAND PLANNING
CONSTRUCTION MANAGEMENT
1040 EAST 800 NORTH
OREM, UTAH 84097
801.802.8992
fax: 801.802.8993

PRELIMINARY PLAT FOR CORDERO PHASE FOUR SUBDIVISION

PROJECT LOCATED IN WASHINGTON COUNTY, UTAH
IN SECTION 29 T 42 S R 13 W SLB&M

DATE:	01/21/26
SCALE:	1" = 20'
JOB NO.:	3-16-052
DESIGNED BY:	KEB
DRAWN BY:	KEB
SHEET NAME:	FP-01
SHEET	2-1

PRELIMINARY PLAT
CORDERO PHASE FOUR SUBDIVISION
 PROJECT LOCATED IN WASHINGTON COUNTY, UTAH
 SECTIONS 29 T 42 S R 13 W SLB&M

PARCEL BOUNDARY DESCRIPTION

PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 SOUTH, RANGE 13 WEST, S.L.B.&M., HURRICANE, UTAH MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND MARKED STONE MARKING THE EAST QUARTER CORNER OF SAID SECTION 29; SAID SECTION CORNER BEING THE REAL POINT OF BEGINNING.

THENCE S.01°00'42"W. 311.18 FEET ALONG THE SECTION LINE TO A POINT ON THE NORTHERLY RIGHT OF WAY OF CLIFF VIEW DRIVE, SAID POINT ALSO BEING A POINT OF CURVATURE OF A 717.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 490.10 FEET ALONG SAID RIGHT OF WAY, SAID CURVE HAVING A RADIAL BEARING OF N.02°42'20"W. A CENTRAL ANGLE OF 39°09'50" AND A CHORD THAT BEARS N.73°07'35"W. A DISTANCE OF 480.61 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS TANGENT COMPOUND CURVE TO THE RIGHT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 33.13 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 94°53'53" AND A CHORD THAT BEARS N.06°05'44"W. A DISTANCE OF 29.47 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF 2100 WEST STREET; THENCE N.41°21'13"E. A DISTANCE OF 149.44 FEET ALONG SAID RIGHT OF WAY TO A POINT OF CURVATURE OF A 797.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 47.41 FEET ALONG SAID RIGHT OF WAY, SAID CURVE HAVING A CENTRAL ANGLE OF 03°24'32" AND A CHORD THAT BEARS N.39°38'57"E. A DISTANCE OF 47.41 FEET TO A POINT ON THE QUARTER SECTION LINE OF SAID SECTION 29; THENCE S.88°55'38"E. A DISTANCE OF 339.58 FEET ALONG THE QUARTER SECTION LINE OF SAID SECTION 29 TO THE POINT OF BEGINNING.
 CONTAINING 2.71 ACRES.

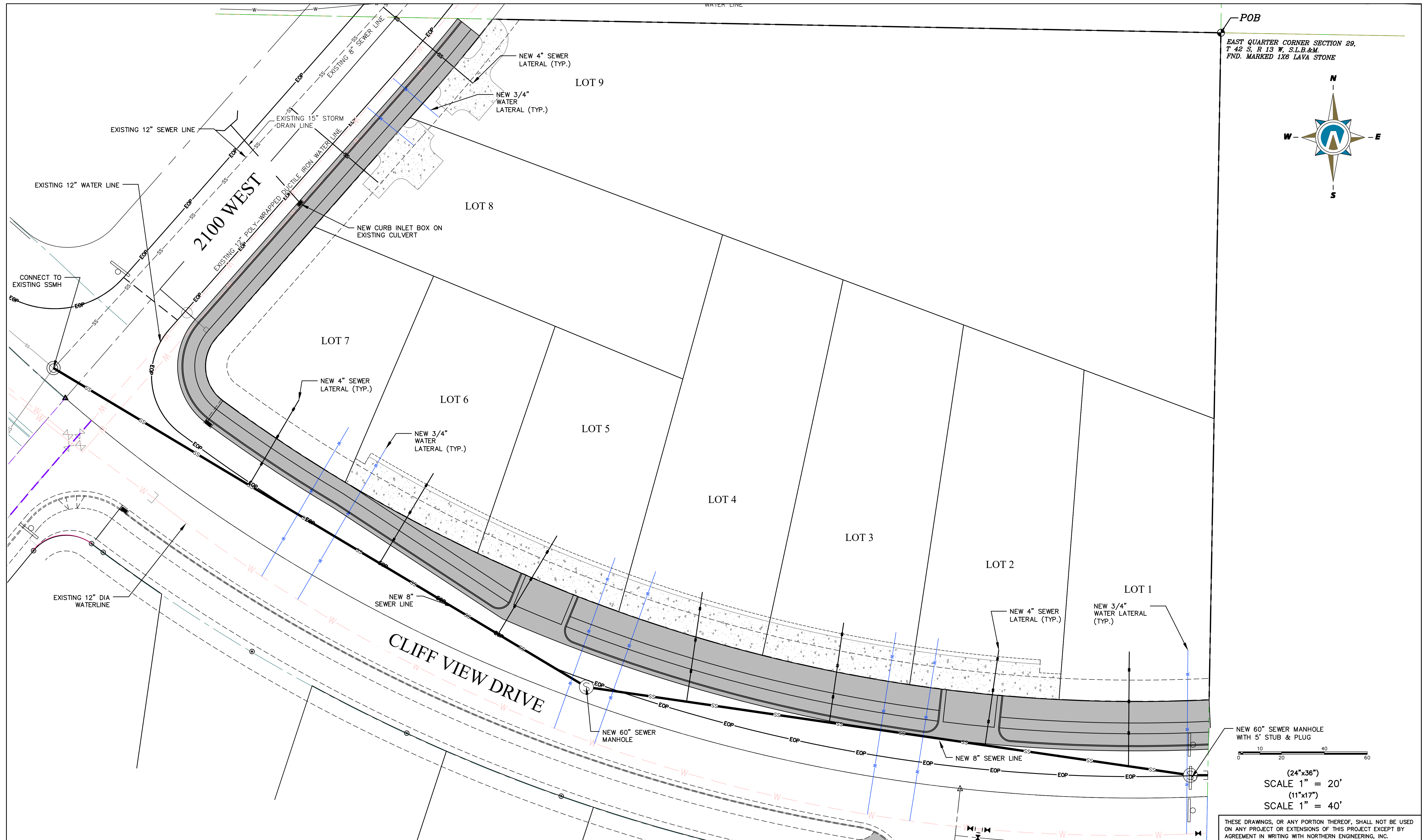
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	490.10'	717.00'	480.61'	S73°07'35"E	39°09'50"
C2	33.13'	20.00'	29.47'	N6°05'44"W	94°53'53"
C3	47.42'	797.00'	47.41'	S39°38'57"W	3°24'32"
C4	68.60'	717.00'	3341.99'	S56°17'08"E	5°28'56"
C5	70.03'	717.00'	3342.02'	S61°49'29"E	5°35'45"
C6	71.32'	717.00'	71.29'	S67°28'20"E	5°41'56"
C7	70.03'	717.00'	70.00'	S73°07'11"E	5°35'45"
C8	70.03'	717.00'	70.00'	S78°42'56"E	5°35'45"
C9	70.03'	717.00'	70.00'	S84°18'42"E	5°35'45"
C10	70.03'	717.00'	70.00'	S89°54'27"E	5°35'45"

REVISIONS	DATE	BY	APP.

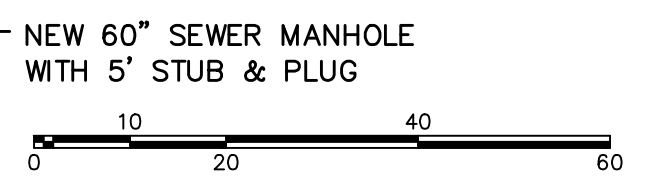
Northern
ENGINEERING INC
 ENGINEERING—LAND PLANNING
 CONSTRUCTION MANAGEMENT
 1040 EAST 800 NORTH
 OREM, UTAH 84097
 801.802.8992
 fax: 801.802.8993

PRELIMINARY PLAT
CORDERO PHASE FOUR SUBDIVISION
 PROJECT LOCATED IN WASHINGTON COUNTY, UTAH
 IN SECTION 29 T 42 S R 13 W SLB&M

DATE:	01/05/26
SCALE:	1" = 20'
JOB NO.:	3-16-052
DESIGNED BY:	KEB
DRAWN BY:	KEB
SHEET NAME:	FP-02
SHEET	2 - 2



EAST QUARTER CORNER SECTION 29,
T 42 S, R 13 W, S.L.B.&M.
FND. MARKED 1X6 LAVA STONE



(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

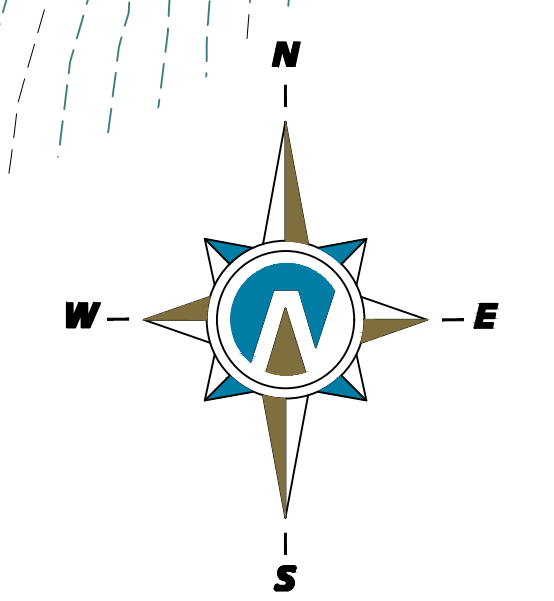
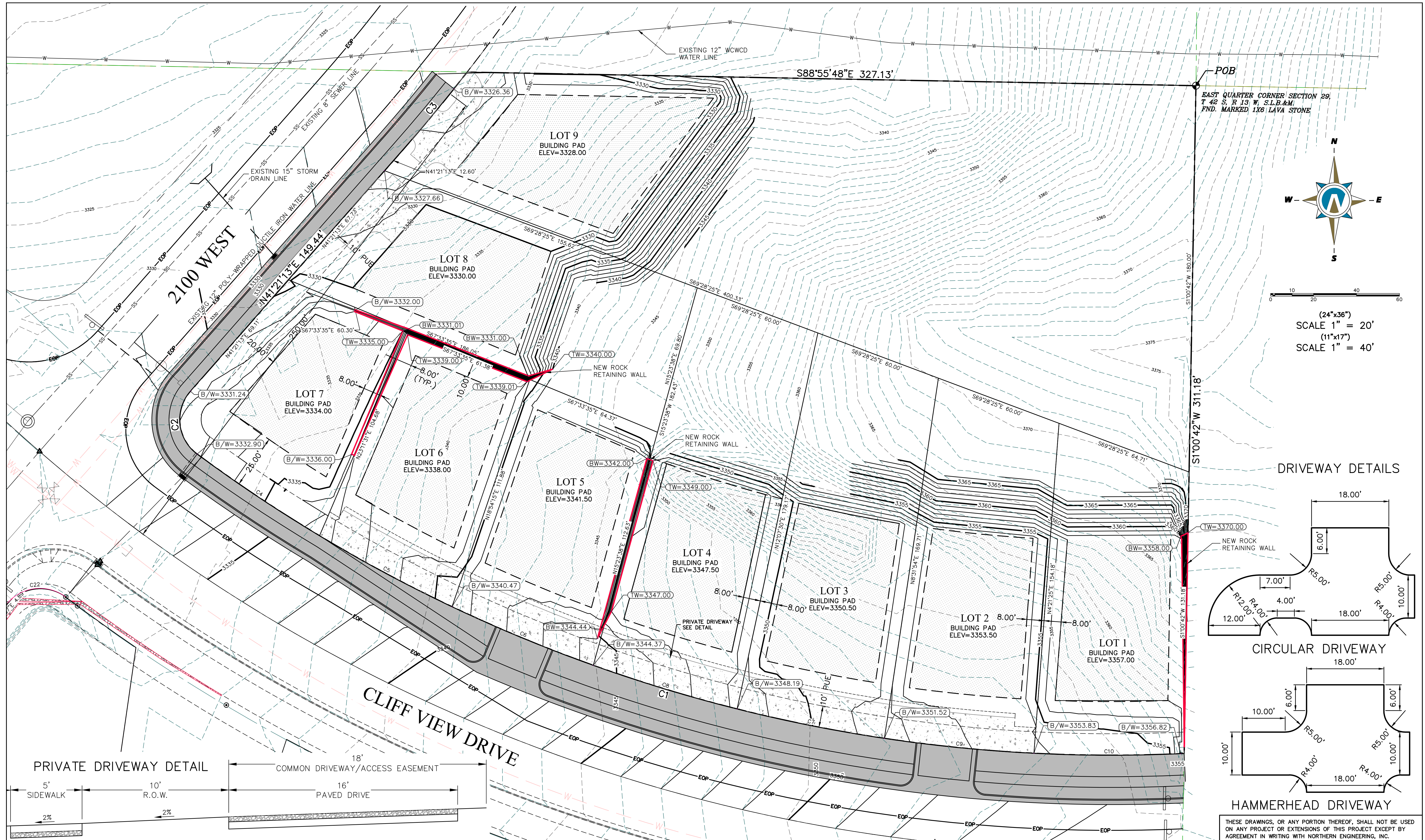
5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

Northern ENGINEERING INC
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

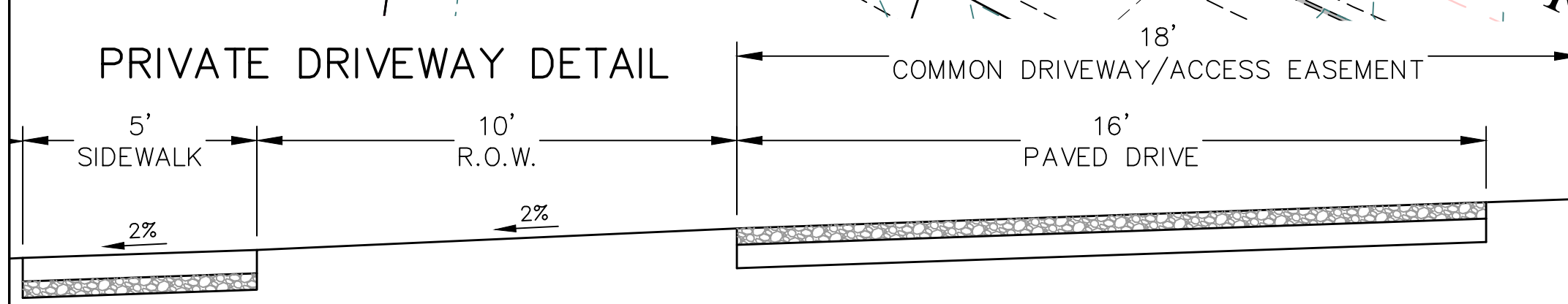
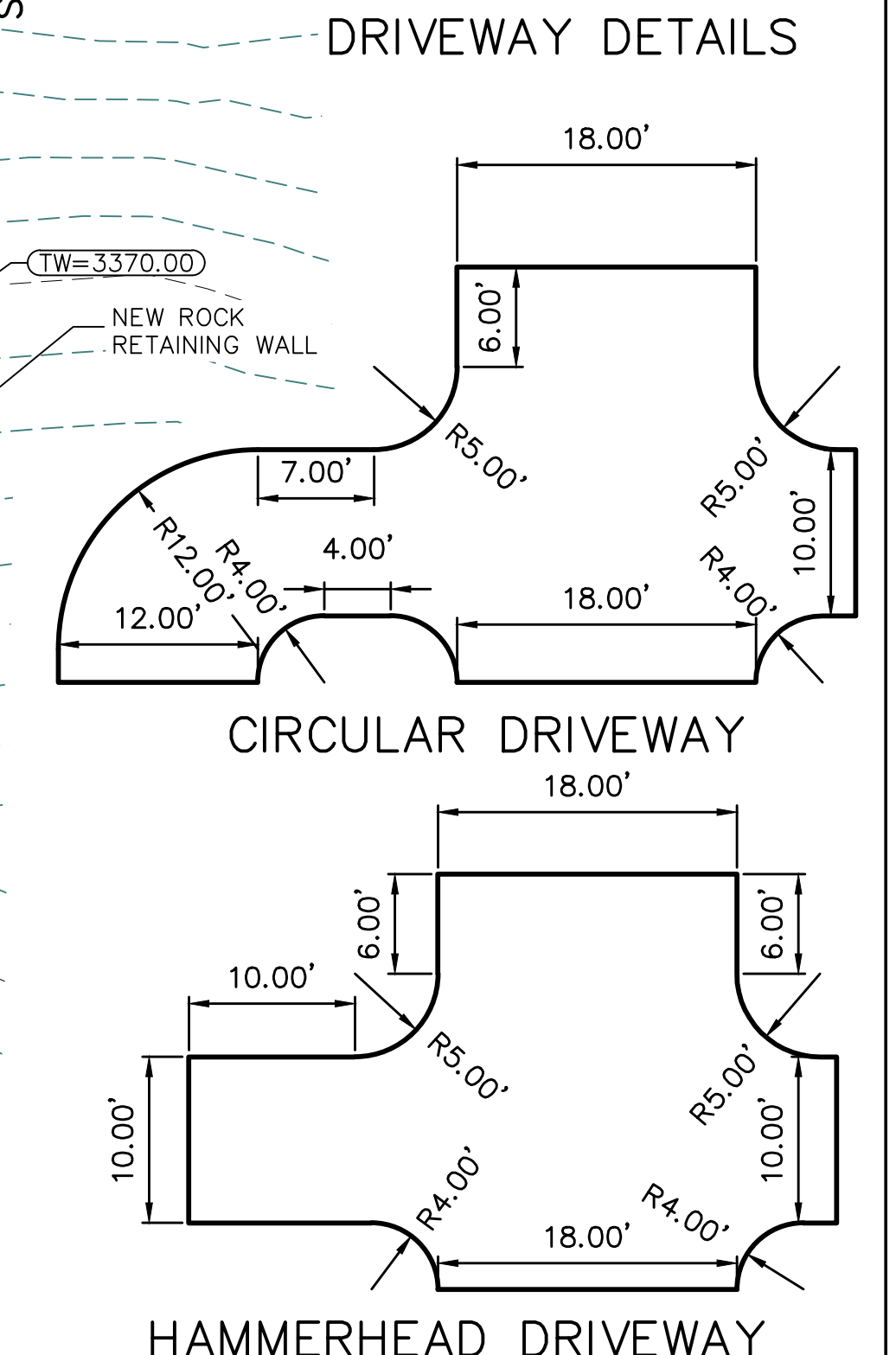
1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

**CORDERO PHASE FOUR
SUBDIVISION**

PRELIMINARY UTILITY PLAN	JOB NO. 3-16-052
HURRICANE, UTAH	SHEET NO. 2-3



(24"x36")
 SCALE 1" = 20'
 (11"x17")
 SCALE 1" = 40'



THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

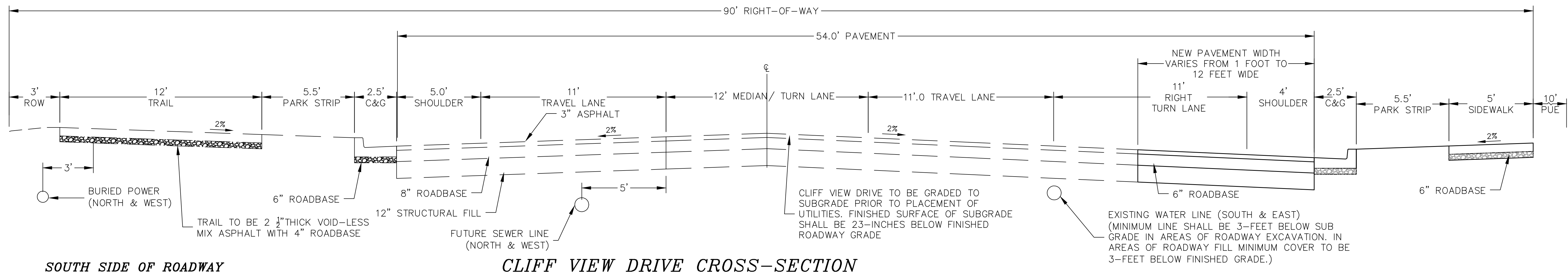
5		DESIGNED BY:		DATE:	
4		DRAWN BY:		DATE:	
3		CHECKED BY:		DATE:	
2		APPROVED:		DATE:	
1		COGO FILE:		DATE:	
NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:

Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

**CORDERO PHASE FOUR
 SUBDIVISION**

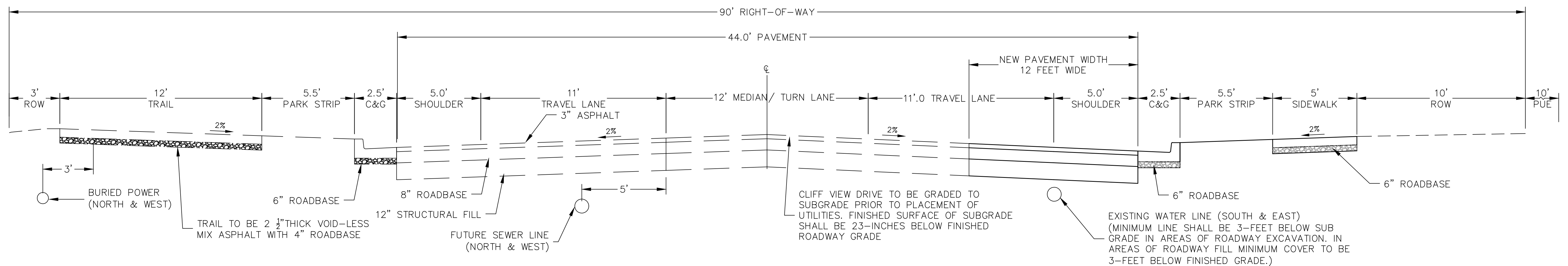
PRELIMINARY GRADING PLAN	JOB NO. 3-16-052
HURRICANE, UTAH	SHEET NO. 2-4



SOUTH SIDE OF ROADWAY

CLIFF VIEW DRIVE CROSS-SECTION

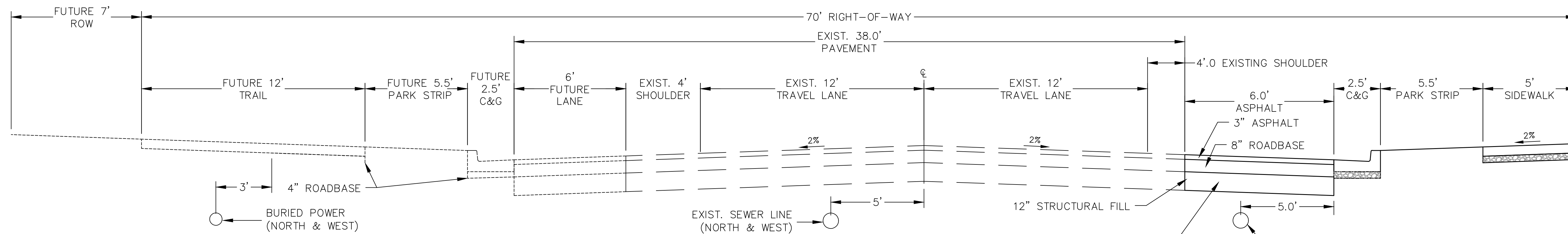
• FROM 2100 W TO 230 FEET EAST OF INTERSECTION



SOUTH SIDE OF ROADWAY

CLIFF VIEW DRIVE CROSS-SECTION

230 FEET EAST OF 2100W INTERSECTION TO EAST SIDE OF CORDERO PHASE 2



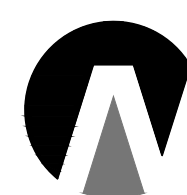
WEST SIDE OF ROADWAY

2100 WEST CROSS-SECTION

• FROM CLIFF VIEW DRIVE TO NORTH PROPERTY LINE

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:



Northern ENGINEERING INC
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

CORDERO PHASE FOUR SUBDIVISION

ROAD CROSS-SECTIONS

HURRICANE, UTAH

JOB NO.
03-16-052

SHEET NO.
DT-1



STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	ZC26-05
Type of Application:	Zone Change
Action Type:	Legislative
Applicant:	Samantha Hinton
Agent:	N/A
Request:	Approval of a Zone Change from RA-1 to R1-10.
Location:	630 S 60 E
Zoning:	RA-1
General Plan Map:	Single Family
Recommendation:	Recommend approval to the City Council.
Report Prepared by:	Fred Resch III

Discussion:

The applicant requests a zone change from Residential Agricultural RA-1 to Single Family Residential R1-10 for a 0.522-acre portion of the larger 8.36 acre parcel located at the south end of Main Street. The applicant has stated their intention after rezoning is to split off the smaller piece from the larger parcel for the purpose of building one single-family home on the new lot.

	Zoning	Adjacent Land Use
North	R1-10	Single Family Homes
East	RA-1, OS	Agriculture, Hurricane Cliffs
South	RA-1, R1-10	Single Family Homes, some agriculture
West	R1-10	Single Family Homes



Vicinity Map

Zone changes on any parcel of land within the City of Hurricane requires consideration of the following factors pursuant to Title 10 – Hurricane City Land Use Ordinance, Section 10-7-7 (cited below):

10-7-7: ZONING MAP AND TEXT AMENDMENTS:

E. Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the City Council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:

- 1. Whether the proposed amendment is consistent with goals, objectives and policies of the City's general plan;*
- 2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
- 3. The extent to which the proposed amendment may adversely affect adjacent property; and*
- 4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

Analysis:

1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?

Response: The General Plan Map shows this area as Single Family, which intends that,

“...uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.”

The proposed single-family R1-10 zoning is consistent with the “Single Family” general plan designation of the area. The site is located within an already developed area, with community uses such as churches and parks nearby. Although the property is currently used for agricultural purposes, something that the General Plan generally supports preserving, it is not designated for long term agricultural use. The General Plan also supports development that is consistent with surrounding land uses, and this proposal meets that consistency requirement.

2. Is the proposed amendment harmonious with the overall character of existing development in the subject property’s vicinity?

Response: Development in the area is zoned and developed similarly. The amendment is considered harmonious with development in the surrounding area.

3. Will the proposed amendment adversely affect the adjacent property?

Response: The applicant’s proposal would not result in the creation of more than one additional lot after a future lot split. As such, the potential to adversely affect neighboring properties is limited, and the proposed density is consistent with that prescribed by the General Plan.

4. Are public facilities and services adequate to serve the subject property?

Response: See JUC comments below. There are no concerns with the adequacy of public facilities to serve this property.

JUC Comments:

The following comments will need to be addressed

1. **Public Works:** [No comments received.]
2. **Power:** Zone changes may require extensive off site upgrades. Developer will bear the cost of all upgrades from multiple locations. Please set up a meeting with Hurricane City Power to discuss upgrades and receive a quote.
3. **Sewer:** Approved.
4. **Streets:** Approved.
5. **Water:** Approved.
6. **Engineering:** No comment.
7. **Fire:** Access will need to be addressed
8. **Cable:** Approved.
9. **Phone:** Approved.
10. **Fiber:** Approved.
11. **Gas:** Approved.
12. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional

information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments:

1. Main Street is not a master planned road past the current end of the street. Accommodations will need to be made for turnarounds for fire.
2. The applicant is requesting a rezone for 0.522 acres. While a parcel of this size could typically accommodate two 10,000-square-foot lots, but there is insufficient width to create an additional conforming lot, because the proposed lot width of 85 feet would not allow for further subdivision, since the minimum lot width is 80 feet. The creation of a flag lot is also precluded, since it would require a 26-foot-wide access staff.

Findings:

Staff makes the following findings:

1. The application complies with the standards within the General Plan and General Plan Map.
2. Most of the surrounding development is similar to what is proposed.
3. The proposed amendment will not adversely impact the area.
4. Services are anticipated to be adequate to serve the area and proposed project.

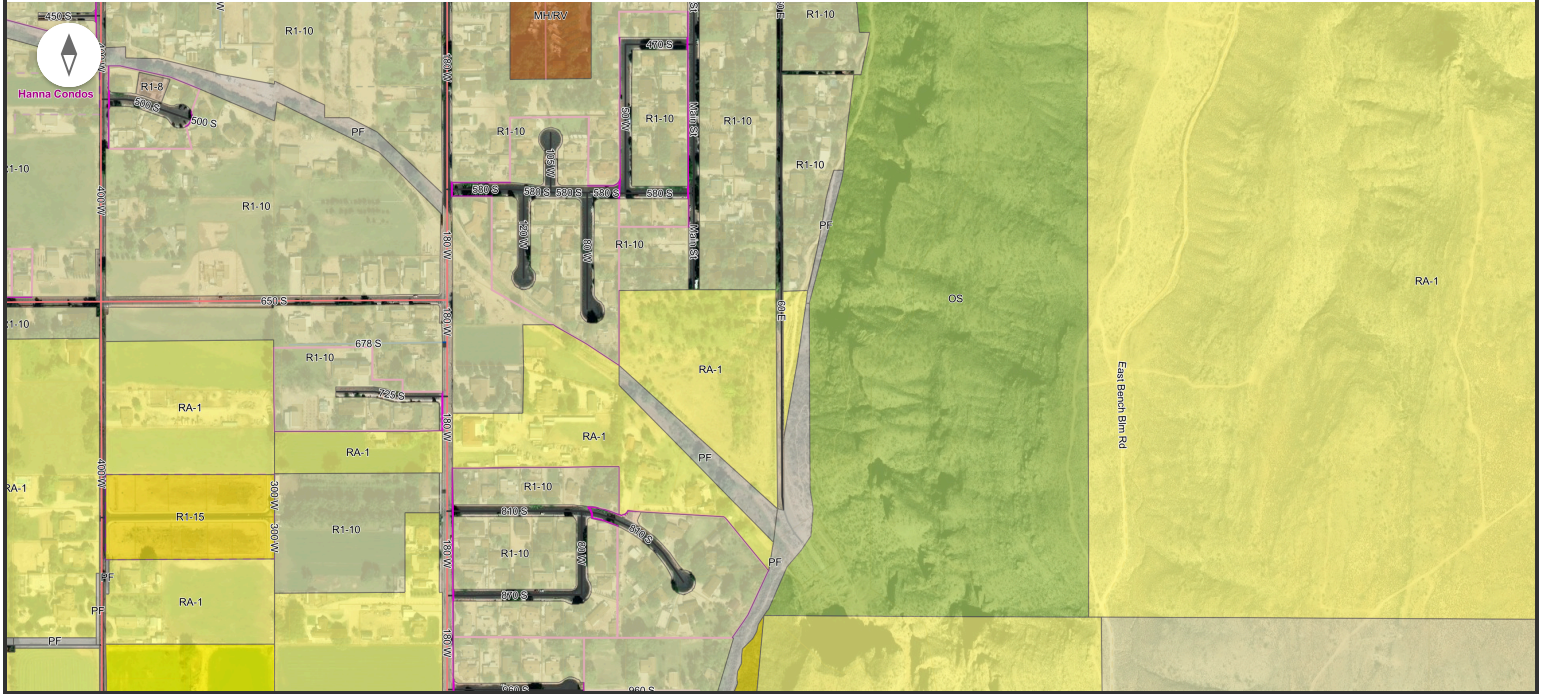
Recommendation: The Planning Commission should review this application based upon standards within the Hurricane City Code, and consider any comments received at the public hearing. Staff recommends that the Planning Commission send a recommendation of approval to the City Council subject to staff and JUC comments.

Narrative:

Currently we have a little over 8 acres of land in an RA-1 zone. We'd like to create 1 parcel without giving up too much agricultural land, so closer to a ½ acre parcel or less instead of the current zone of 1-acre parcels for single family homes. The surrounding subdivisions and parcels are in R1-10 zones, so that seemed like the proper zone to request, giving us more flexibility with the Lot width. The parcel is deep, so creating an easement at the front of it to allow for the fire trucks to turn around would hopefully satisfy any turnaround requirements regarding emergency vehicles. The total distance from 580 South to the extended length of Main Street would be less than 600 feet.



South Main Street



Vantor

R1-10

OBJECTID	30777
Zoning Classification	R1-10
Planning Commission Date	
City Council Date	4/3/08, 6:00 PM
Former Zone Code	
Acres	9.003622
Notes	
Last Update Date	
Last Editor	
Parcle ID	
globalid	8cab1047-a71e-4395-b4fd-40d3411daa7d
st_area(shape)	57481.896050
st_length(shape)	1703.217077

City of Hurricane

objectid	1
name	City of Hurricane
munityp	City
muniaarea	53.366450
localfips	37170
lastupdate	6/20/17, 1:00 AM
lasteditor	34154.0897707769
globalid	a02b4dae-1582-4659-8088-c515636c746e
globalid_1	23622637-0b6a-4891-a004-f44a01084fd4
created_user	HC_GISFIELD
created_date	1/8/26, 10:07 AM
last_edited_user	HC_GISFIELD
last_edited_date	1/8/26, 10:07 AM
SHAPE__Area	1487862574.135742
SHAPE__Length	281609.595668

Last edited by HC_GISFIELD on 1/8/2026, 10:07 AM.

OBJECTID	2297
Acessor ID	75955
House Num	680 S
Unit Num	
Full Address	680 S 180 W
Alt Address	
Community	HURRICANE
Zip Code	84737
Owner Type	Privately Owned
Sub Name	
Sub Phase	
Lot Text	
Zoning Class	R1-10
Stated Area	0.656388370097861
Description	
Parcel ID	H-3-2-3-1214
Dedicated	0.000000
Subdivision Code	
globalid	14a45fe7-08cb-4935-8fca-703e34bcc46b
General Plan	
created_user	HC_GISFIELD
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last_edited_date	2/10/26, 1:23 PM
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Lot Number	

Last edited by HC_GISFIELD on 2/10/2026, 1:23 PM.



STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	CUP26-11
Type of Application:	Conditional Use Permit
Action Type:	Administrative
Applicant:	WPP Hurricane LLC
Agent:	Wade Edwards
Request:	Approval of a conditional use permit for buildings of greater height.
Location:	920 S 1250 W
Zoning:	R1-10 (PDO)
General Plan Map:	Planned Community
Recommendation:	Pending
Report Prepared by:	Fred Resch III

Discussion: The applicant proposes to develop the Brinley Apartments (formerly named Black Ridge Apartments) that received preliminary site plan approval in January 2026. They are proposing that four of their buildings be four stories with at a height of 43 feet. Hurricane City Code (HCC) 10-13-4 allows the maximum height of a building to be 35 feet tall. The code also allows a property owner to apply for a conditional use permit to build a taller building in a residential zone. The standards to obtain a conditional use permit to allow taller building heights are as follows:

10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:

1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.

2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:

[Section E2e applies to this application.]

e. Standards for greater heights and size than permitted by this Code:

(1) The height may not be greater than two stories or one and one-half times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.

(2) A greater height conditional use permit may not be issued for a flag lot if the proposed structure is higher than the average height of all residential structures within a 300-foot radius of the proposed structure.

- (3) *A greater height accessory building must be set back a minimum of five feet from side and rear property lines when the adjoining property is zoned or used for single family residential use.*
- (4) *In no event shall a building exceed 55 feet in height.*

The applicant has provided building elevations and a site plan for the proposed apartment buildings, as well as renderings of how the buildings would look from street view. The applicant has also provided site plans showing how the units will be set back from planned single family developments in the area.

Findings:

1. The applicant's plans show several of the new buildings proposed to be 43 feet in height with others being 20 and 30.5 feet in height. And because some of the buildings exceed two stories in height, they cannot exceed 1.5 times the height of the immediately adjacent buildings. The plans show two- and three-story buildings to the north, east, and south of the proposed 43-foot buildings. There are various combinations of calculating the average heights of these adjacent buildings that could be considered. Using a liberal interpretation of the average building heights, the maximum allowable height increase could be up to 45 feet, which would accommodate the proposed 43-foot buildings. A more conservative calculation would only allow a maximum of 38 feet, which would disallow the proposed 43-foot buildings. Due to the topographical characteristics of the site and the proposed massing of the project, which would set the taller buildings lower on the site and screen them behind the other buildings, staff would support the less restrictive calculation and allow a maximum building height of 43 feet as shown on the project plans.
2. It must also be noted that the "immediately adjacent buildings," as required by the code, do not yet exist. To ensure compliance with this standard, staff recommends, as a condition of approval, that building permits for one or more of the three-story buildings be issued prior to the issuance of any building permits for the four-story buildings. This is appropriate since the Planning Commission may add reasonable conditions on a conditional use permit pursuant to HCC section 10-7-9(D)(4) and Utah Code 10-20-506(2)(a)(i).
3. The property is not a flag lot.
4. The buildings are planned to be set back 5' from all property lines.
5. One and one-half times the average building heights are below 55 feet. No buildings are proposed to exceed 43 feet in height.

Recommendation: Staff would recommend the Planning Commission consider the standards of the conditional use permit code and whether this application meets those standards. Staff would recommend approval subject to staff comments with the condition described in Finding 2.

Statement of Compliance with Standards for Greater Height

The proposed development is designed to meet the intent and applicable standards for approval of a Conditional Use Permit for greater building height, as outlined in Hurricane City Code.

1. Height compatibility and architectural consistency

The proposed buildings will reach a maximum height of 43 feet and 45 feet. The immediately adjacent multifamily buildings on our site are three stories with a height of 30.5 feet. While the proposed buildings exceed the base height standard, they are designed to maintain architectural compatibility with surrounding development through similar building materials, roof forms, facade articulation, and massing elements consistent with the nearby buildings.

Additionally, the project site slopes downward from 920 S, which significantly reduces the perceived height of the buildings when viewed from surrounding properties and rights-of-way. Due to this grade change, the visual scale of the proposed buildings from the street is comparable to that of a three-story structure, helping maintain neighborhood character and minimizing visual impact.

(2) Surrounding context and site configuration

The property is not a flag lot.

(3) Setbacks and adjacency considerations

The proposed development complies with all required setbacks from side and rear property lines where adjoining properties are zoned or used for single-family residential purposes.

Additional Considerations Supporting the Conditional Use

The increased height allows the development to achieve a more efficient site layout by reducing building footprint coverage and preserving additional open space throughout the project. This design approach supports improved landscaping, pedestrian circulation, and usable outdoor amenities, contributing positively to the overall livability of the site.

The ability to accommodate additional units vertically enables construction efficiencies and economies of scale. These efficiencies support the delivery of high-quality housing at more attainable rental rates, aligning with the City's broader goals of providing diverse and attainable housing options while making efficient use of available land and infrastructure.

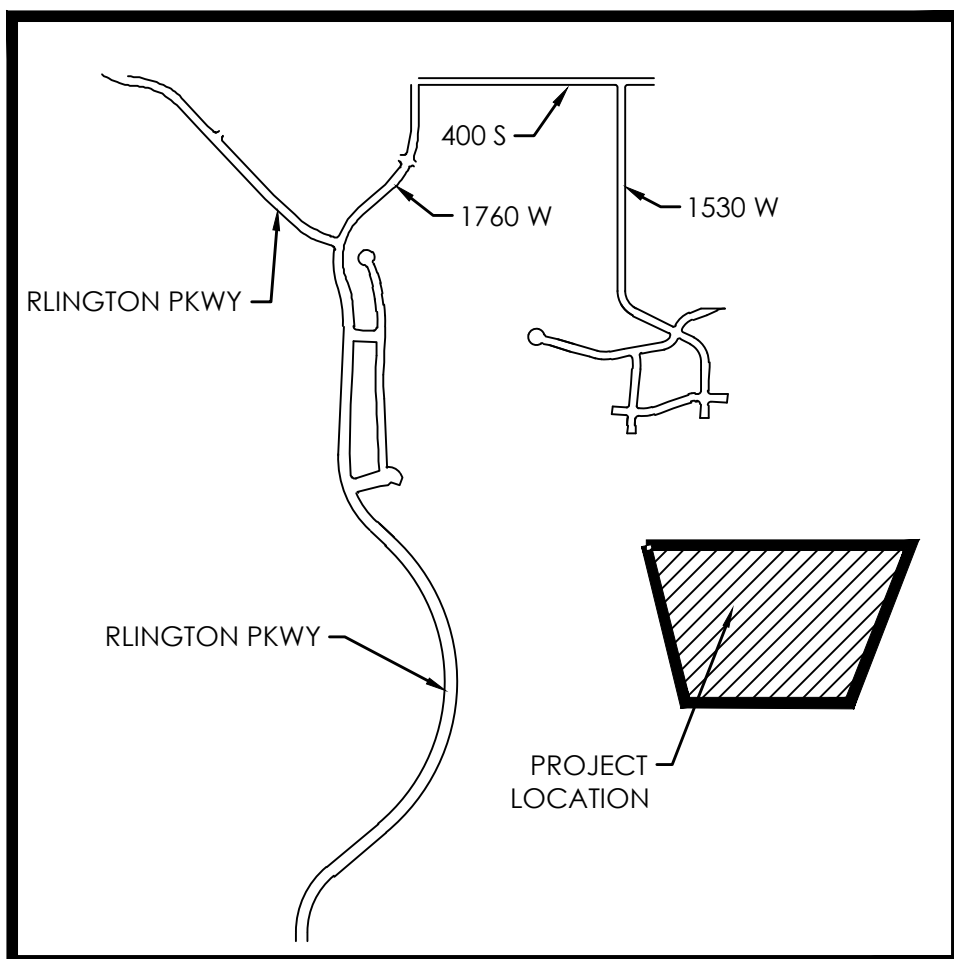
The proposed development meets the intent of the City's height standards by balancing increased height with thoughtful site design, architectural compatibility, reduced visual

impact, and enhanced open space, ensuring the project is consistent with the public health, safety, and welfare of the community.

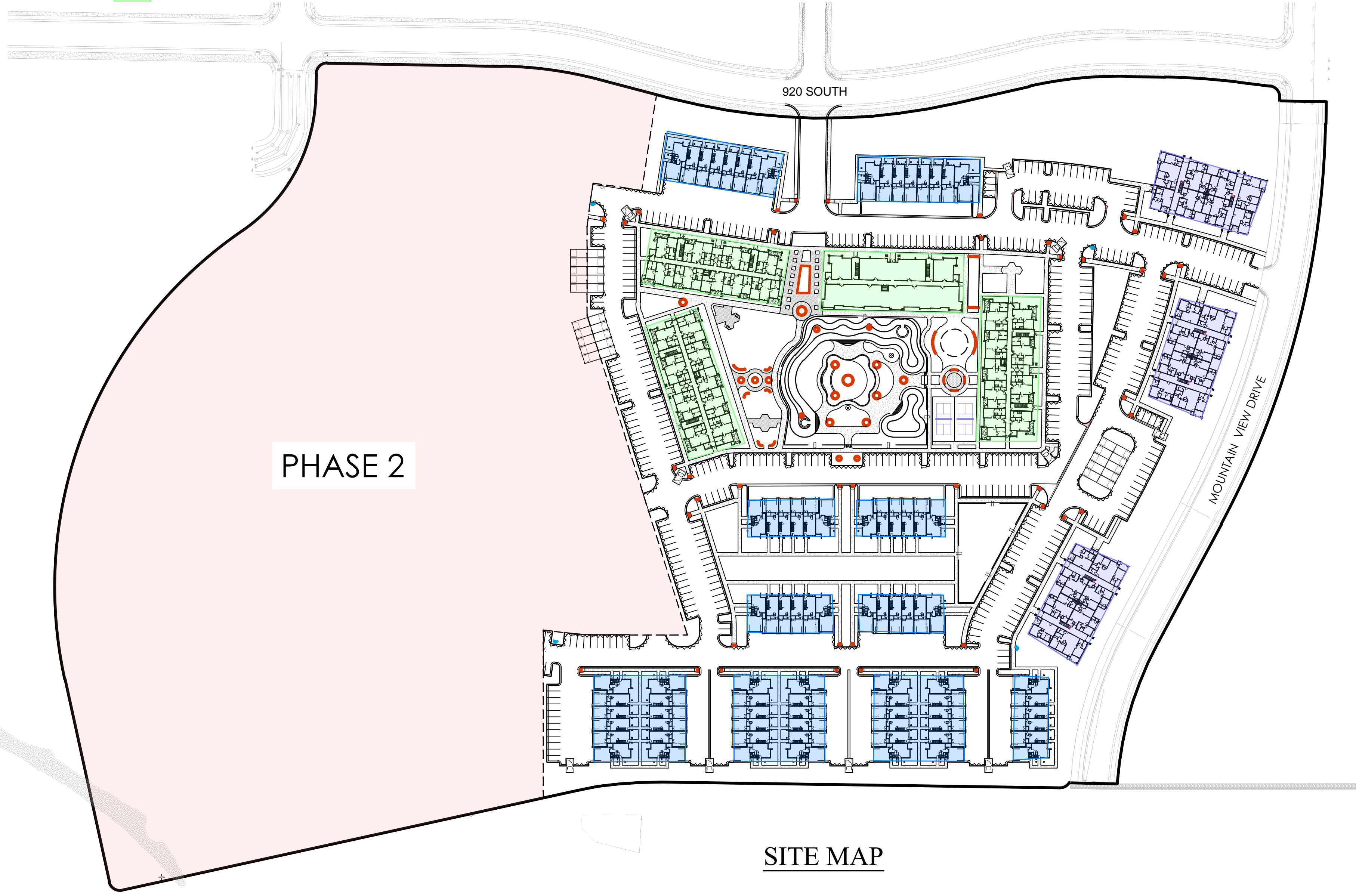
BLACK RIDGE APARTMENTS

PREPARED FOR:
WASATCH COMMERCIAL BUILDERS
 LOCATED IN:
HURRICANE, UT

- 2 Story Townhomes (20 ft)
- 3 Story Buildings (30.5 ft)
- 4 Story Buildings (43 ft)



VICINITY MAP
 NTS



SITE MAP

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C3.0	OVERALL SITE PLAN
C3.1	SITE PLAN
C3.2	SITE PLAN
C3.3	SITE PLAN
C3.4	SITE PLAN
C4.0	OVERALL HARDSCAPE PLAN
C4.1	HARDSCAPE PLAN
C4.2	HARDSCAPE PLAN
C4.3	HARDSCAPE PLAN
C4.4	HARDSCAPE PLAN
C5.0	OVERALL WATER PLAN
C5.1	WATER PLAN
C5.2	WATER PLAN
C5.3	WATER PLAN
C5.4	WATER PLAN
C6.0	OVERALL SEWER PLAN
C6.1	SEWER PLAN
C6.2	SEWER PLAN
C6.3	SEWER PLAN
C6.4	SEWER PLAN
C7.0	OVERALL GRADING & DRAINAGE PLAN
C7.1	GRADING & DRAINAGE PLAN
C7.2	GRADING & DRAINAGE PLAN
C7.3	GRADING & DRAINAGE PLAN
C7.4	GRADING & DRAINAGE PLAN
C8.0	EROSION CONTROL PLAN
C9.0	CUT & FILL MAP
D1.0	DETAILS
D2.0	DETAILS
D3.0	DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L2.0	OVERALL IRRIGATION PLAN
L2.1	IRRIGATION PLAN
L2.2	IRRIGATION PLAN
L2.3	IRRIGATION PLAN
L2.4	IRRIGATION PLAN
L2.5	IRRIGATION DETAILS

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO HURRICANE CITY STANDARD AND APWA PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
 FOCUS ENGINEERING & SURVEYING, LLC
 6949 S. HIGH TECH DRIVE SUITE 200
 MIDVALE, UTAH 84047
 (801) 352-0075
 PROJECT MANAGER: KAITLYN JONES
 SURVEY MANAGER: JUSTIN LUNDBERG

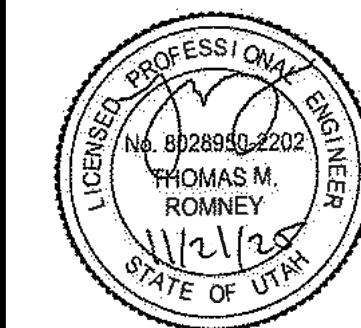
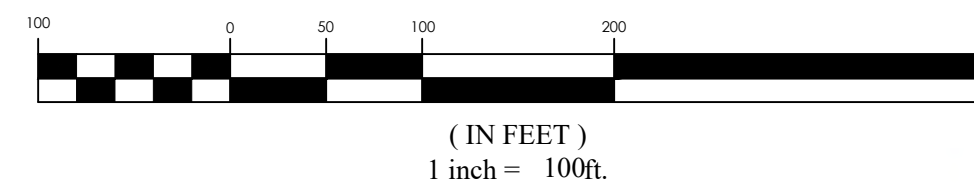
OWNER/DEVELOPER
 WASATCH COMMERCIAL BUILDERS
 1820 WEST PRINTERS ROW
 WEST VALLEY CITY, UTAH 84119
 (801) 961-1002
 CONTACT: AUSTIN OVERMAN

BENCHMARK

SOUTH QUARTER CORNER OF SECTION 33
 TOWNSHIP 41 SOUTH, RANGE 13 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV: 3251.45
 DATUM: NAVD83



GRAPHIC SCALE



BLACK RIDGE APARTMENTS
 HURRICANE, UT
 COVER SHEET

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

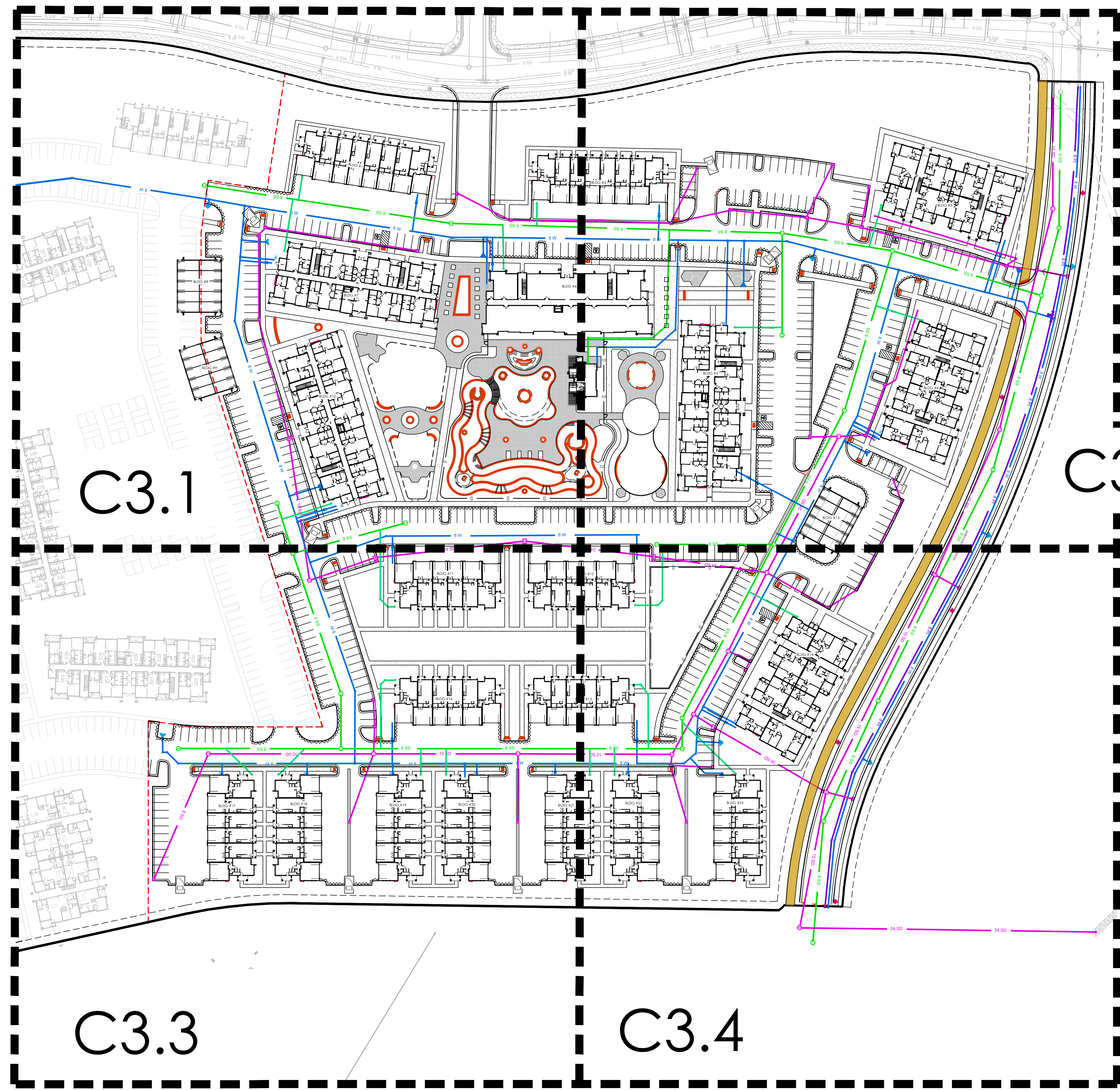
COVER SHEET

Scale: 1"=100' Drawn: MW
 Date: 11/21/25 Job #: 24-0303
 Sheet:

C1.0

FOR REVIEW ONLY

THE BRINLEY AT BLACKRIDGE APARTMENTS
HURRICANE CITY
OVERALL SITE PLAN



LEGEND

--- (solid)	BOUNDARY
--- (dashed)	ROW
--- (dotted)	CENTERLINE
--- (dash-dot)	LOT LINE
--- (long-dash)	FASSETMENT
--- (dotted)	XX' STORM DRAIN
--- (dotted)	XX' SANITARY SEWER
--- (dotted)	XX' CULINARY WATER
--- (dotted)	XX' PRESSURE IRRIGATION
--- (dotted)	CONTOUR MAJOR
--- (dotted)	CONTOUR MINOR
--- (dotted)	EXIST. STORM DRAIN
--- (dotted)	EXIST. SANITARY SEWER
--- (dotted)	EXIST. CULINARY WATER
--- (dotted)	EXIST. CONTOUR MAJOR
--- (dotted)	EXIST. CONTOUR MINOR
--- (dotted)	EXIST. FENCE
--- (dotted)	EXIST. CONTOUR MAJOR
--- (dotted)	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	SECONDARY METER, WATER MET
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

NOTES:
MOUNTAIN VIEW DRIVE SHALL BE FULLY CONSTRUCTED AND FORMALLY DEDICATED PRIOR TO, OR CONCURRENT WITH, THE COMPLETION OF THIS PHASE.

ALL ADJACENT STREETS SHALL BE IMPROVED PRIOR TO, OR CONCURRENT WITH, THE COMPLETION OF THIS PHASE.

PROPERTY OVERVIEW:

TOTAL AREA:	779,085.47 SQFT (17.88 ACRES)
LAND USE:	TOWNHOMES & APARTMENTS
ZONE TYPE :	MDA

UNIT TYPES:

36-PLEX APARTMENT:	108 UNITS (3 BUILDINGS)
27-PLEX APARTMENT:	27 UNITS (1 BUILDING)
24-PLEX APARTMENT:	72 UNITS (3 BUILDINGS)
8-PLEX TOWNHOME:	16 UNITS (2 BUILDINGS)
6-PLEX TOWNHOME:	66 UNITS (6 BUILDINGS)

AMENITIES:

- SEATING AREA PROVIDED. SEE LANDSCAPING PLANS FOR DETAILS.
- NATURAL OPEN SPACE PROVIDED ADJACENT TO SOUTH PROPERTY LINE.

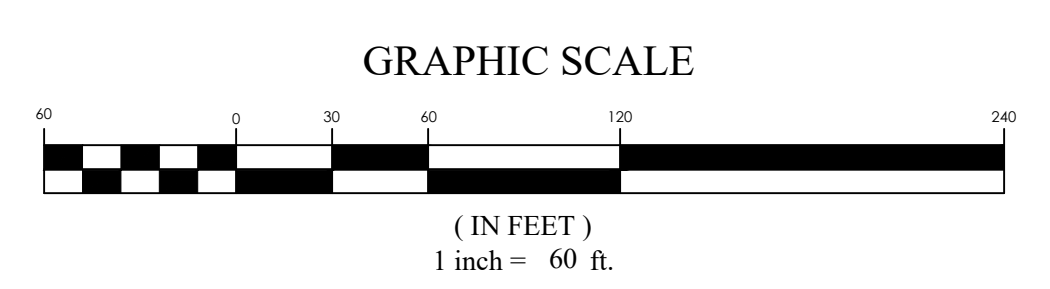
LANDSCAPING:

REQUIRED:	155,817 SQFT (20%)
PROVIDED:	242,649 SQFT (31%)

IMPERVIOUS AREAS 536,436 SQFT (68%)

PARKING:

OPEN STALLS:	430 STALLS
DRIVEWAY STALLS:	134 STALLS
GARAGE STALLS:	154 STALLS
ADA STALLS:	8 STALLS
TOTAL STALLS:	726 STALLS



REVISION BLOCK	NO.	DATE	DESCRIPTION
	1		
	2		
	3		
	4		
	5		

OVERALL SITE PLAN

Scale:	1"=60'	Drawn:	KJ
Date:	02/25/2026	Job #:	24-0303
Sheet:	C3.0		



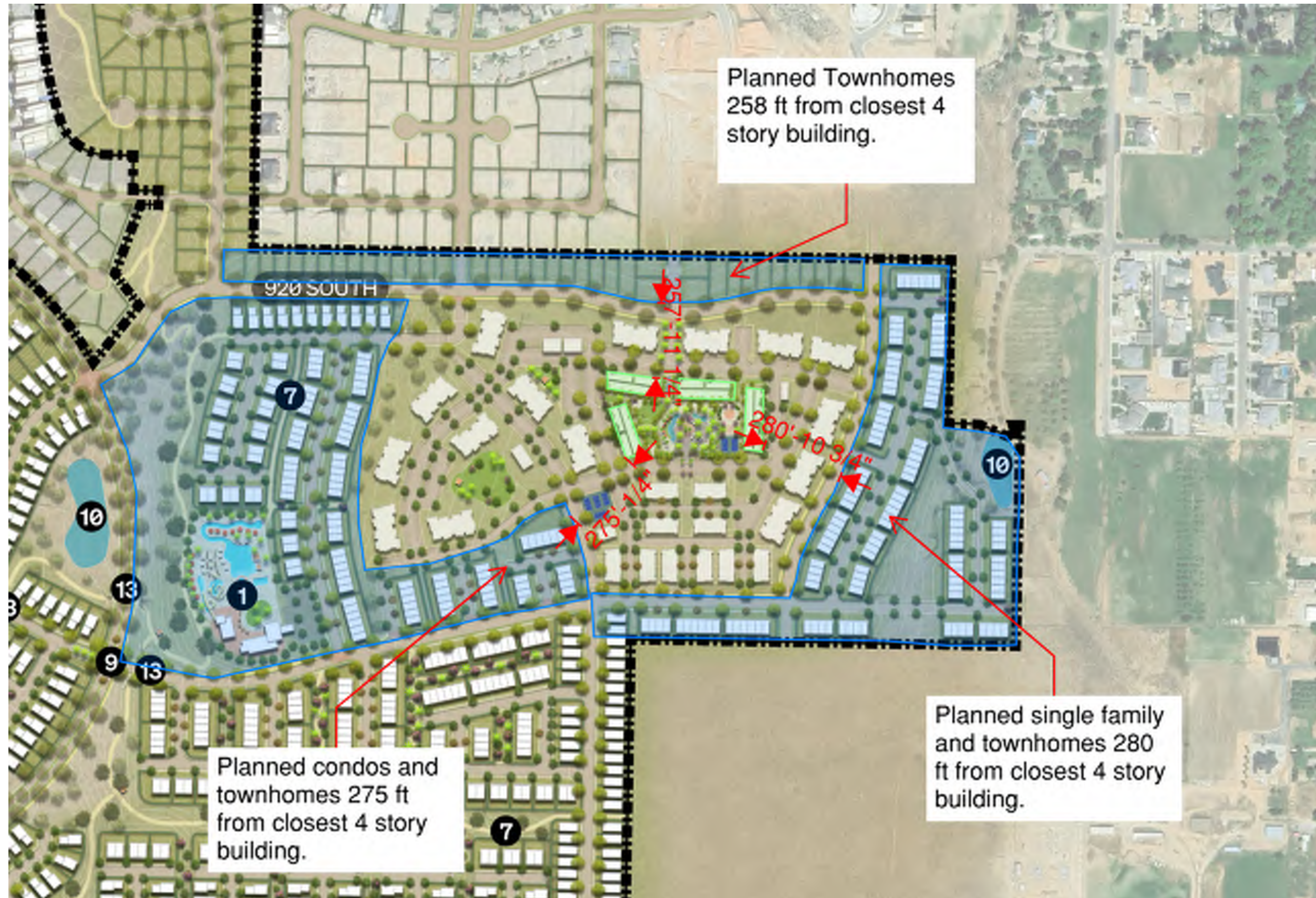
P:\2024\04-0303-bldg-rdgs-apartments\design-24-0303.dwg (sheet)C3.0 OVERALL SITE PLAN.dwg

Illustrative Concept Plan

- 1 Village Clubhouse
- 2 Hilltop Clubhouse
- 3 Hillside Clubhouse
- 4 Linear Park
- 5 Linear Paseo
- 6 Hillside Overlook
- 7 Community Trail
- 8 Regional Trail Access
- 9 Community Entry
- 10 Retention Pond
- 11 Existing Water Tank
- 12 Future Water Tank (Potential)
- 13 Trail Undercrossing
- 14 Entry Statement



Closer View



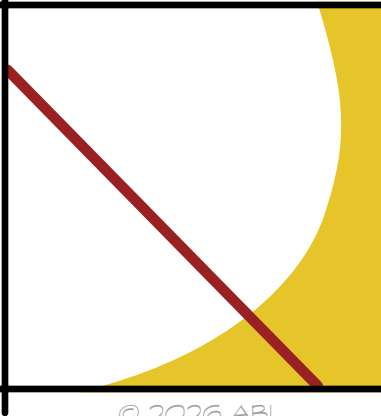


THE BRINLEY

Hurricane, Utah

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, ARE THE INTELLECTUAL PROPERTY OF ARCHITECTURE BELGIQUE, INC., AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING, BUT NOT LIMITED TO, COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCHITECTURE BELGIQUE, INC.

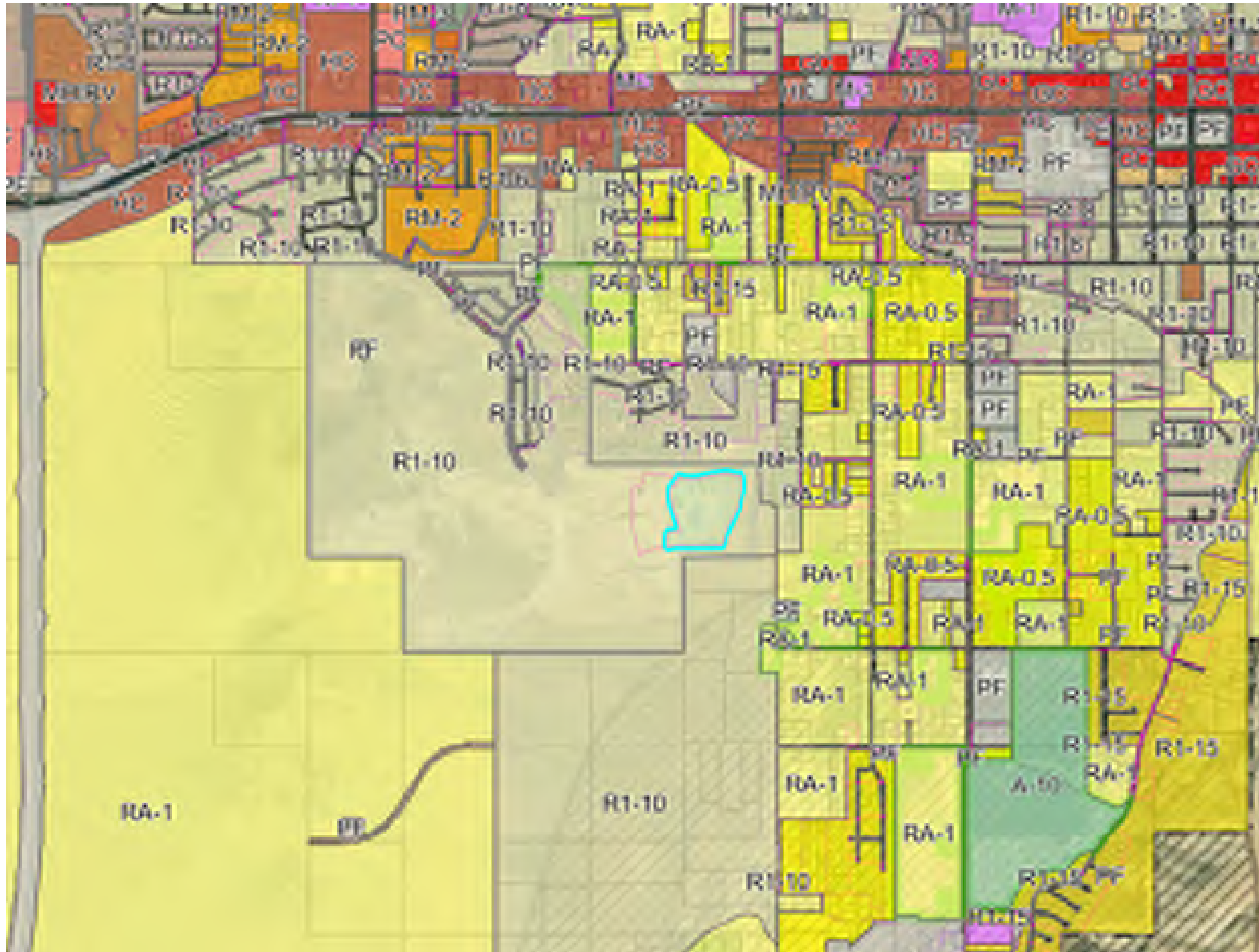
PI.01
View @ 920 S



Existing Roads



Property Boundaries



UNIT COUNT - BLDG B

LEVEL	Name	Count
LEVEL 1		
UNIT - 1B END		2
UNIT - 1B SUITE		1
UNIT - 2B		4
UNIT - 2B END		2
LEVEL 2 - B		
UNIT - 1B END		2
UNIT - 1B SUITE		1
UNIT - 2B		4
UNIT - 2B END		2
LEVEL 3 - B		
UNIT - 1B END		2
UNIT - 1B SUITE		1
UNIT - 2B		4
UNIT - 2B END		2
LEVEL 4 - B		
UNIT - 1B END		2
UNIT - 1B SUITE		1
UNIT - 2B		4
UNIT - 2B END		2
Grand total:		36

BUILDING UNIT TOTALS
BUILDING B

UNIT - 1B END	=	8
UNIT - 1B SUITE	=	4
UNIT - 2B	=	16
UNIT - 2B END	=	8



LEVEL 1 FLOOR PLAN - BUILDING B
1/8" = 1'-0"

THE BRINLEY AT BLACK RIDGE

BUILDING B - 36 PLEX

LEVEL 1 - BUILDING B | PL.01

09-05-2025





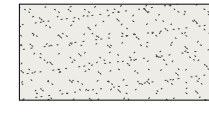

7583 S. Main St. #100 Midvale, UT 84047
801-561-1333

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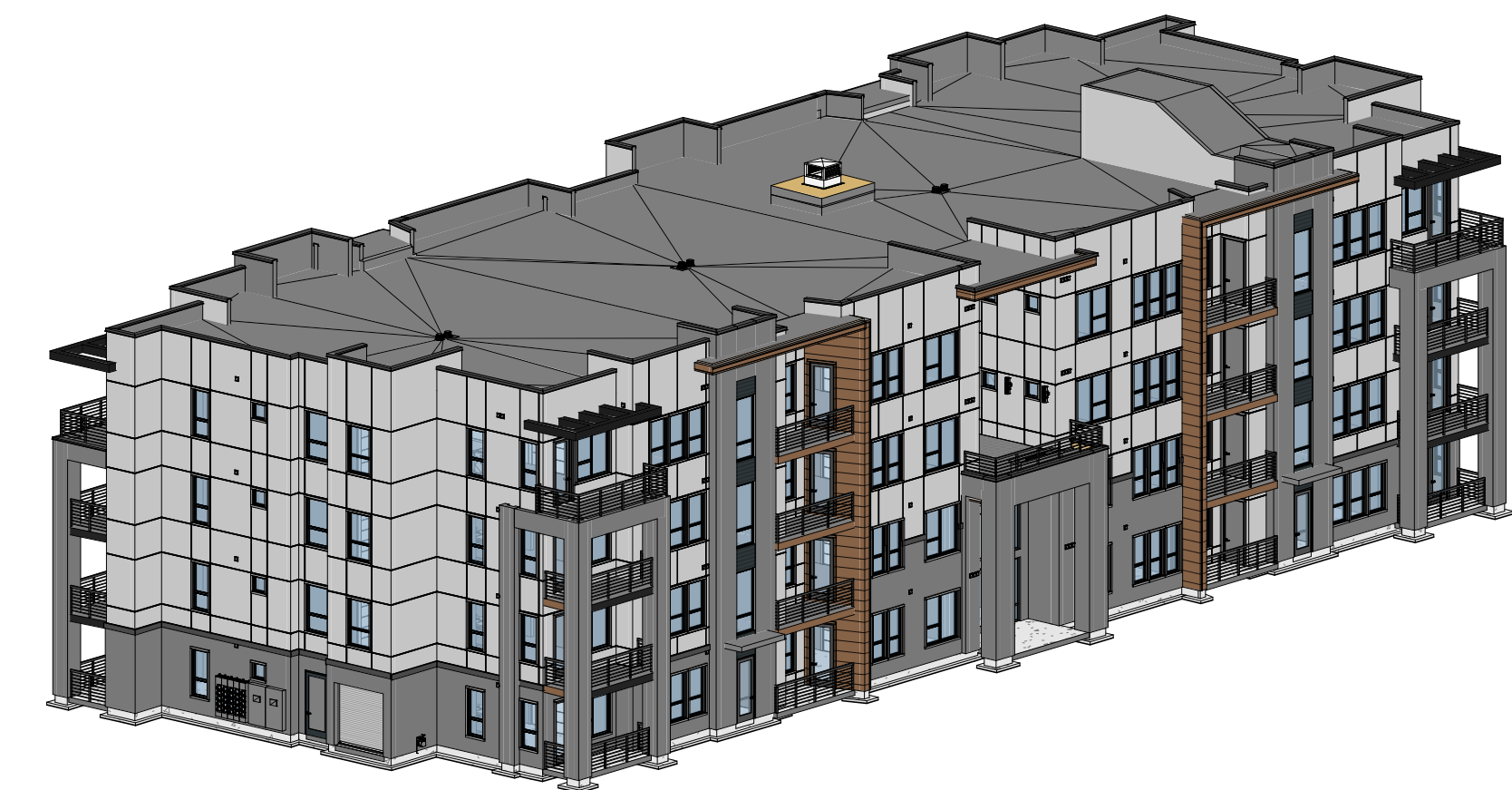


1 OVERALL ELEVATION - FRONT - BUILDING B
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
	EVOLVE STONE VENEER COLOR: CUSTOM, CAPITAL BKY PATTERN
	CHAM-GLAD FALX WOOD SIDING COLOR: BARREL OAK
	3/8" FINE SAND FINISH STUCCO WITH 1/2" REVEALS
	GLAZING



2 OVERALL ELEVATION - LEFT - BUILDING B
SCALE: 1/8" = 1'-0"



3 FRONT PERSPECTIVE - BUILDING B
SCALE:

BUILDING B

THE BRINLEY AT BLACK RIDGE
HURRICANE, UTAH

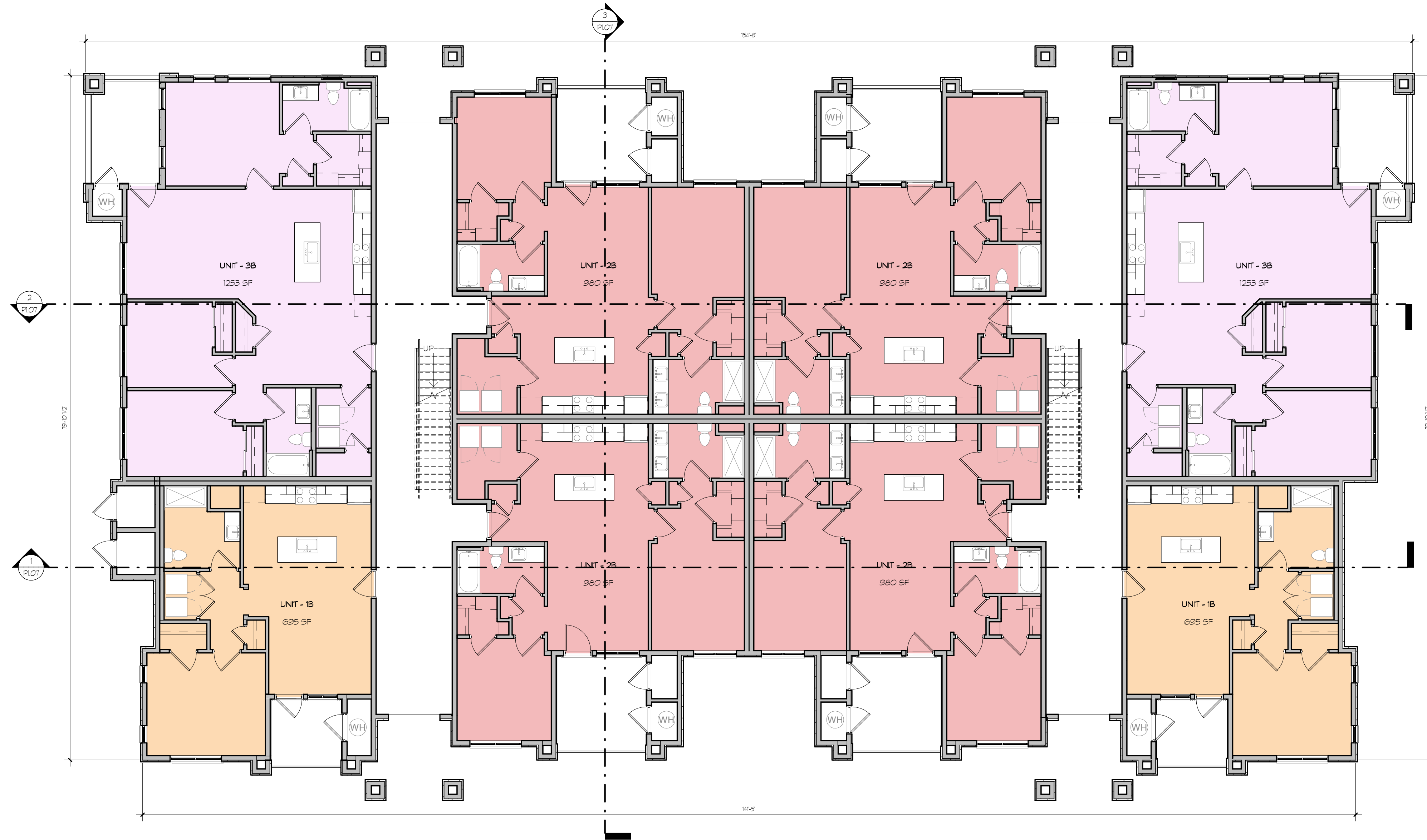
Project Number
2024-19

Date
09-05-2025

No.	Description	Date

Sheet Title
BUILDING
ELEVATIONS -
BUILDING B

Sheet Number
A2.01



1 LEVEL 1
P1.01 SCALE: 1/8" = 1'-0"

UNIT COUNT	
Name	Count
LEVEL 1	
UNIT - 1B	2
UNIT - 2B	4
UNIT - 3B	2
LEVEL 2	
UNIT - 1B	2
UNIT - 2B	4
UNIT - 3B	2
LEVEL 3	
UNIT - 1B	2
UNIT - 2B	4
UNIT - 3B	2
Grand total: 24	

UNIT TYPES

- UNIT - 1B
- UNIT - 2B
- UNIT - 3B

THE BRINLEY AT BLACK RIDGE

24 PLEX

Level 1

10-7-22



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FOR REVIEW PURPOSES ONLY

24-PLEX
THE BRINLEY AT BLACK RIDGE
HURRICANE, UTAH

Project Number

Date
01-23-26

No.	Description	Date

Sheet Title

BUILDING
ELEVATIONS - 24
PLEX

Sheet Number

A2.01



1 OVERALL ELEVATION - FRONT - 24 PLEX
A2.01 SCALE 3/32" = 1'-0"



2 OVERALL ELEVATION - RIGHT SIDE - 24 PLEX
A2.01 SCALE 3/32" = 1'-0"



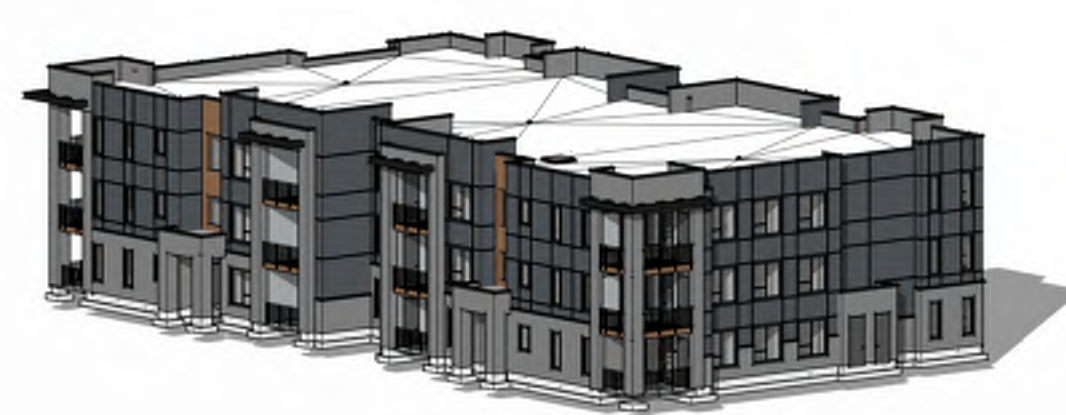
3 OVERALL ELEVATION - LEFT SIDE - 24 PLEX
A2.01 SCALE 3/32" = 1'-0"



4 OVERALL ELEVATION - REAR - 24 PLEX
A2.01 SCALE 3/32" = 1'-0"



5 REAR ISOMETRIC - 24-PLEX
A2.01 SCALE



6 FRONT ISOMETRIC - 24-PLEX
A2.01 SCALE

MATERIAL LEGEND

	EVOLVE STONE VENEER
	CYBER SPACE STUCCO
	NETWORK GRAY STUCCO
	CHAMCLAD WOOD SIDING



LEVEL 1
1/4" = 1'-0"

THE BRINLEY AT BLACK RIDGE - TOWNHOMES

ENTER ADDRESS HERE

LEVEL 1 | PL.01

09-09-2025





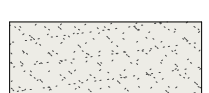

7583 S. Main St. #100 Midvale, UT 84047
801-561-1333



FRONT ELEVATION - 6 PLEX
1/4" = 1'-0"



LEFT ELEVATION - 6 PLEX
1/4" = 1'-0"

MATERIAL LEGEND	
	STONE VENEER
	HARDIE SIDING
	STUCCO
	GLAZING



FRONT ISOMETRIC

THE BRINLEY AT BLACK RIDGE - TOWNHOMES

ENTER ADDRESS HERE

ELEVATIONS - 6 PLEX | P2.01

09-09-2025



7583 S. Main St. #100 Midvale, UT 84047
801-561-1333



LEVEL 2
1/4" = 1'-0"

THE BRINLEY AT BLACK RIDGE - TOWNHOMES

ENTER ADDRESS HERE

LEVEL 2 | PL.02

09-09-2025



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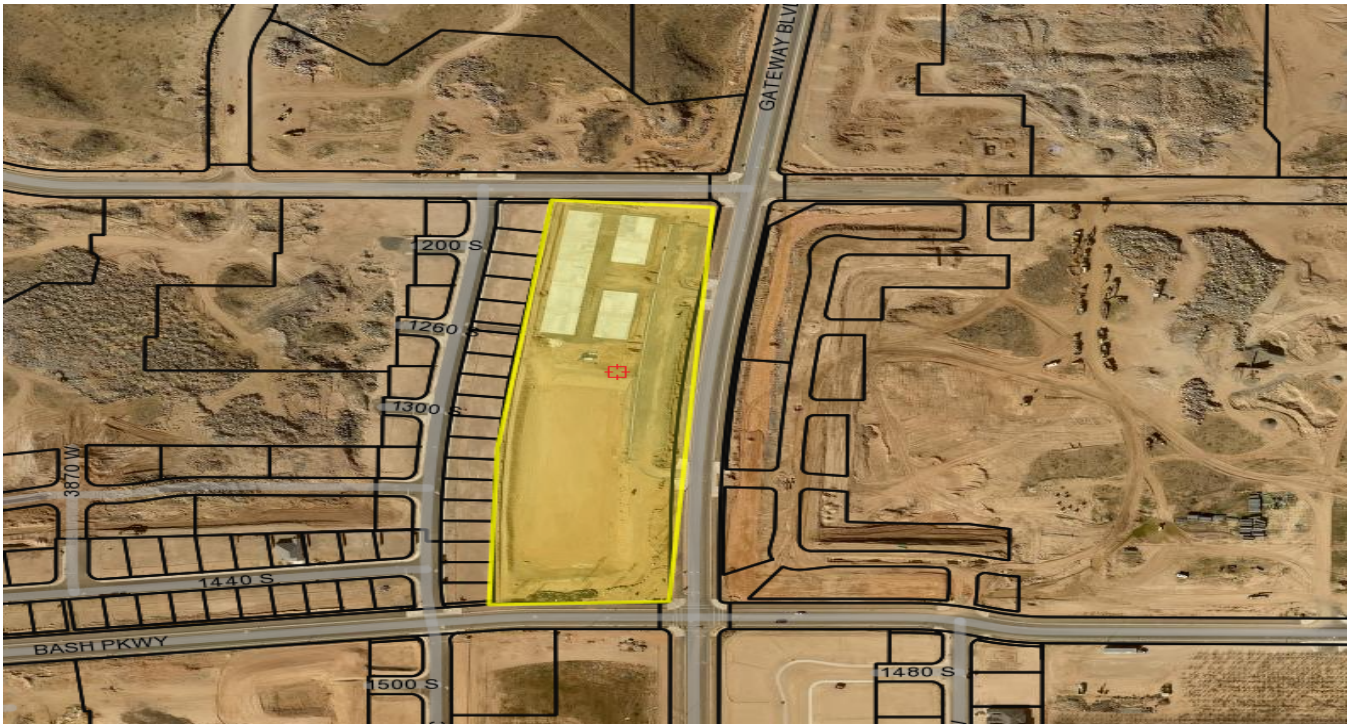


STAFF COMMENTS

Agenda Date:	03/26/2026 - Planning Commission
Application Number:	FSP26-07
Type of Application:	Final Site Plan
Action Type:	Administrative
Applicant:	Hurricane City-Darren Barney
Agent:	Karl Rasmussen
Request:	Final Site Plan Approval
Location:	Corner of Jellystone Road, Gateway Blvd, and Bash Parkway.
Zoning:	Single Family Residential R1-8
General Plan Map:	Planned Community
Recommendation:	Approve subject to staff and JUC comments.
Report Prepared by:	Fred Resch III

Discussion:

The applicant has proposed a park along Gateway Boulevard between Jellystone Road and Bash Parkway. As part of their approvals the Gateway to Sand Hollow Public Infrastructure District is required to construct two city parks within their development, this being the first one. It is proposed that the park will have amenities such as sports fields, pickleball courts, pavilions, trails, and open space. The preliminary site plan was approved in December 2024. The site is zoned Single Family Residential R1-8. Some park construction has already started on site.



Vicinity Map

JUC Comments

1. Construction drawings for this project were approved in February 2026.

Staff Comments

1. **Land Use:** The proposed park use is permitted in the Single Family Residential R1-8 zone.
2. **Parking Requirement:** Per HCC 10-34-10,

Park	Parking study required	See subsection 10-34-9F of this chapter
------	------------------------	-----------------------------------------

The applicant has provided a parking study to determine reasonable parking demand for the site, and based on the data provided, the required number of parking spaces would be 120 stalls. The site plan provides for 134 parking stalls, which exceeds the requirement. Staff finds, based on the provided justification as well as comparable requirements in other situations and jurisdictions, that the parking study should be approved by the Planning Commission.

3. **Landscape:** A landscaping plan has been provided. The plan meets Hurricane City standards. Grass is being limited to active recreation areas only.
4. **Outdoor Lighting:** An outdoor lighting plan has been provided. The applicant will need to ensure that the lighting fixtures meet the requirements of HCC 10-33-7 with regards to the height, brightness, and potential light trespass of residential areas.

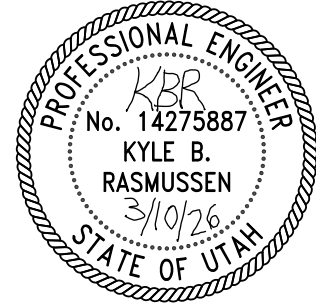
5. No primary buildings are proposed with this project. The restroom building will require a building permit.

Recommendation: The Planning Commission should review this application based on standards within the Hurricane City Code. Staff recommends this application be approved subject to staff and JUC comments.

Gateway Park: Parcel H-4-2-12-1208-GS1, is currently owned by Western Mortgage & Realty Co. It is 122.28 acres of land to be used for sports fields, pickleball courts, community use pavilion, parking stalls, trails and landscape area.

PARKING STUDY MEMORANDUM

Gateway Park
Hurricane, Utah



Project:

Gateway Park parking evaluation based on the approved construction drawing set dated February 19, 2026.

Prepared For:

Hurricane City

Prepared By:

Kyle Rasmussen, P.E.
ProValue Engineering

Date:

March 10, 2026

1. Purpose

This memorandum evaluates whether the parking supply shown on the Gateway Park site plan is adequate for the proposed recreational uses. The study is intended as a practical demand-based parking analysis using the site layout shown on the approved plan set. Because no jurisdiction-specific parking table or formal study template was provided with the request, this memorandum uses conservative operational assumptions and a shared-demand approach.

2. Site Information and Parking Supply

Based on the site plan, the project includes 18 pickleball courts, 2 soccer fields, and a restroom/ pavilion. The site data table identifies a parking supply of 128 standard stalls plus 6 ADA stalls, for a total of 134 on-site parking spaces.

Item	Quantity	Notes
Pickleball courts	18	Outdoor courts
Soccer fields	2	Two 140' x 210' fields shown
Standard parking stalls	128	On-site stalls
ADA parking stalls	6	ADA stalls shown on plan
Total parking supply	134	128 standard + 6 ADA

3. Parking Demand Methodology

The proposed uses are recreational and event-based, so parking demand depends on how the facilities are programmed rather than on building floor area. To avoid understating demand, the analysis assumes that both the pickleball courts and soccer fields could be active at the same time during a busy period.

Use	Conservative Demand Assumption	Spaces
Pickleball players	18 courts x 4 players/court = 72 players. Average vehicle occupancy assumed at 2.0 players per vehicle.	36

Pickleball spectators / queuing / overlap	Allow 1 additional vehicle per court for spectators, players waiting, instruction, or overlap between games.	18
Soccer players and coaches	2 fields active at once. Assume 28 participants per field (players + coaches), with average vehicle occupancy of 2.5 persons per vehicle	23
Soccer spectators	Assume 15 spectator vehicles per field during a busy game window.	30
Restroom / support / operations	Maintenance, officials, or incidental site traffic.	2

4. Peak Parking Demand Summary

Demand Component	Spaces	Comment
Pickleball demand subtotal	54	36 player vehicles + 18 additional vehicles
Soccer demand subtotal	53	23 participant vehicles + 30 spectator vehicles
Restroom / support traffic	2	Incidental use
Estimated simultaneous peak demand	109	Conservative combined demand
Recommended operational buffer (about 10%)	11	For turnover and short-duration overlap
Planning-level target supply	120	Estimated peak demand + buffer
Provided on-site supply	134	128 standard + 6 ADA
Surplus	14	134 provided - 120 target

5. Findings

Using conservative simultaneous-use assumptions, the site is estimated to need approximately 109 spaces during a heavy shared-use period and approximately 120 spaces when a modest operational buffer is included. The plan provides 134 on-site parking spaces, which indicates that the site has capacity above the study target. This result is conservative because actual peak demand for the pickleball courts and soccer fields may not fully coincide. In addition, average vehicle occupancy for team sports and family recreation can often exceed the assumed values used in this memorandum, which would reduce total parking demand.

6. Conclusion

Based on the approved Gateway Park site plan and the demand assumptions described above, the proposed parking supply of 134 spaces appears adequate for the planned 18 pickleball courts, 2 soccer fields, and associated support facilities.

WASHINGTON COUNTY WATER CONSERVANCY DISTRICT NOTES:

1. CONTRACTOR IS REQUIRED TO CALL RYAN MAY AT (435)773-3016, AT LEAST 48 HOURS IN ADVANCE BEFORE WORKING WITHIN 10' OF A WWCWD WATERLINE. THIS WILL SCHEDULE A WWCWD INSPECTOR TO THE PROJECT SITE.
2. CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION. WWCWD INSPECTOR IS REQUIRED TO BE ON SITE WHEN POTHOLES WITHIN 10' OF A WWCWD WATERLINE.
3. ALL CHANGES TO EXISTING GRADES NEAR EXISTING WWCWD WATERLINES MUST BE APPROVED BY THE DISTRICT PRIOR TO CONSTRUCTION.
4. ANY INFRASTRUCTURE RELOCATIONS ASSOCIATED WITH THE PROJECT WILL BE AT THE OWNER/DEVELOPER'S EXPENSE.
5. WWCWD WATERLINES AND FACILITIES ARE TO MEET THE CURRENT WWCWD SPECIFICATIONS.

CONSTRUCTION KEYNOTES:

- | | | | |
|---|----------------------------------------------|----|---------------------------------|
| 1 | INSTALL 12 FT WIDE ASPHALT TRAIL | 9 | EXISTING WATERWAY |
| 2 | INSTALL 10 FT WIDE ASPHALT TRAIL | 10 | LIGHT POLE |
| 3 | INSTALL "A" CURB | 11 | INSTALL ADA PARKING SIGN |
| 4 | PICKLEBALL COURT | 12 | INSTALL DUMPSTER ENCLOSURE |
| 5 | RESTROOMS | 13 | NATURAL PATH PER LANDSCAPE PLAN |
| 6 | INSTALL STOP SIGN | 14 | PROPOSED HANDRAILS 34"-38" HIGH |
| 7 | CONCRETE SIDEWALK | | |
| 8 | INSTALL STANDARD CURB & GUTTER (TYPE HB30-7) | | |

SITE PLAN FOR: GATEWAY PARK

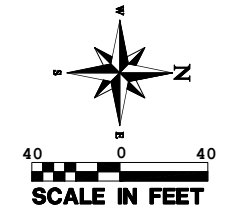
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

SITE DATA

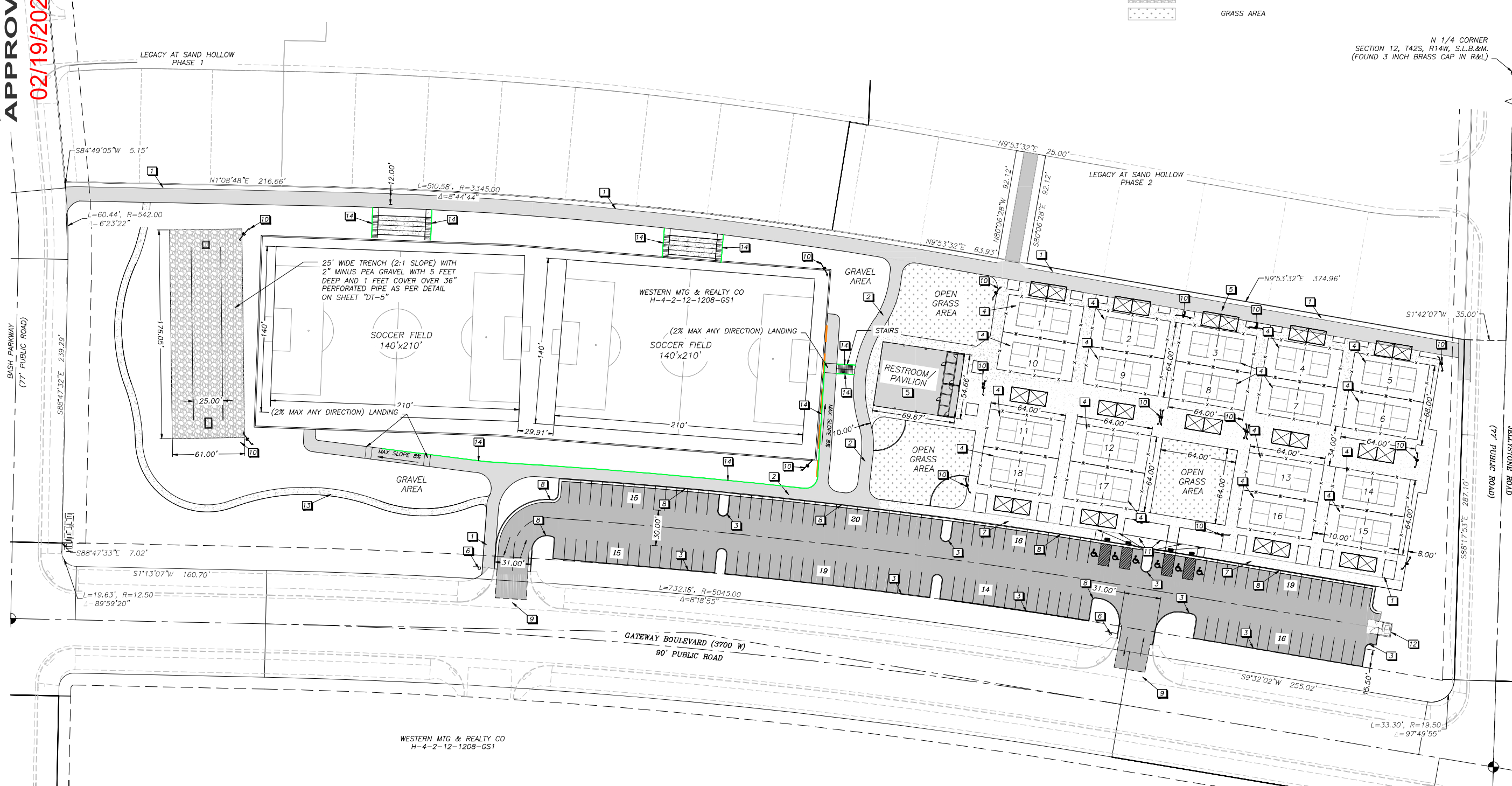
SITE DATA	
PICKLEBALL COURTS	18
PARKING STALLS	128+6 ADA STALLS
SOCCER FIELDS	2

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- CENTER LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PUBLIC UTILITY EASEMENT
- INSTALL HANDRAILS
- ADA RAMP
- ADA PARKING STALL
- SHADED STRUCTURES W/ BENCH
- INGRESS AND EGRESS DIRECTIONS
- ASPHALT
- ASPHALT TRAIL
- CONCRETE
- DETENTION BASIN
- GRASS AREA



APPROVED
02/19/2026



NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-9307



No. 191090
KARL BRADLEY RASMUSSEN
2/12/26

SITE PLAN FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 02/12/2026
SCALE: 1"=40'
JOB NO.: 336-009
SHEET NO.:

DESIGN NOTES

1. ALL PARK FURNISHINGS AND PARK AMENITIES (LANDSCAPING, IRRIGATION, SHADE STRUCTURES, PAVILIONS, TABLES, PLAYGROUND, ECT.) SHALL MEET HURRICANE CITY PARK STANDARDS (8.0).
2. LANDSCAPE CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHOLD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITH HELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.

LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

IRIGATION NOTES:

CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND COURTS TO LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO SLOPE ALL LANDSCAPE AREAS TO DRAINAGE CORRIDORS. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO THE STREET.

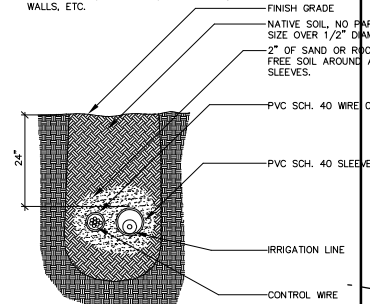
ROCK MULCH NOTE:

RUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3/4" APACHE OLD CRUSHED ROCK CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

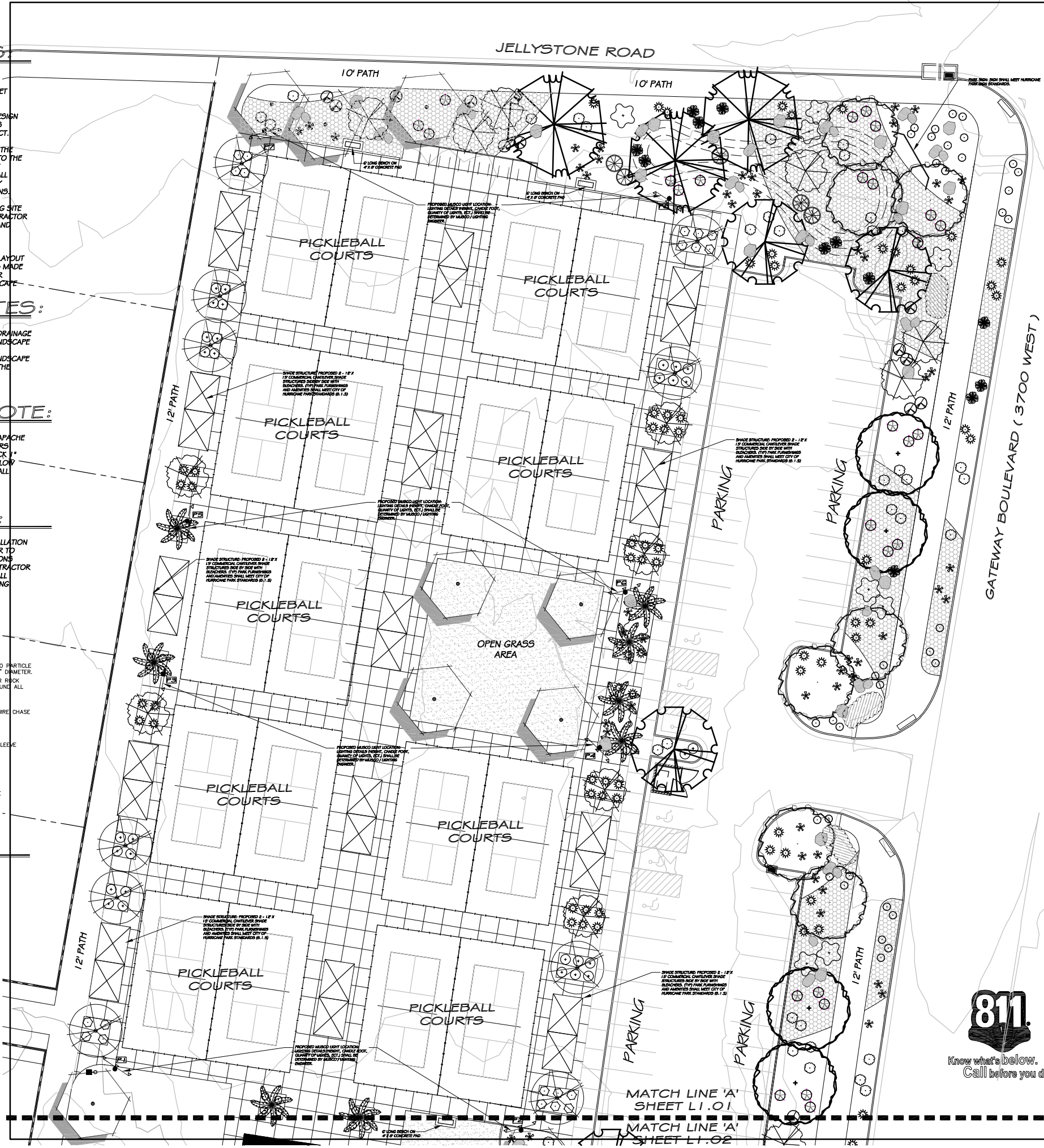
SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.

NOTE: SLEEVE ALL PIPE AND WIRES UNDER WALKS, DRIVEWAYS, STRUCTURES, WALLS, ETC.



SLEEVE SECTION

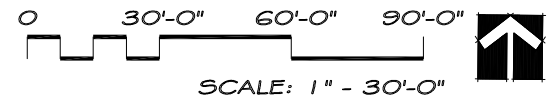


PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD SYCAMORE
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA
	ULMUS 'CATHEDRAL' CATHEDRAL ELM
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT PEAR
	KOELREUTERIA PANICULATA GOLDEN RAINTREE
	PINUS ELДАРICA MONDEL FINE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	LAGERSTROEMIA INDICA CRAPE MYRTLE or CERCIS CANADENSIS MEX. MEXICAN REDBUD
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
	ILEX VOMITORIA DWARF DWARF YAUFON HOLLY
	ABELIA GRANDIFLORA PINK ABELIA
	RHAMNUS INDICA DWARF PINKIE HAWTHORN
	DASYLIRION WHEELERI GREENGRAY 'DESERT SPOON'
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	HESPERALOE PARVIFLORA RED YUCCA
	AGAVE PARYII PARRY'S AGAVE

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	6" CONCRETE MOWCURB
	2'-6" LAVA ROCK
	LANTANA CAMARA LANTANA
	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



MATCH LINE 'A'
SHEET L1.01
MATCH LINE 'A'
SHEET L1.02



REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
HURRICANE, UTAH

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
PLAN

DATE:
02/10/2025
JOB NO.
02102025
SHEET:

L1.01

DESIGN NOTES:

1. ALL PARK FURNISHINGS AND PARK AMENITIES (LANDSCAPING, IRRIGATION, SHADE STRUCTURES, PAVILIONS, TABLES, PLAYGROUND, ECT.) SHALL MEET HURRICANE CITY PARK STANDARDS (B.O).
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RAINAGE NOTES:

CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND COURTS TO LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO SLOPE ALL LANDSCAPE AREAS TO DRAINAGE CORRIDORS. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO THE STREET.

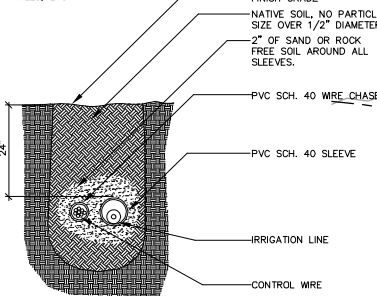
ROCK MULCH NOTE:

RUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3" APACHE OLD CRUSHED ROCK CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

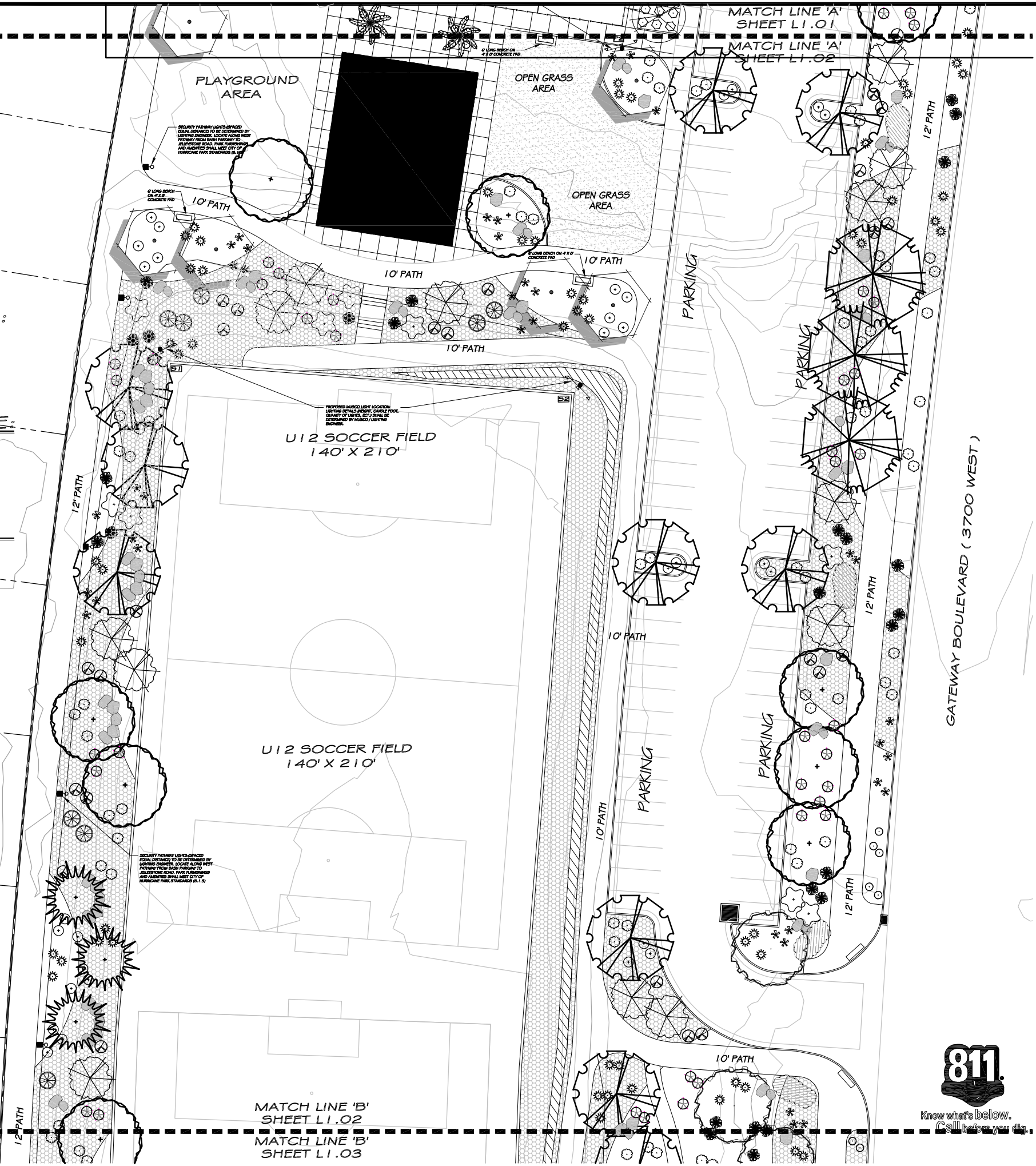
SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.

NOTE: SLEEVE ALL PIPE AND WIRES UNDER WALKS, DRIVEWAYS, STRUCTURES, WALLS, ETC.



SLEEVE SECTION

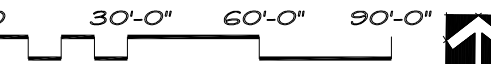


PLANT LEGEND

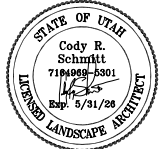
SYMBOL	BOTANICAL / COMMON NAME
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD SYCAMORE
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA
	ULMUS 'CATHEDRAL' CATHEDRAL ELM
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT PEAR
	KOELREUTERIA PANICULATA GOLDEN RAINTREE
	PINUS ELDARICA MONDEL FINE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	LAGERSTROEMIA INDICA CRAPE MYRTLE or CERCIS CANADENSIS MEX. MEXICAN REDBUD
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
	ILEX VOMITORIA DWARF DWARF YAUFON HOLLY
	ABELIA GRANDIFLORA PINK ABELIA
	RHAMNUS INDICA DWARF PINKIE HAWTHORN
	DASYLIRION WHEELERI GREENGRAY DESERT SPOON
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	HESPERALOE PARVIFLORA RED YUCCA
	AGAVE PARRYI PARRY'S AGAVE

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	6" CONCRETE MOWCURB
	2"-6" LAVA ROCK
	LANTANA CAMARA LANTANA
	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



SCALE: 1" = 30'-0"



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT HURRICANE UTAH

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE PLAN

DATE:
02/10/2025
JOB NO.
02102025
SHEET:

L1.02

DESIGN NOTES:

1. ALL PARK FURNISHINGS AND PARK AMENITIES (LANDSCAPING, IRRIGATION, SHADE STRUCTURES, PAVILIONS, TABLES, PLAYGROUND, ECT.) SHALL MEET HURRICANE CITY PARK STANDARDS (8.0).
2. LANDSCAPE CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHOLD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITH HELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.

LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

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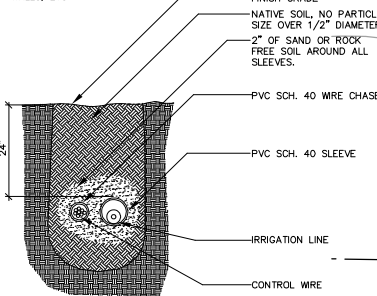
ROCK MULCH NOTE:

RUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3/4" APACHE OLD CRUSHED ROCK CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

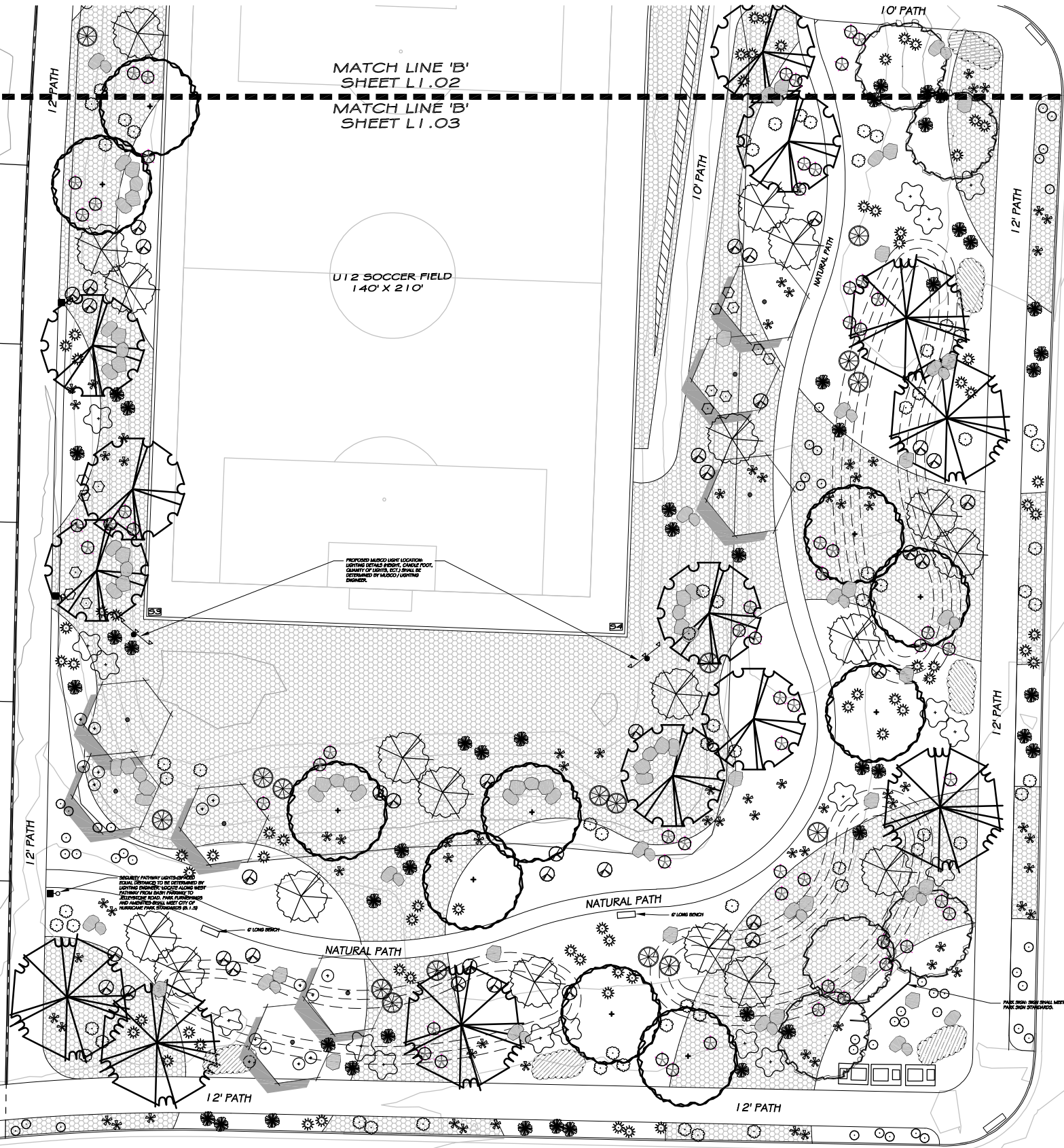
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SLEEVE SECTION

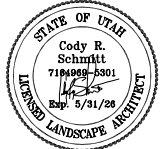
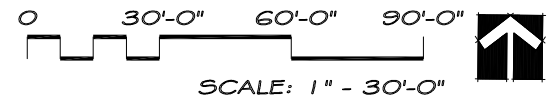


PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD SYCAMORE
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA
	ULMUS 'CATHEDRAL' CATHEDRAL ELM
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT PEAR
	KOELREUTERIA PANICULATA GOLDEN RAINTREE
	PINUS ELDARICA MONDEL FINE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	LAGERSTROEMIA INDICA CRAPE MYRTLE or CERCIS CANADENSIS MEX. MEXICAN REDBUD
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
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	ABELIA GRANDIFLORA PINK ABELIA
	RHAMNUS INDICA DWARF PINKIE HAWTHORN
	DASYLIRION WHEELERI GREENGRAY DESERT SPOON
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	HESPERALOE PARVIFLORA RED YUCCA
	AGAVE PARVIFOLIUS PARRY'S AGAVE

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
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	6" CONCRETE MOWCURB
	2"-6" LAVA ROCK
	LANTANA CAMARA LANTANA
	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
HURRICANE, UTAH

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
PLAN

DATE:
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SHEET:

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REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
UTAH
HURRICANE

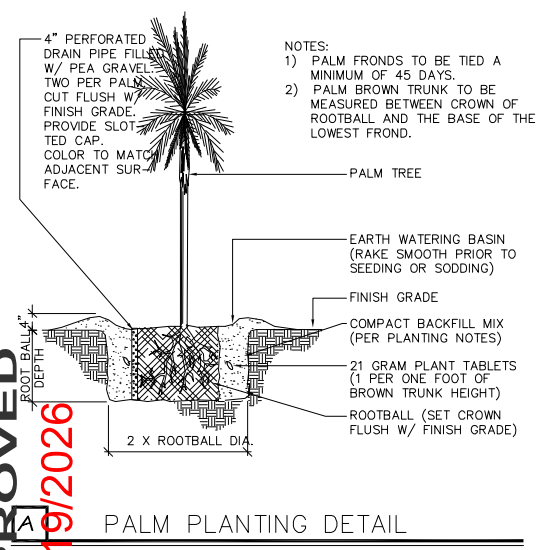
CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

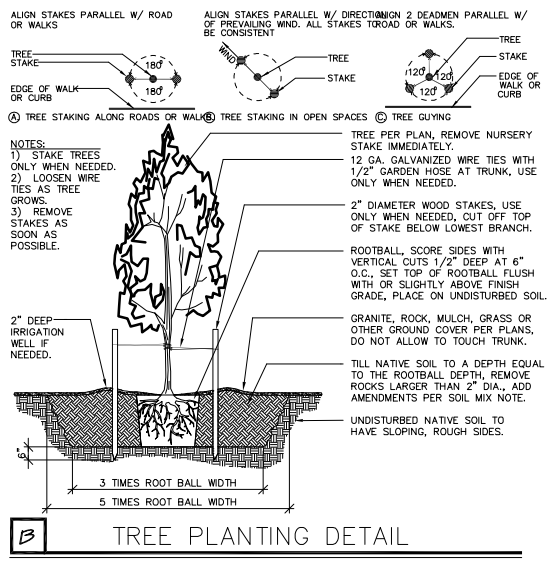
PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
DETAILS

DATE:
02/10/2025
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02102025

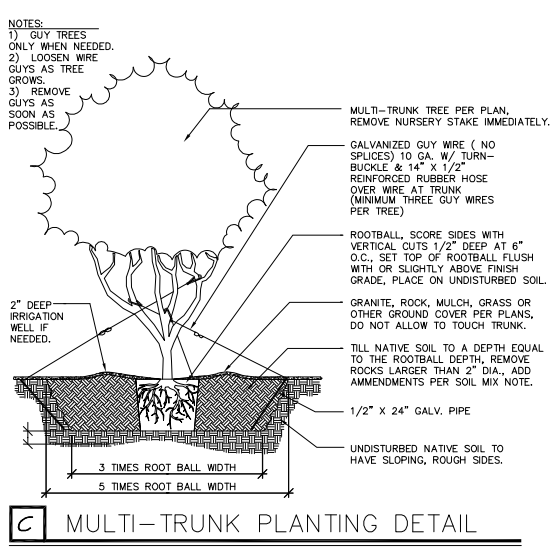
SHEET:
L1.04



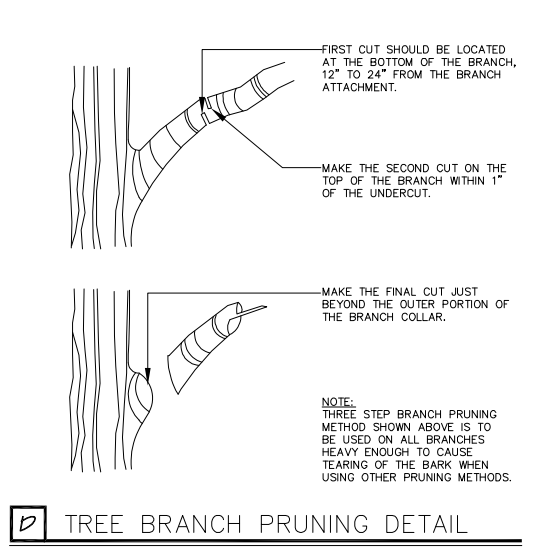
A PALM PLANTING DETAIL



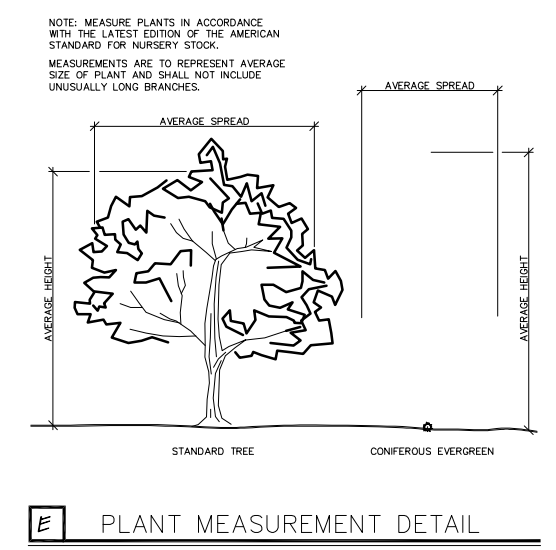
B TREE PLANTING DETAIL



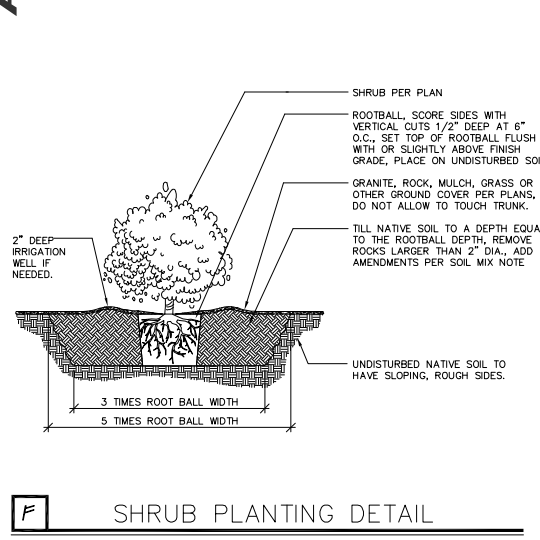
C MULTI-TRUNK PLANTING DETAIL



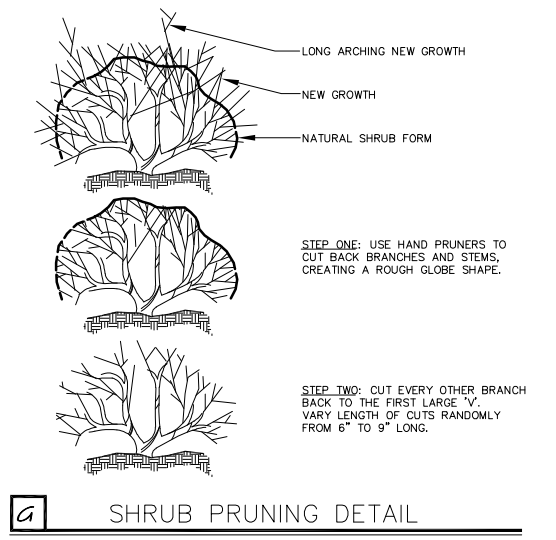
D TREE BRANCH PRUNING DETAIL



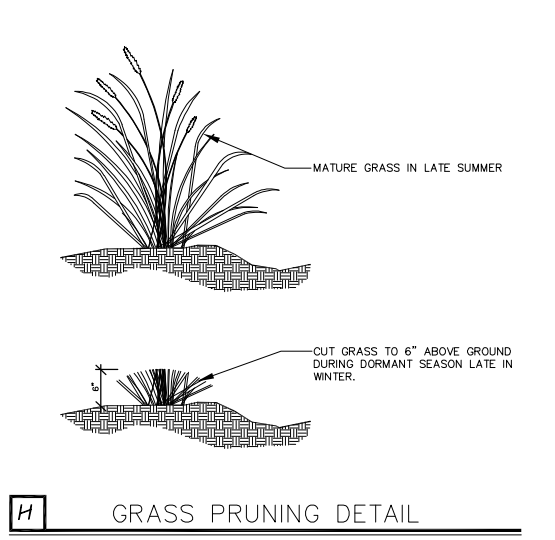
E PLANT MEASUREMENT DETAIL



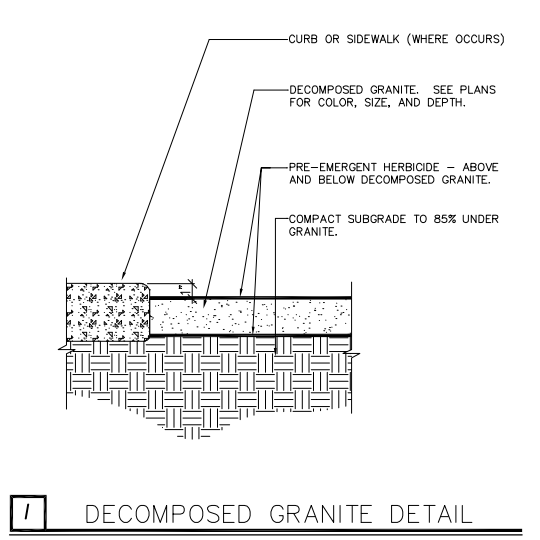
F SHRUB PLANTING DETAIL



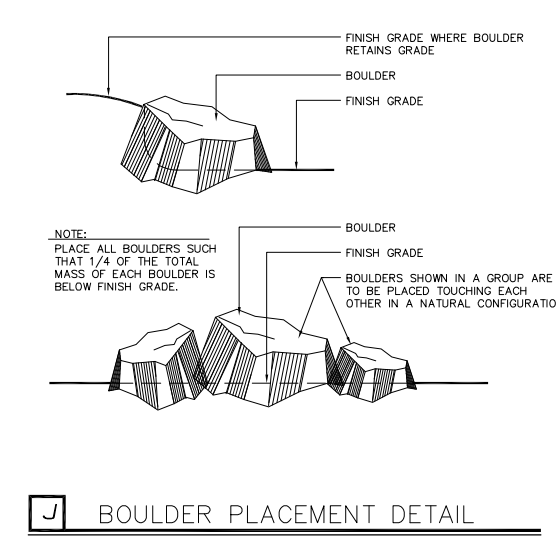
G SHRUB PRUNING DETAIL



H GRASS PRUNING DETAIL



I DECOMPOSED GRANITE DETAIL



J BOULDER PLACEMENT DETAIL

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
<i>CERCIS CANADENSIS</i> MDX.	MEXICAN REDBUD	19	24"	BOX	B,D,E	
<i>KOELREUTERIA PANICULATA</i>	GOLDEN RAIN TREE	10	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
<i>LAGESTROMIA INDICA</i> MULT	RED MULTI CRAPE MYRTLE	26	24"	BOX	B,D,E	
<i>PIRUS ELDARICA</i>	MORDEL PINE	3	24"	BOX	B,D,E	
<i>ZELKOVA SERRATA</i> 'GREEN VASE'	GREEN VASE ZELKOVA	19	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
<i>PLATANUS X ACERIFOLIA</i> 'BLOODGOOD'	BLOODGOOD SYCAMORE	12	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
<i>PIRUS CALLERYANA</i> 'ARISTOCRAT'	ARISTOCRAT PEAR	13	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
<i>QUERCUS VIRGINIANA</i>	SOUTHERN LIVE OAK	21	24"	BOX	B,D,E	
<i>ULMUS CATHEDRAL'</i>	CATHEDRAL ELM	21	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
<i>WASHINGTONIA FLUFERA</i>	CALIFORNIA FAN PALM	8	8'-0" TO 12'-0" BTH	BAR	A,E	SEE PLANTING PLAN FOR SIZE AND LOCATION
SHRUBS						
<i>ABELIA GRANDIFLORA</i>	PINK ABELIA	113	15	GALLON	F,G	
<i>AGAVE PARVII</i>	FARRYS AGAVE	107	15	GALLON	F,G	
<i>CHAMADROPS HUMILIS</i>	MEDITERRANEAN FAN PALM	36	15	GALLON	F,G	
<i>DASYLIRION WHEELERII</i>	DESERT SPOON	79	5	GALLON	F,G	
<i>HESPERALOE PARVIFLORA</i>	RED YUCCA	156	5	GALLON	F,G	
<i>ILEX VOMITORIA</i>	YAUPON HOLLY	75	5	GALLON	F,G	
<i>LANTANA CAMARA</i>	LANTANA	60	5	GALLON	F,G	
<i>LEUCOPHYLLUM FRUTESCENS</i> 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	150	5	GALLON	F,G	
<i>MULLENBERGIA CAPILLARIS</i> 'REGAL MIST'	REGAL MIST GRASS	183	5	GALLON	F,G,H	
<i>OLEA EUROPAEA</i> 'MONTRA'	LITTLE OLIVE DWARF OLIVE	20	5	GALLON	F,G	
<i>RHAPHIOLIPS INDICA</i>	DWARF PINKIE HAWTHORN	34	5	GALLON	F,G	
<i>ROSA</i> 'RED CARPET'	RED CARPET ROSE	73	1	GALLON	F,G	
BOULDERS						
LANDSCAPE BOULDERS VARY IN SIZE: 50% - 5' X 4', AND 50% - 4' X 3'		200	3' - 4'		J	

PLANTING LEGEND

NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY. EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



APPROVED
APPROVED
02/19/2026



IRRIGATION LEGEND

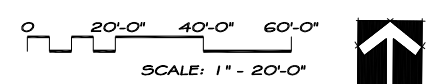
- POINT OF CONNECTION
- TORO SENTINEL 2-WIRE CONTROLLER
- WILKINS 975XLVSR RPA - REDUCED PRESSURE BACKFLOW DEVICE WITH FLOW SENSOR AND MASTER VALVE (SEE DTL. SHEET)
- 2" TO 4" GATE VALVES SEE MAINLINE SIZE
- 4" SCHEDULE 40 PVC MAINLINE
- NETAFIM 3/4" SOLID DRIP TUBING (SEE DTL. H, SHEET L2.04)
- 2" SCHEDULE 40 PVC LATERAL LINE, SIZE ALL PIPE PER DETAIL "M" IN ACCORDANCE WITH GPMs.
- AUTOMATIC FLUSH VALVE IN 10" ROUND BOX (SEE DTL. SHEET FOR SPECS.)
- 2" REMOTE CONTROL VALVE (SEE DTL. SHEET FOR SPECS.)
- 1" DRIP VALVE ASSEMBLY WITH NETAFIM DISC FILTER (SEE DTL. SHEET FOR SPECS.)
- HOSE BIB (SEE DTL. SHEET FOR SPECS.)
- SLEEVES 2 X DIAMETER OF PIPE
- TORO 560 SERIES - 10 VAN SERIES POP-UP SPRAY HEAD
- TORO 560 SERIES - 8 VAN SERIES POP-UP SPRAY HEAD
- RAINBIRD 6504 - STAINLESS STEEL ROTOR HEAD - 54' COVERAGE NOZZLE 10 OR 12 DEPENDING UPON PRESSURE
- RAINBIRD 5000 - STAINLESS STEEL ROTOR HEAD SEE PLAN FOR NOZZLE SIZE

VALVE ID LEGEND

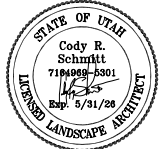


NOTES:

- 1) SEE SHEET L2.04 FOR IRRIGATION DETAILS.
- 2) INSTALL MAINLINE A MINIMUM OF 1'-0" OFF CURB OR SIDEWALK. SEE MAINLINE SPEC. FOR PROPER DEPTH.
- 3) INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
- 4) IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD.
- 5) CONTRACTOR RESPONSIBLE TO VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR.
- 6) CONTRACTOR TO PROVIDE TEST ON BACKFLOW DEVICE.



MATCH LINE 'A'
 SHEET L2.01
 MATCH LINE 'A'
 SHEET L2.02



REVISIONS:

GATEWAY PARK
 @ ELIM VALLEY
 DEVELOPMENT
 HURRICANE UTAH

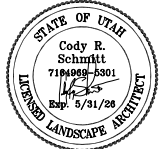
CSLA
 Cody Schmitt
 LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
 GATEWAY PARK
 @ ELIM VALLEY
 DEVELOPMENT
 SHEET CONTENTS:
 IRRIGATION
 PLAN

DATE:
 02/10/2025
 JOB NO.
 02102025

SHEET:
L2.01



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT UTAH HURRICANE

CSLA Cody Schmitt LANDSCAPE ARCHITECT

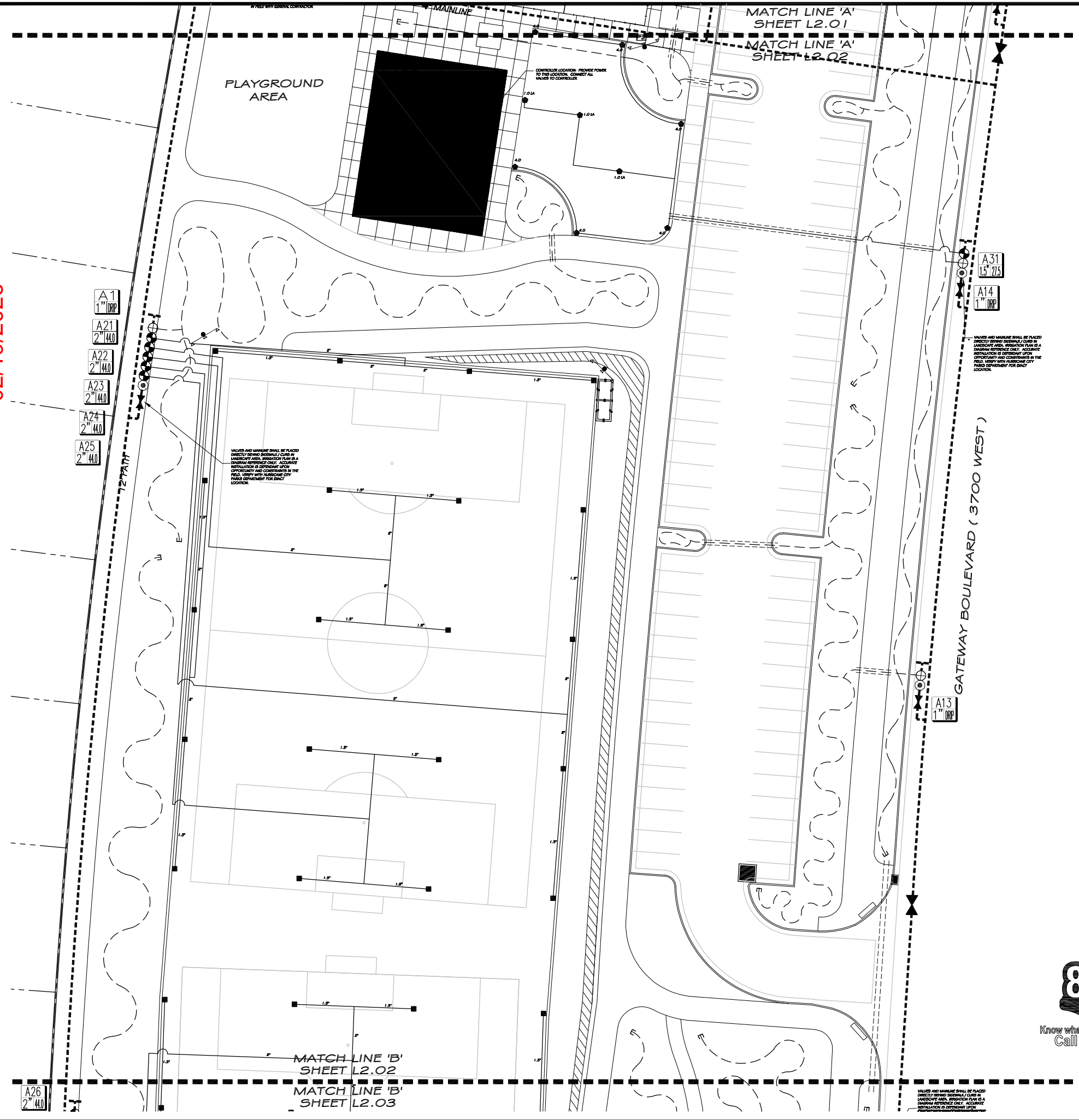
CONSULTANTS:

PROJECT: GATEWAY PARK @ ELIM VALLEY DEVELOPMENT SHEET CONTENTS: IRRIGATION PLAN

DATE: 02/10/2025 JOB NO.: 02102025 SHEET:

L2.02

APPROVED 02/19/2026



IRRIGATION LEGEND

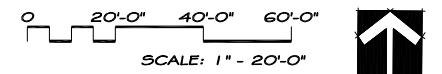
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PLAYGROUND AREA

MATCH LINE 'A' SHEET L2.01
MATCH LINE 'A' SHEET L2.02

GATEWAY BOULEVARD (3700 WEST)

MATCH LINE 'B' SHEET L2.02
MATCH LINE 'B' SHEET L2.03

VALVES AND MANHOLE SHALL BE PLACED DIRECTLY OPPOSED SIDEWALK CURB IN LANDSCAPE AREA. IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD. VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR FOR EXACT LOCATION.

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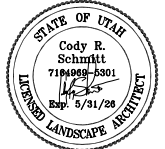
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A26 2" 440

A1 1" 100
A21 2" 140
A22 2" 140
A23 2" 140
A24 2" 140
A25 2" 140

A31 1.5" 225
A14 1" 100

A13 1" 100



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT HURRICANE UTAH

CSLA Cody Schmitt LANDSCAPE ARCHITECT

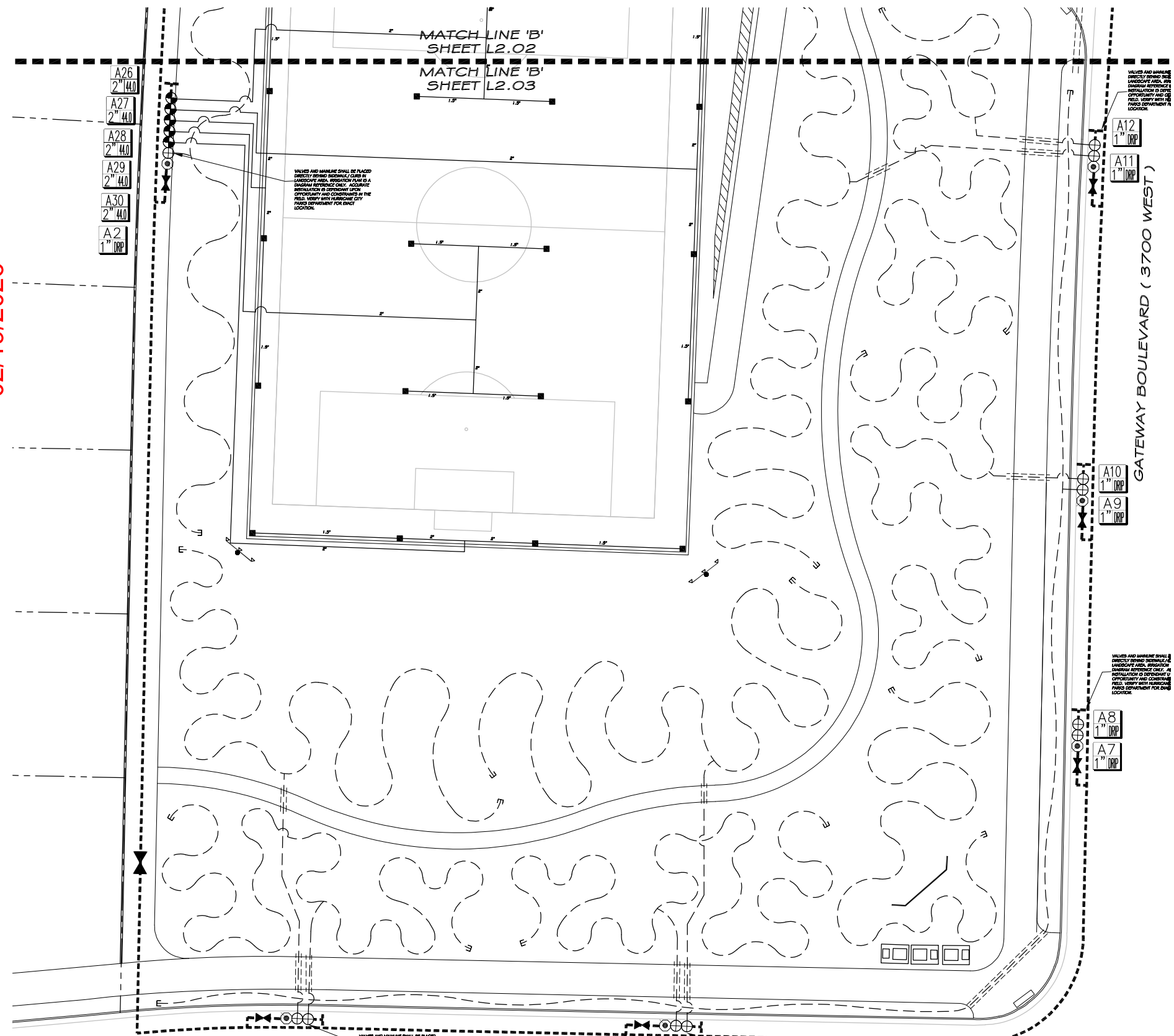
CONSULTANTS:

PROJECT: GATEWAY PARK @ ELIM VALLEY DEVELOPMENT SHEET CONTENTS: IRRIGATION PLAN

DATE: 02/10/2025 JOB NO.: 02102025 SHEET:

L2.03

APPROVED 02/19/2026



IRRIGATION LEGEND

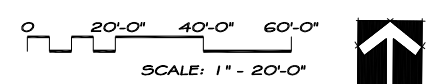
- POINT OF CONNECTION
- TORO SENTINEL 2-WIRE CONTROLLER
- WILKINS 975XLVSR RPA - REDUCED PRESSURE BACKFLOW DEVICE WITH FLOW SENSOR AND MASTER VALVE (SEE DTL. SHEET)
- 2" TO 4" GATE VALVES SEE MAINLINE SIZE
- 4" SCHEDULE 40 PVC MAINLINE
- NETAFIM 3/4" SOLID DRIP TUBING (SEE DTL. H, SHEET L2.04)
- 2" SCHEDULE 40 PVC LATERAL LINE, SIZE ALL PIPE PER DETAIL "M" IN ACCORDANCE WITH GPM'S.
- AUTOMATIC FLUSH VALVE IN 10" ROUND BOX (SEE DTL. SHEET FOR SPECS.)
- 2" REMOTE CONTROL VALVE (SEE DTL. SHEET FOR SPECS.)
- 1" DRIP VALVE ASSEMBLY WITH NETAFIM DISC FILTER (SEE DTL. SHEET FOR SPECS.)
- HOSE BIB (SEE DTL. SHEET FOR SPECS.)
- SLEEVES 2 X DIAMETER OF PIPE
- TORO 560 SERIES - 10 VAN SERIES POP-UP SPRAY HEAD
- TORO 560 SERIES - 8 VAN SERIES POP-UP SPRAY HEAD
- RAINBIRD 6504 - STAINLESS STEEL ROTOR HEAD - 54' COVERAGE NOZZLE 10 OR 12 DEPENDING UPON PRESSURE
- RAINBIRD 5000 - STAINLESS STEEL ROTOR HEAD SEE PLAN FOR NOZZLE SIZE

VALVE ID LEGEND



NOTES:

- 1) SEE SHEET L2.04 FOR IRRIGATION DETAILS.
- 2) INSTALL MAINLINE A MINIMUM OF 1'-0" OFF CURB OR SIDEWALK. SEE MAINLINE SPEC. FOR PROPER DEPTH.
- 3) INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
- 4) IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD.
- 5) CONTRACTOR RESPONSIBLE TO VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR.
- 6) CONTRACTOR TO PROVIDE TEST ON BACKFLOW DEVICE.



- A26 2" 40
- A27 2" 40
- A28 2" 40
- A29 2" 40
- A30 2" 40
- A2 1" DRP

- A3 1" DRP
- A4 1" DRP

- A5 1" DRP
- A6 1" DRP

- A12 1" DRP
- A11 1" DRP

- A10 1" DRP
- A9 1" DRP

- A8 1" DRP
- A7 1" DRP

MATCH LINE 'B' SHEET L2.02
MATCH LINE 'B' SHEET L2.03

VALVES AND MAINLINE SHALL BE PLACED DIRECTLY BEHIND SIDEWALK CURB IN LANDSCAPE AREA. IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD. VERIFY WITH HURRICANE CITY PUBLIC DEPARTMENT FOR EXACT LOCATION.

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BASH PARKWAY

GATEWAY BOULEVARD (3700 WEST)

REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
UTAH

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

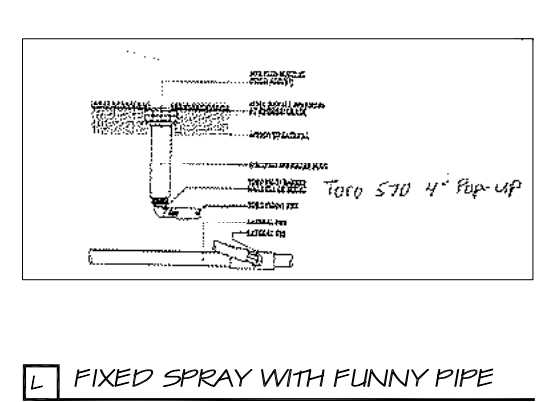
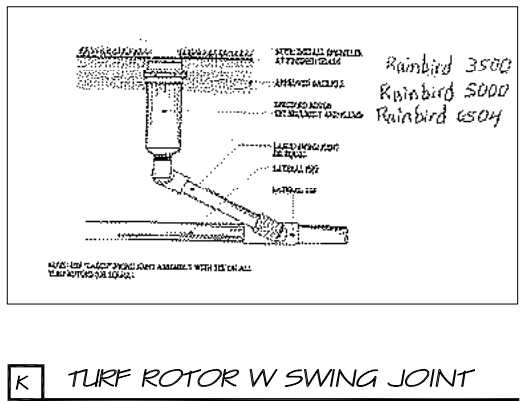
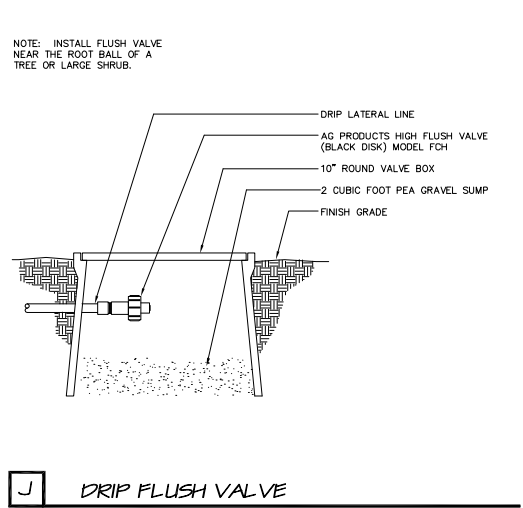
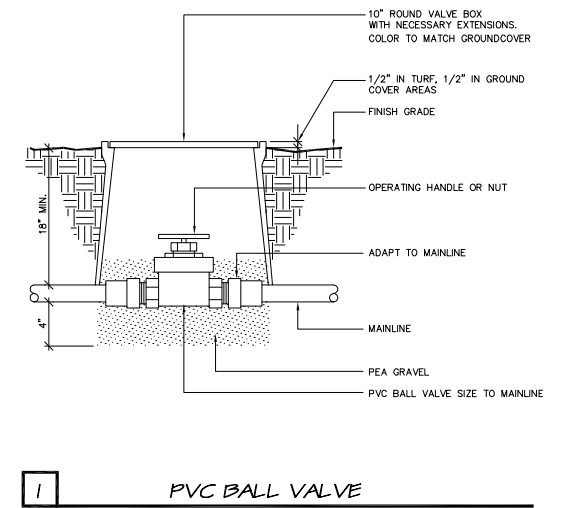
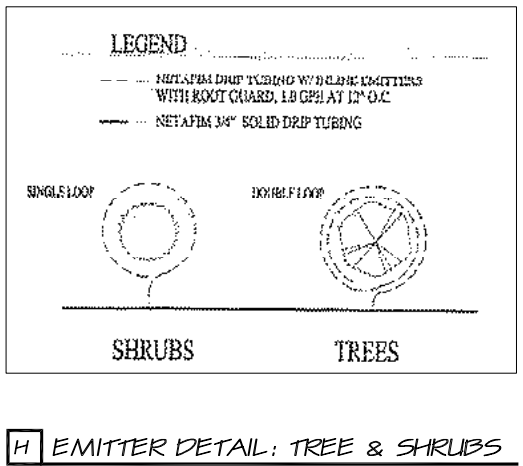
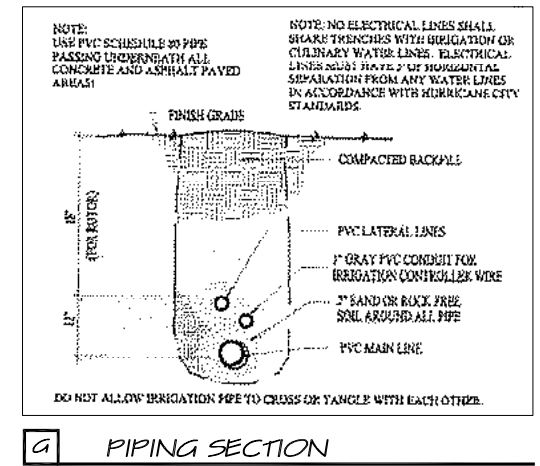
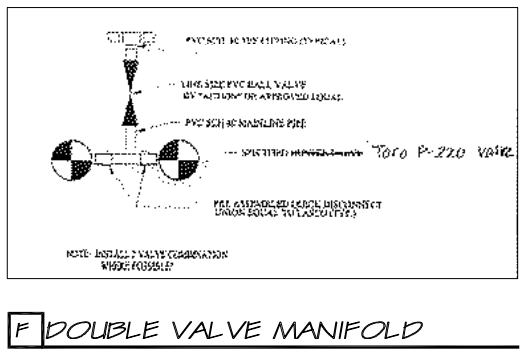
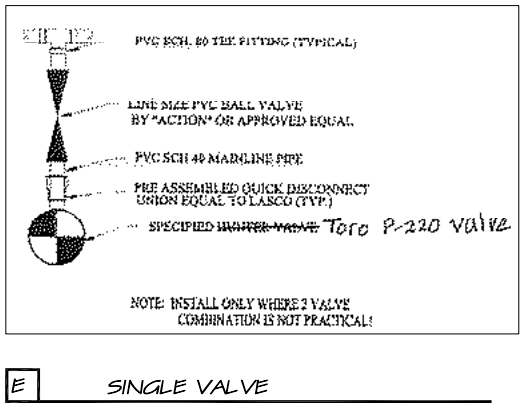
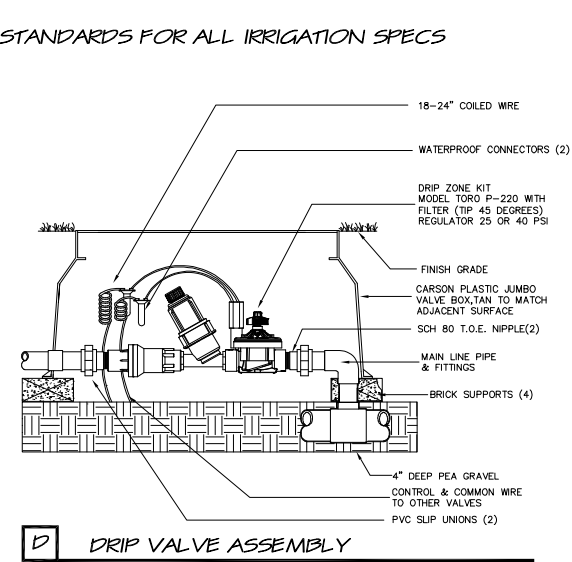
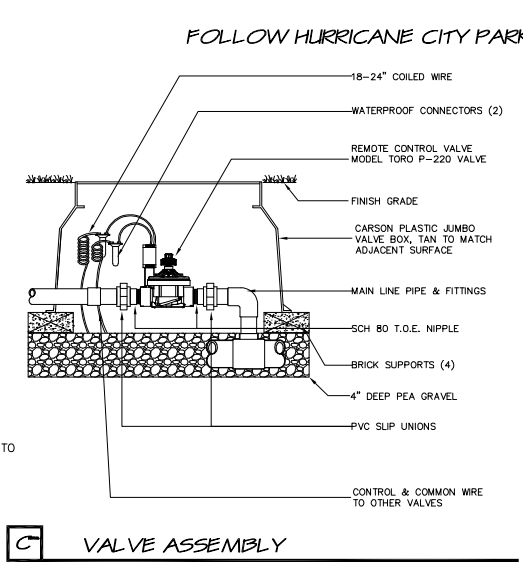
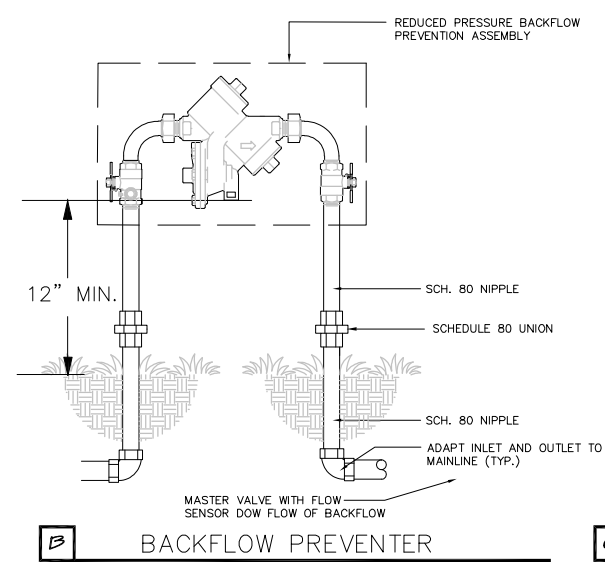
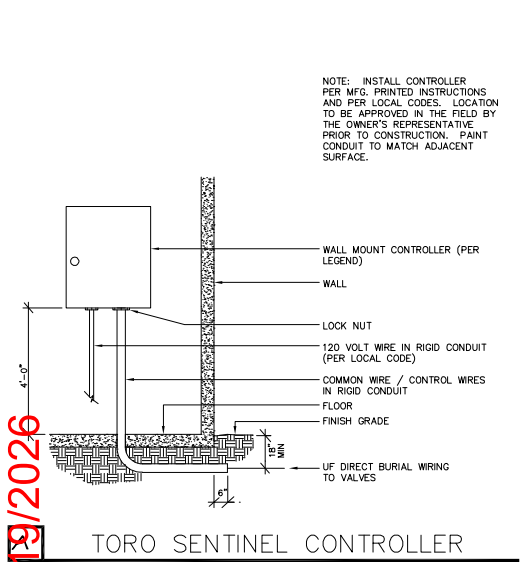
CONSULTANTS:

PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
IRRIGATION
DETAILS

DATE:
02/10/2025
JOB NO.
02102025

SHEET:
L2.04

FOLLOW HURRICANE CITY PARK STANDARDS FOR ALL IRRIGATION SPECS



PIPE SIZING - Sch. 40

Pipe Size	Flow Rate (GPM)
3/4"	0 - 8 gpm
1"	9 - 13 gpm
1.1/4"	14 - 23 gpm
1.1/2"	24 - 32 gpm
2"	33 - 53 gpm
2.1/2"	54 - 74 gpm
3"	75 - 116 gpm

PIPE SLEEVE CHART

Sleeve Size	Number of Wires	Lateral Size
1"	7	-
1.1/2"	12	-
2"	17	1/2" to 1.1/4"
2.1/2"	22	1.1/2"
4"	27	2"
4"	-	2.1/2"
6"	-	3"
8"	-	4"
12"	-	6"

VALVE SIZING

Valve Size	Flow Rate (GPM)
3/4"	0 - 20 gpm
1"	0 - 30 gpm
1.1/2"	31 - 75 gpm
2"	76 - 116 gpm

PIPE SIZING DETAIL

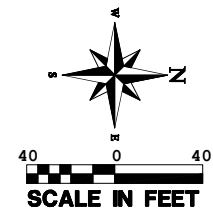
XB-20PC (Red) Barb inlet; 2.0 GPH

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM						CPH	DTL.	REMARKS	
					F	TO	TT	H	T	Q				
NOT SHOWN	NETAFIM DRIP TUBING W/ INLINE EMITTERS WITH ROOT GUARD, 1.0 GPH @ 12" ON CENTER	---	---	30								1.0		SEE DETAIL H FOR LAYOUT
●	RAINBIRD 6504 ROTOR HEAD W/ 10/12 NOZZLE	F,H,Q	54'	50	11.0				11.0					SEE DETAIL "K"
●	RAINBIRD 5000 ROTOR HEAD W/ 1.0 LA NOZZLE	F,H,Q	25'	45	1.05				1.05					SEE DETAIL "K"
●	RAINBIRD 5000 ROTOR HEAD W/ 2.0 NOZZLE	F,H,Q	35'	45	2.7				2.7					SEE DETAIL "K"
●	RAINBIRD 5000 ROTOR HEAD W/ 4.0 NOZZLE	F,H,Q	40'	45	4.01				4.01					SEE DETAIL "K"
Ⓜ	TORO SENTINEL SERIES CONTROLLER LOCKING PLASTIC CABINET WITH 120VAC TRANSFORMER													
Ⓜ	RP BACKFLOW VALVE ASSEMBLY WITH FREEZE PROTECTION PER CITY CODE													
Ⓜ	TURF VALVE : TORO P-220 2" GLOBE VALVE													
Ⓜ	DRIP VALVE ASSEMBLY: TORO P-220 1" DRIP ZONE CONTROL KIT.													
Ⓜ	TYPICAL HOSE BIB IN VALVE BOX WITH CONTROLLERS (1.5" BALL VALVE PLACED VERTICALLY IN BOX WITH HOSE ADAPTER)													
Ⓜ	AUTOMATIC END FLUSH CAP, AGRICULTURAL PRODUCTS MODEL FCH BLACK DISK, INSTALL AT THE END OF ALL DRIP LINES													
Ⓜ	2" - 4" MAINLINE, PVC SCH. 40, 18" MINIMUM COVER													
Ⓜ	LATERAL LINE, 1" PVC SCH 40 UNLESS NOTED ON IRRIGATION PLAN.													
Ⓜ	DRIP LINE, NETAFIM, 3/4" DIAMETER SOLID DRIP TUBING, COVERAGE PER DETAIL													
Ⓜ	SLEEVES, PVC SCH. 40, 2 X PIPE SIZE, 18" MINIMUM COVER													
Ⓜ	CONTROL WIRE - UF DIRECT BURIAL, SOLID COPPER, 14 GA. COMMON, 14 GA. PILOT													
Ⓜ	2" - 4" GATE VALVE													

APPROVED
02/19/2026

POWER, COMMUNICATION AND GAS PLAN FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH



LEGEND

	PROPERTY LINE		PUBLIC UTILITY EASEMENT		ASPHALT
	ADJACENT PROPERTY LINE		POWER LINE		ASPHALT TRAIL
	CENTER LINE		EXISTING POWER LINE		CONCRETE
	TRANSFORMER UNIT		LIGHT POLE		GRASS AREA
	POWER POLE		PARKING LOT LIGHT POLE		DETENTION BASIN

INFOWEST, CATV/FIBER OPTIC NOTES:

1. DEVELOPER TO PROVIDE ALL REQUIRED TRENCHING WITHIN THE PROJECT.
2. ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
3. INFOWEST WILL PROVIDE ALL CONDUITS. CALL 435-272-3559 OR EMAIL JUC@infowest.com FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH.
4. FOR COMMERCIAL PROJECTS WITH AN MD2/COMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF THE BUILDING.
5. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLAY, 435-272-3559 OR JUC@infowest.com
6. RELOCATION OF NEW OR EXISTING INFOWEST FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.

DOMINION ENERGY NOTES:

1. DEVELOPER NEEDS TO CONTACT DOMINION ENERGY PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP. ASHLEY GLANZMAN 435-218-4063.
2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
3. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COSTS. A MAP WILL BE AVAILABLE AT DOMINION ENERGY FOR CASING LOCATIONS (1155 E. 350 N., ST. GEORGE).
4. ALL OF THE 10' UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED, AT FULL 10' WIDTH, TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED. **NO RETAINING, ROCK, OR BLOCK WALLS MAY BE CONSTRUCTED ON/IN A PUE** DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.**
5. ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
6. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
7. POWER, WATER, SEWER LINES, CULVERTS OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
8. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT.
9. CONTACT J.C. HALL (435-210-0729) AT LEAST TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
10. ***IMPORTANT NOTICE** GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED. STREETS ARE WITHIN 6" OF SUBGRADE AND THE 10' UTILITY EASEMENT IS GRADED TO THE TOP BACK OF CURB.
11. HIGH PRESSURE GAS NOTE: CONTRACTOR IS REQUIRED TO CALL HIGH PRESSURE DISPATCH AT (801) 324-3370, AT LEAST 48 HOURS IN ADVANCE BEFORE WORKING WITHIN 10 FEET OF A HP GAS LINE. THIS WILL SCHEDULE A DOMINION ENERGY HIGH PRESSURE INSPECTOR TO THE PROJECT SITE.

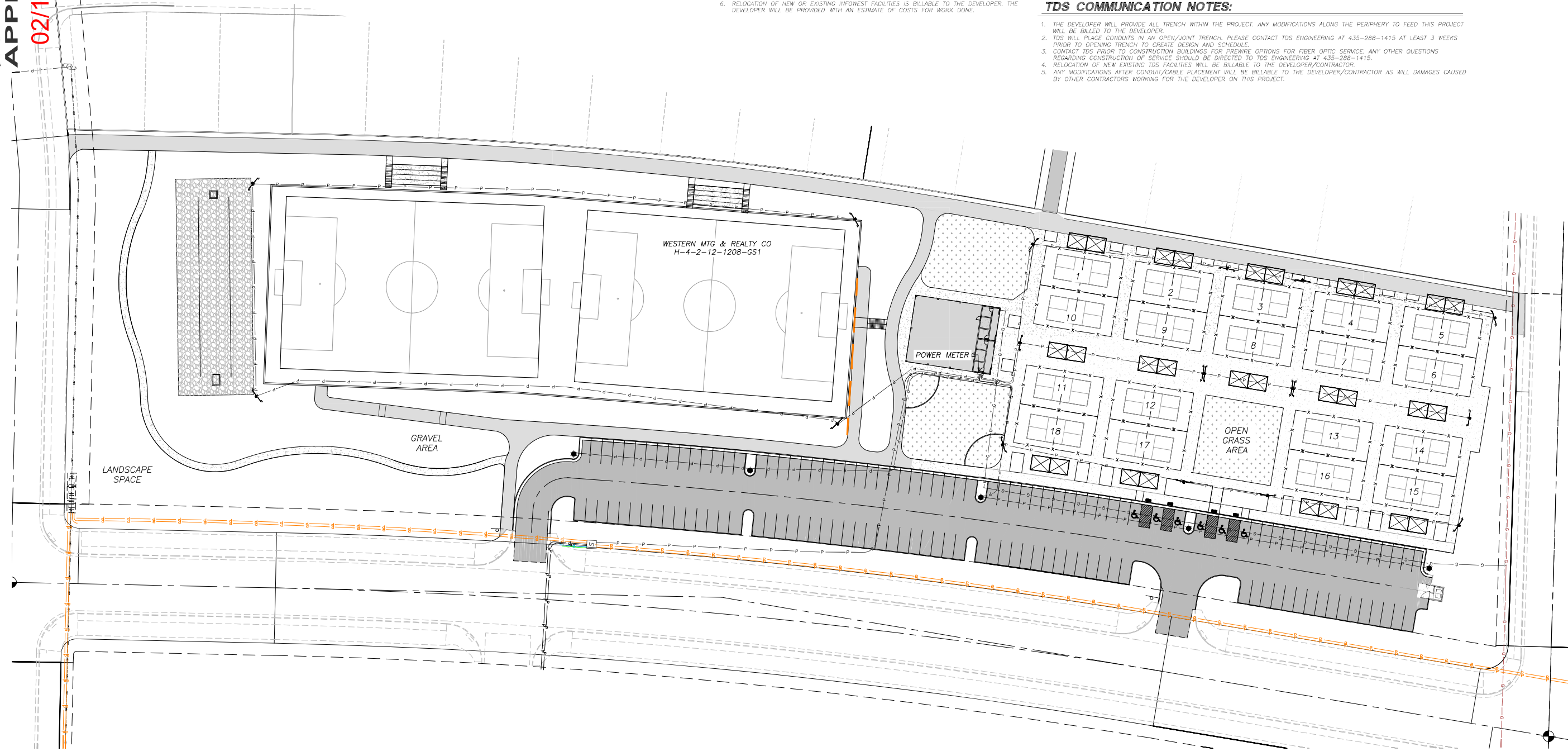
CENTURYLINK PHONE NOTES:

- CENTURYLINK INTERNET FIBER OPTIC NOTES (RESIDENTIAL):
1. DEVELOPER TO PROVIDE ALL TRENCH, BACKFILL, AND ROAD CROSSINGS.
 2. CENTURYLINK SUB CONTRACTOR (NEILS FUGAL) WILL PLACE CONDUIT IN TRENCH. CALL 435-632-6553 15 DAYS PRIOR TO REQUIRING CONDUIT TO SCHEDULE DELIVERY.
 3. ANY BREAKS/BLOCKAGES IN CONDUIT RESULTING FROM IMPROPER BACKFILL OR OTHER CONSTRUCTION/UTILITY PLACEMENT ARE THE DEVELOPER'S RESPONSIBILITY TO REPAIR AND MAY RESULT IN DELAY OF SERVICE.
 4. CONTACT CENTURYLINK ENGINEER AT 385-479-7259 OR DARRIN.ALLEN@LUMEN.COM WITH ANY QUESTIONS OR CHANGES TO JUC PLANS.
 5. ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE TO OWNER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.

TDS COMMUNICATION NOTES:

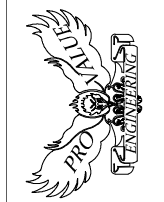
1. THE DEVELOPER WILL PROVIDE ALL TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PLACE CONDUITS IN AN OPEN/Joint TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE.
3. CONTACT TDS PRIOR TO CONSTRUCTION BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
4. RELOCATION OF NEW EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

APPROVED
02/19/2026
M. B. Lovelace



NO	REVISIONS	DATE	BY

PROVALUE,
ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84757
Phone: 435-668-9307



POWER, COMMUNICATION AND GAS PLAN FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	1"=40'
JOB NO.	336-009
SHEET NO.	

C4

336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG

TITLE SHEET FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

CONTACT INFORMATION

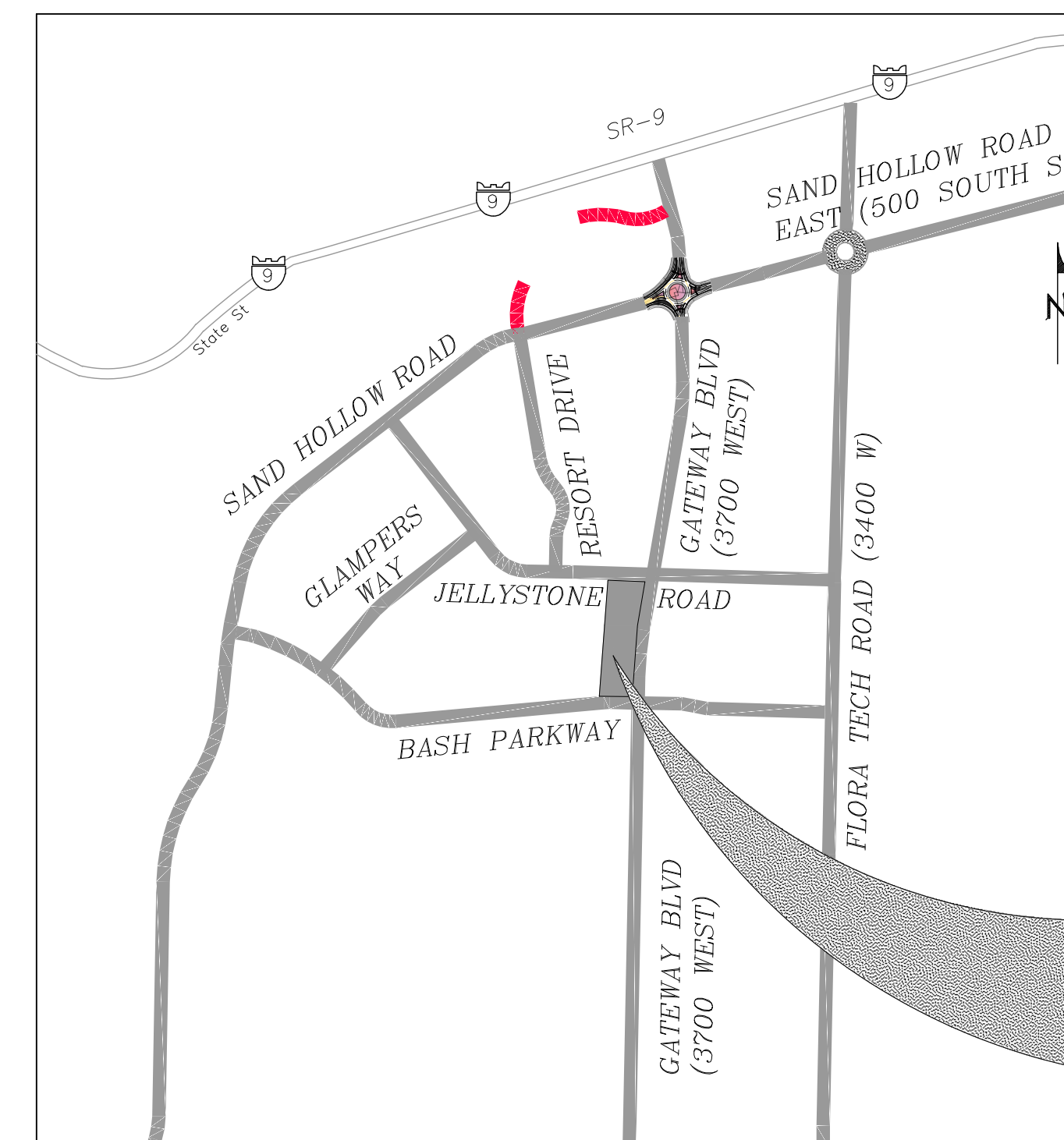
STREETS	HAYDEN ROBERTS	435-635-2811 EXT 301
PUBLIC WORKS DEPARTMENT	MIKE VERCIMAK	435-635-2811 EXT 119
ASH CREEK SEWER DISTRICT	AMBER GILLETTE	435-635-2348 EXT 110
WATER DEPARTMENT	KORY WRIGHT	435-635-9442 EXT 102
CENTURYLINK	GABRIELLA ERREGUIN	801-592-9628
TDS TELECOM	SHELLIE TURNER	435-429-9044
DOMINION ENERGY	ASHLEY GLANZMAN	435-218-4063
BUILDING DEPARTMENT	GARY CUPP	435-635-2811 EXT 118
DIXIE POWER	TODD CALICO	866-673-3297
FIRE DEPARTMENT	JOHN POSTERT	435-635-9562
PARKS DEPARTMENT	DARREN BARNEY	435-635-9665 OR 435-668-9059
HURRICANE CITY ENGINEER DEPARTMENT	ARTHUR LEBARON	435-635-2811 EXT 113
WASHINGTON C.W.C.D.	NICK STOKES	435-328-2835
GIS	MERIELLE REDWINE	435-523-4994
IRRIGATION CANAL CO.	MAC HALL	435-668-8552
INFOWEST	DALLIN PEAD	435-359-7778

SHEET INDEX

SHEET	DESCRIPTION
C1	TITLE SHEET
C2	SITE PLAN
C3	WATER, SEWER, & IRRIGATION PLAN
C4	POWER PLAN, GAS AND COMMUNICATION PLAN
C5	GRADING PLAN
C6	DRAINAGE PLAN
DT1-DT5	DETAIL SHEETS
L1.01-L2.04	ARCHITECTURAL LANDSCAPE PLANS

PARKS DEPARTMENT NOTES:

RESTROOM PLANS AND ALL PARK AMENITIES SUCH AS PAVILIONS, BENCHES, TRASH CANS, ETC. NEED TO BE APPROVED BY PARKS DEPARTMENT PRIOR TO CONSTRUCTION/ INSTALLATION.



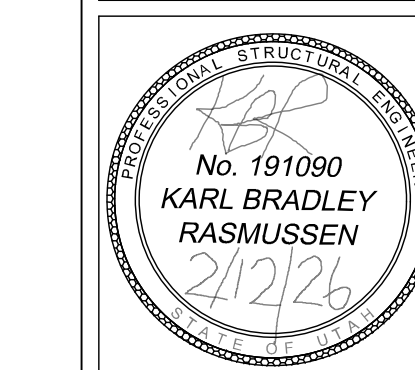
VICINITY MAP

N. T. S.

**PROJECT
LOCATION**

NO	REVISIONS DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307



TITLE SHEET FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	N. T. S.
JOB NO.	336-009
SHEET NO.	C1

APPROVED
02/19/2026

Know what's below.
Call 811 before you dig.

NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

BLUE STAKES OF UTAH
SURVEYING & ENGINEERING, INC.

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336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG

WASHINGTON COUNTY WATER CONSERVANCY DISTRICT NOTES:

1. CONTRACTOR IS REQUIRED TO CALL RYAN MAY AT (435)773-3016, AT LEAST 48 HOURS IN ADVANCE BEFORE WORKING WITHIN 10' OF A WCWD WATERLINE. THIS WILL SCHEDULE A WCWD INSPECTOR TO THE PROJECT SITE.
2. CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION. WCWD INSPECTOR IS REQUIRED TO BE ON SITE WHEN POTHOLES WITHIN 10' OF A WCWD WATERLINE.
3. ALL CHANGES TO EXISTING GRADES NEAR EXISTING WCWD WATERLINES MUST BE APPROVED BY THE DISTRICT PRIOR TO CONSTRUCTION.
4. ANY INFRASTRUCTURE RELOCATIONS ASSOCIATED WITH THE PROJECT WILL BE AT THE OWNER/DEVELOPER'S EXPENSE.
5. WCWD WATERLINES AND FACILITIES ARE TO MEET THE CURRENT WCWD SPECIFICATIONS.

CONSTRUCTION KEYNOTES:

- | | | | |
|---|----------------------------------------------|----|---------------------------------|
| 1 | INSTALL 12 FT WIDE ASPHALT TRAIL | 9 | EXISTING WATERWAY |
| 2 | INSTALL 10 FT WIDE ASPHALT TRAIL | 10 | LIGHT POLE |
| 3 | INSTALL "A" CURB | 11 | INSTALL ADA PARKING SIGN |
| 4 | PICKLEBALL COURT | 12 | INSTALL DUMPSTER ENCLOSURE |
| 5 | RESTROOMS | 13 | NATURAL PATH PER LANDSCAPE PLAN |
| 6 | INSTALL STOP SIGN | 14 | PROPOSED HANDRAILS 34-38" HIGH |
| 7 | CONCRETE SIDEWALK | | |
| 8 | INSTALL STANDARD CURB & GUTTER (TYPE HB30-7) | | |

SITE PLAN FOR: GATEWAY PARK

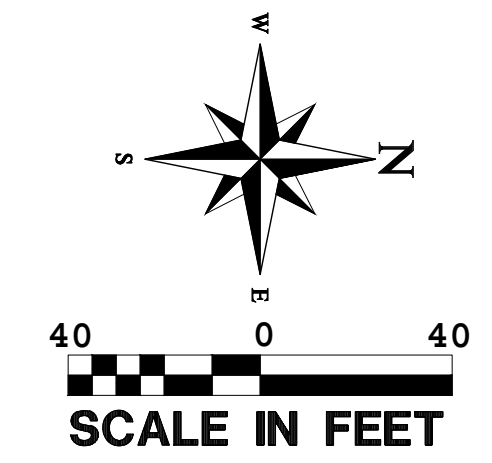
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

SITE DATA

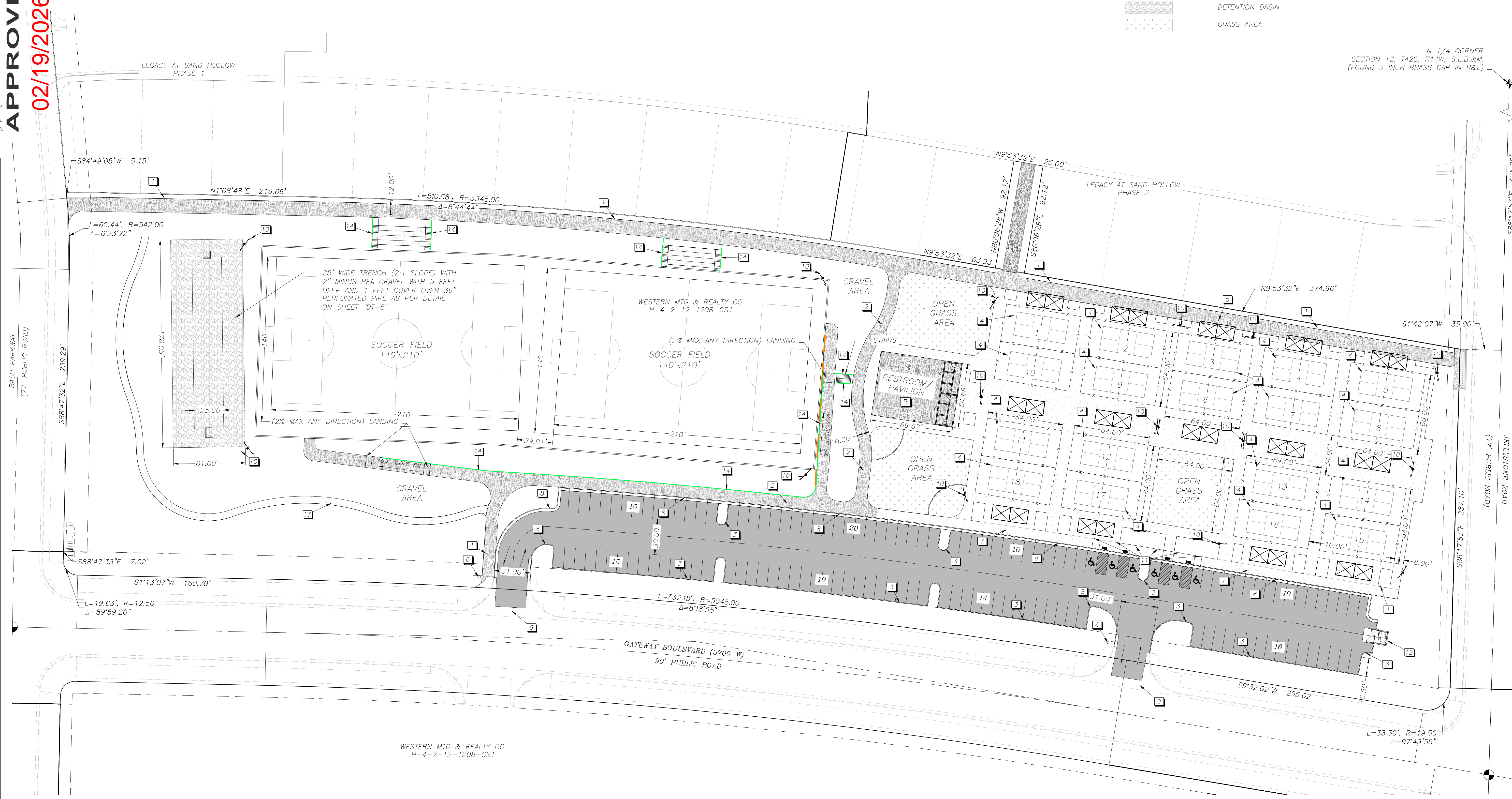
SITE DATA	
PICKLEBALL COURTS	18
PARKING STALLS	128+6 ADA STALLS
SOCCER FIELDS	2

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - SECTION LINE
- - - CENTER LINE
- - - EXISTING CURB AND GUTTER
- - - PROPOSED CURB AND GUTTER
- - - PUBLIC UTILITY EASEMENT
- INSTALL HANDRAILS
- ADA RAMP
- ADA PARKING STALL
- SHADED STRUCTURES W/ BENCH
- INGRESS AND EGRESS DIRECTIONS
- ASPHALT
- ASPHALT TRAIL
- CONCRETE
- DETENTION BASIN
- GRASS AREA



APPROVED
 02/19/2026
M. K. Hancock



NO	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 20 South 850 West, Suite 1
 Hurricane City, Utah 84737
 Phone: 435-668-8307

PROVALUE ENGINEERING, INC.
 No. 191090
 KARL BRADLEY RASMUSSEN
 2/12/26

SITE PLAN FOR:
GATEWAY PARK
 LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
 HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	1"=40'
JOB NO.	336-009
SHEET NO.	

336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG
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ASH CREEK SEWER DISTRICT NOTES:

- SEWER IS TO MEET THE CURRENT ASH CREEK SPECIAL DISTRICT (DISTRICT) CONSTRUCTION STANDARD.
- PRIOR TO COMPLETION OF THE PROJECT PROVIDE A COPY OF THE GEOTECHNICAL REPORT AND THE COMPACTION TEST RESULTS TO THE DISTRICT.
- PRIOR TO COMPLETION OF THE PROJECT PROVIDE A PDF AND A 2'X3' PLAN SHEET DRAWING OF RECORD TO THE DISTRICT. THE DRAWING OF RECORD SHOULD INCLUDE A DISTANCE FROM THE NEAR SIDE OF PROPERTY LINE TO THE SEWER LATERAL MARKER, ALSO INCLUDE ANY CHANGES TO SEWER MAIN LINE SLOPES AND DEPTHS.
- THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN AND TEST THE SEWER LINES AFTER ALL UTILITIES HAVE BEEN INSTALLED BUT PRIOR TO ASPHALT PLACEMENT. THE FOLLOWING TESTS WILL NEED TO BE COMPLETED BY THE CONTRACTOR: MANDREL TEST- AIR TEST AND CLOSED-CIRCUIT CAMERA INSPECTION. CAMERA INSPECTION PROVIDED BY THE DISTRICT CAN BE SCHEDULED WITH THE DISTRICT REPRESENTATIVE. TUESDAYS OR THURSDAYS ARE GENERALLY WHEN THE DISTRICT CAN PERFORM THIS CAMERA WORK.
- DURING CONSTRUCTION ALL SEWER LINES NEED TO BE CAPPED OR SEALED TO PROTECT THE SEWER SYSTEM FROM FLOODING OR RAIN EVENTS.

HURRICANE VALLEY FIRE DISTRICT NOTES:

- PLACEMENT OF FIRE HYDRANTS MUST MEET IFG-2012
- BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
- CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.

WASHINGTON COUNTY WATER CONSERVANCY DISTRICT NOTES:

- CONTRACTOR IS REQUIRED TO CALL RYAN NAY AT (435)773-3016, AT LEAST 48 HOURS IN ADVANCE BEFORE WORKING WITHIN 10' OF A WCWD WATERLINE. THIS WILL SCHEDULE A WCWD INSPECTOR TO THE PROJECT SITE.
- CONTRACTOR SHALL POthOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION. WCWD INSPECTOR IS REQUIRED TO BE ON SITE WHEN POTHOLES WITHIN 10' OF A WCWD WATERLINE.
- ALL CHANGES TO EXISTING GRADES NEAR EXISTING WCWD WATERLINES MUST BE APPROVED BY THE DISTRICT PRIOR TO CONSTRUCTION.
- ANY INFRASTRUCTURE RELOCATIONS ASSOCIATED WITH THE PROJECT WILL BE AT THE OWNER/DEVELOPER'S EXPENSE.
- WCWD WATERLINES AND FACILITIES ARE TO MEET THE CURRENT WCWD SPECIFICATIONS.

CITY WATER NOTES:

- ALL WATERLINE WORKS MUST BE INSTALLED BY A LICENSED AND INSURED CONTRACTOR THAT IS APPROVED BY HURRICANE CITY.
- ALL CONSTRUCTION SHALL CONFORM TO THE "HURRICANE CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND THE "INTERNATIONAL BUILDING CODE" LATEST EDITION AS ADMINISTERED BY HURRICANE CITY.
- CONTRACTOR SHALL POthOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
- THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACK FLOW PER "THE INTERNATIONAL PLUMBING CODE (IPC)" SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
- ALL BACK FLOW ASSEMBLY INSTALLATION AND TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE HURRICANE CITY BACK FLOW ORDINANCE (TITLE 8 CHAPTER 3).
- THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK OR JOINT RESTRAINT GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE. NO CONCRETE THRUST BLOCKS ARE ALLOWED WITHOUT WATER DEPARTMENT APPROVAL.
- ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
- CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UN-USED STUB LINES THAT WILL BE ABANDONED.
- ANY CHANGE MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE HURRICANE CITY WATER SERVICES DEPARTMENT.
- ALL NEW FIRE HYDRANTS SHALL BE INSTALLED AT THE CORRECT HEIGHT. EXTENSIONS WILL NOT BE ALLOWED.
- INTERRUPTION OF EXISTING WATER SERVICE WHILE MAKING CONNECTIONS TO EXISTING WATER MAINS SHALL NOT BE ALLOWED WITHOUT SPECIAL APPROVAL OF THE CITY. A MINIMUM OF 48 HOURS NOTICE TO THE CITY SHALL BE REQUIRED BEFORE MAKING CONNECTIONS. CONNECTIONS TO THE EXISTING INFRASTRUCTURE SHALL BE DONE DURING THE TIME OF LEAST INCONVENIENCE TO CUSTOMERS OF EXISTING SYSTEM. INTERRUPTIONS OF SERVICE SHALL BE LIMITED TO LESS THAN FOUR (4) HOURS PER 24 HOUR PERIOD. CONTRACTOR SHALL NOTIFY ALL CUSTOMERS WHO WILL BE AFFECTED BY SERVICE INTERRUPTION AT LEAST 24 HOURS PRIOR TO THE INTERRUPTIONS OF SERVICE.
- TEMPORARY CONSTRUCTION WATER MAY BE OBTAINED FROM AN EXISTING FIRE HYDRANT BY MAKING APPLICATION AT THE HURRICANE CITY WATER SERVICES DEPARTMENT OFFICE. UNAUTHORIZED CONNECTIONS TO THE CITY'S WATER SYSTEM IS A VIOLATION AND SUBJECT TO LEGAL ACTION.
- THE EXISTENCE AND LOCATION OF WATER FACILITIES SHOWN ON THE CONSTRUCTION DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF THE DESIGN ENGINEER'S KNOWLEDGE, THE EXISTING WATER FACILITIES ARE AS SHOWN ON THE PLANS. HURRICANE CITY SHALL NOT BE HELD RESPONSIBLE FOR ANY ERROR IN THE LOCATION AND ELEVATION OF THE EXISTING WATER FACILITIES.
- GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL BE BROUGHT UP AT EACH WATER VALVE BOX AND HYDRANT.

**SEWER, WATER AND IRRIGATION PLAN FOR:
GATEWAY PARK**

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

CONSTRUCTION NOTES:

WATER (1-10):

- INSTALL 8" WATERLINE
- EXISTING 12" WATERLINE
- INSTALL FIRE HYDRANT, 6" GATE VALVE, & 8" TO 6" REDUCER
- INSTALL 5/8 INCH WATER METER

SEWER (11-20):

- EXISTING SEWER MANHOLE
- EXISTING SEWER MAIN
- INSTALL 4"Ø SEWER LATERAL
- INSTALL SEWER CLEANOUT
- INSTALL 60"Ø SEWER MANHOLE
- INSTALL GREASE INTERCEPTOR, SEE SHEET DT-5

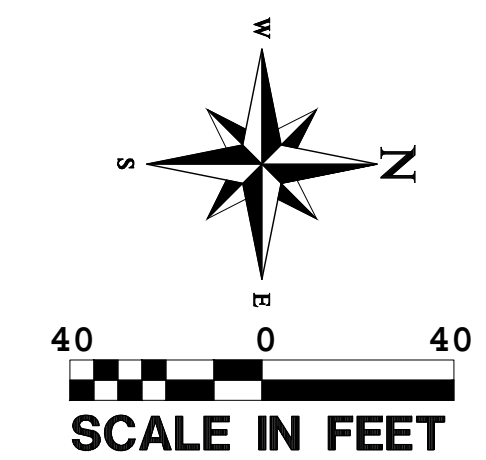
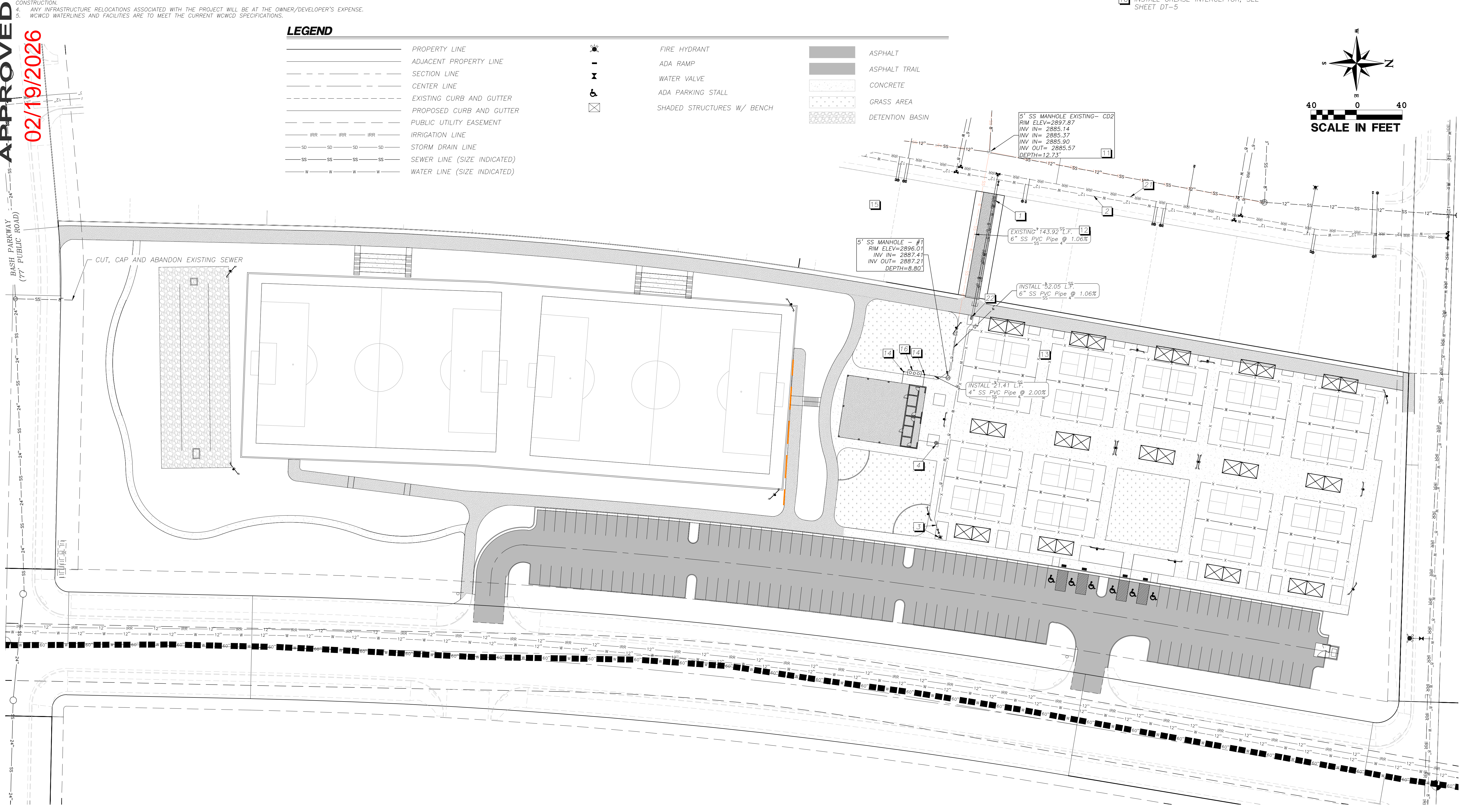
IRRIGATION (21-30):

- EXISTING 10" IRRIGATION MAIN
- 3 INCH IRRIGATION METER TIE TO EXISTING IRRIGATION, REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR IRRIGATION DESIGN

LEGEND

	PROPERTY LINE		FIRE HYDRANT		ASPHALT
	ADJACENT PROPERTY LINE		ADA RAMP		ASPHALT TRAIL
	SECTION LINE		WATER VALVE		CONCRETE
	CENTER LINE		ADA PARKING STALL		GRASS AREA
	EXISTING CURB AND GUTTER		SHADED STRUCTURES W/ BENCH		DETENTION BASIN
	PROPOSED CURB AND GUTTER				
	PUBLIC UTILITY EASEMENT				
	IRRIGATION LINE				
	STORM DRAIN LINE				
	SEWER LINE (SIZE INDICATED)				
	WATER LINE (SIZE INDICATED)				

APPROVED
02/19/2026



NO	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

SEWER, WATER AND IRRIGATION PLAN FOR:
GATEWAY PARK

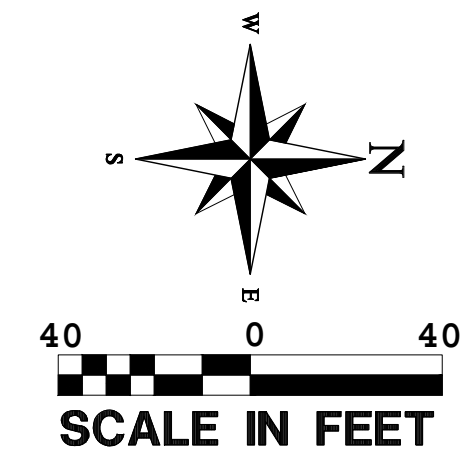
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE 02/12/2026
SCALE 1"=40'
JOB NO. 336-009
SHEET NO. 33

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336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG

POWER, COMMUNICATION AND GAS PLAN FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.8M.
WASHINGTON COUNTY, UTAH



LEGEND

	PROPERTY LINE		PUBLIC UTILITY EASEMENT		ASPHALT
	ADJACENT PROPERTY LINE		POWER LINE		ASPHALT TRAIL
	CENTER LINE		EXISTING POWER LINE		CONCRETE
	TRANSFORMER UNIT		EXISTING POWER LINE		GRASS AREA
	LIGHT POLE		EXISTING POWER LINE		DETENTION BASIN
	POWER POLE				
	PARKING LOT LIGHT POLE				

INFOWEST, CATV/FIBER OPTIC NOTES:

1. DEVELOPER TO PROVIDE ALL REQUIRED TRENCHING WITHIN THE PROJECT.
2. ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
3. INFOWEST WILL PROVIDE ALL CONDUITS. CALL 435-272-3559 OR EMAIL JUC@infowest.com FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH.
4. FOR COMMERCIAL PROJECTS WITH AN MDF/COMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF THE BUILDING.
5. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLAY, 435-272-3559 OR JUC@infowest.com
6. RELOCATION OF NEW OR EXISTING INFOWEST FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.

DOMINION ENERGY NOTES:

1. DEVELOPER NEEDS TO CONTACT DOMINION ENERGY PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP. ASHLEY GLANZMAN 435-218-4063.
2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
3. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COSTS. A MAP WILL BE AVAILABLE AT DOMINION ENERGY FOR CASING LOCATIONS (1159 E. 350 N., ST. GEORGE).
4. ALL OF THE 10' UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED, AT FULL 10' WIDTH, TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED. **NO RETAINING, ROCK, OR BLOCK WALLS MAY BE CONSTRUCTED ON/IN A PUE** DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.**
5. ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
6. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
7. POWER, WATER, SEWER LINES, CULVERTS OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
8. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT.
9. CONTACT J.C. HALL (435-210-0729) AT LEAST TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
10. ***IMPORTANT NOTICE*** GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED. STREETS ARE WITHIN 6" OF SUBGRADE AND THE 10' UTILITY EASEMENT IS GRADED TO THE TOP BACK OF CURB.
11. HIGH PRESSURE GAS NOTE: CONTRACTOR IS REQUIRED TO CALL HIGH PRESSURE DISPATCH AT (801) 324-3370, AT LEAST 48 HOURS IN ADVANCE BEFORE WORKING WITHIN 10 FEET OF A HP GAS LINE. THIS WILL SCHEDULE A DOMINION ENERGY HIGH PRESSURE INSPECTOR TO THE PROJECT SITE.

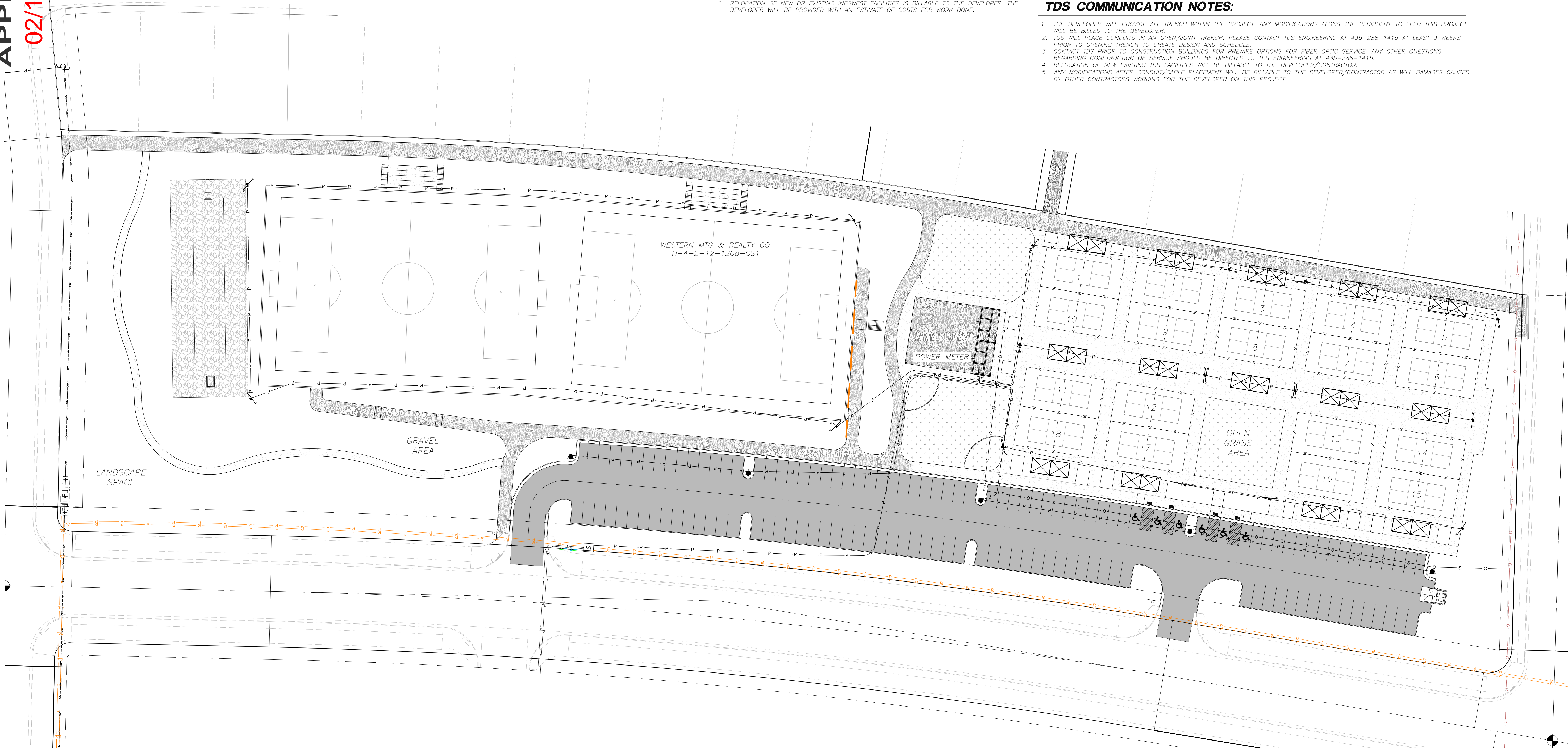
CENTURYLINK PHONE NOTES:

- CENTURYLINK INTERNET FIBER OPTIC NOTES (RESIDENTIAL):
1. DEVELOPER TO PROVIDE ALL TRENCH, BACKFILL, AND ROAD CROSSINGS.
 2. CENTURYLINK SUB CONTRACTOR (NIELS FUGAL) WILL PLACE CONDUIT IN TRENCH. CALL 435-632-6553 15 DAYS PRIOR TO REQUIRING CONDUIT SCHEDULE DELIVERY.
 3. ANY BREAKS/BLOCKAGES IN CONDUIT RESULTING FROM IMPROPER BACKFILL OR OTHER CONSTRUCTION/UTILITY PLACEMENT ARE THE DEVELOPER'S RESPONSIBILITY TO REPAIR AND MAY RESULT IN DELAY OF SERVICE.
 4. CONTACT CENTURYLINK ENGINEER AT 385-479-7339 OR DARRIN.ALLEN@LUMEN.COM WITH ANY QUESTIONS OR CHANGES TO JUC PLANS
 5. ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE 100% TO OWNER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.

TDS COMMUNICATION NOTES:

1. THE DEVELOPER WILL PROVIDE ALL TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PLACE CONDUITS IN AN OPEN/JOINT TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE.
3. CONTACT TDS PRIOR TO CONSTRUCTION BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
4. RELOCATION OF NEW EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

APPROVED
 02/19/2026
M. K. Vance



NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 20 South 850 West, Suite 1
 Hurricane City, Utah 84737
 Phone: 435-666-8307

POWER, COMMUNICATION AND GAS PLAN FOR:
GATEWAY PARK
 LOCATED IN SECTION 12, T42S, R14W, S.L.B.8M.
 HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	1"=40'
JOB NO.	336-009
SHEET NO.	C4

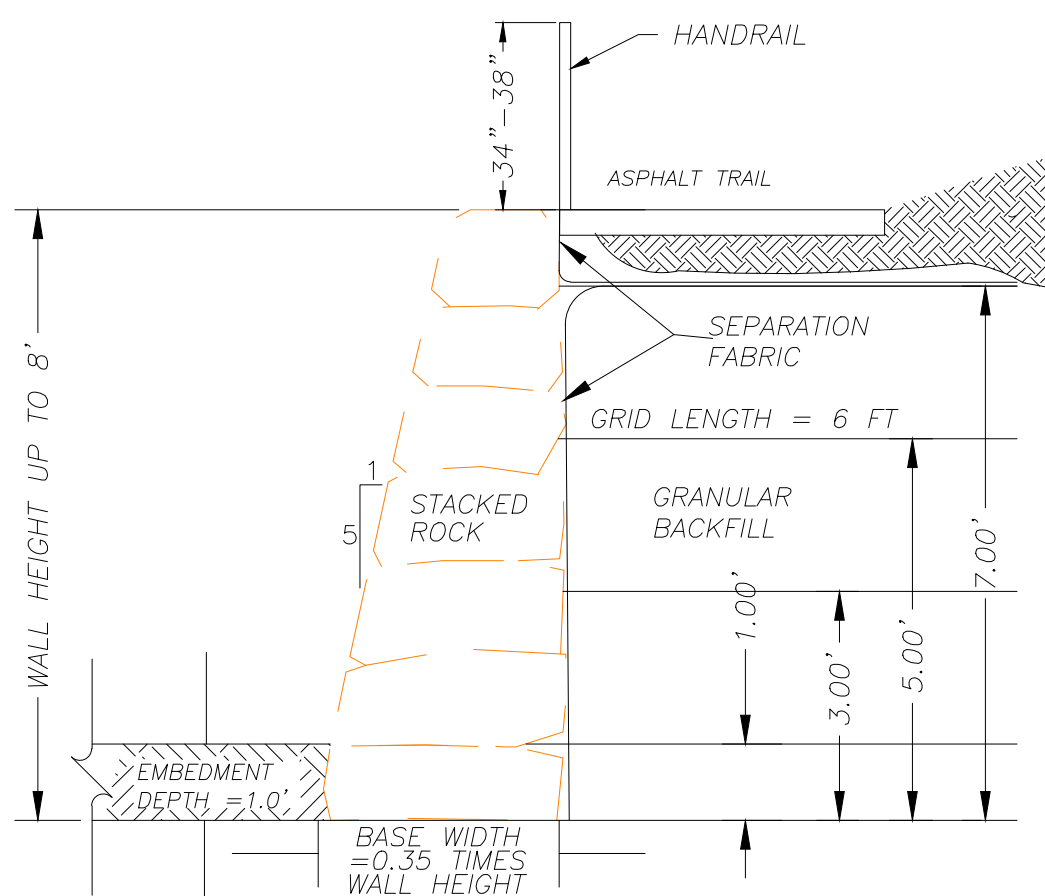
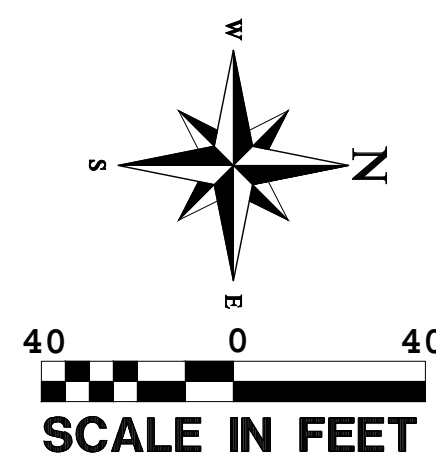
336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG
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GRADING PLAN FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

LEGEND

	PROPERTY LINE		ASPHALT
	ADJACENT PROPERTY LINE		ASPHALT TRAIL
	SECTION LINE		CONCRETE
	CENTER LINE		GRASS AREA
	EXISTING CURB AND GUTTER		DETENTION BASIN
	MAJOR CONTOUR - EXISTING		
	MINOR CONTOUR - EXISTING		
	MAJOR CONTOUR - PROPOSED		
	MINOR CONTOUR - PROPOSED		
	PROPOSED CURB AND GUTTER		
	PUBLIC UTILITY EASEMENT		
	ROCK RETAINING WALL		



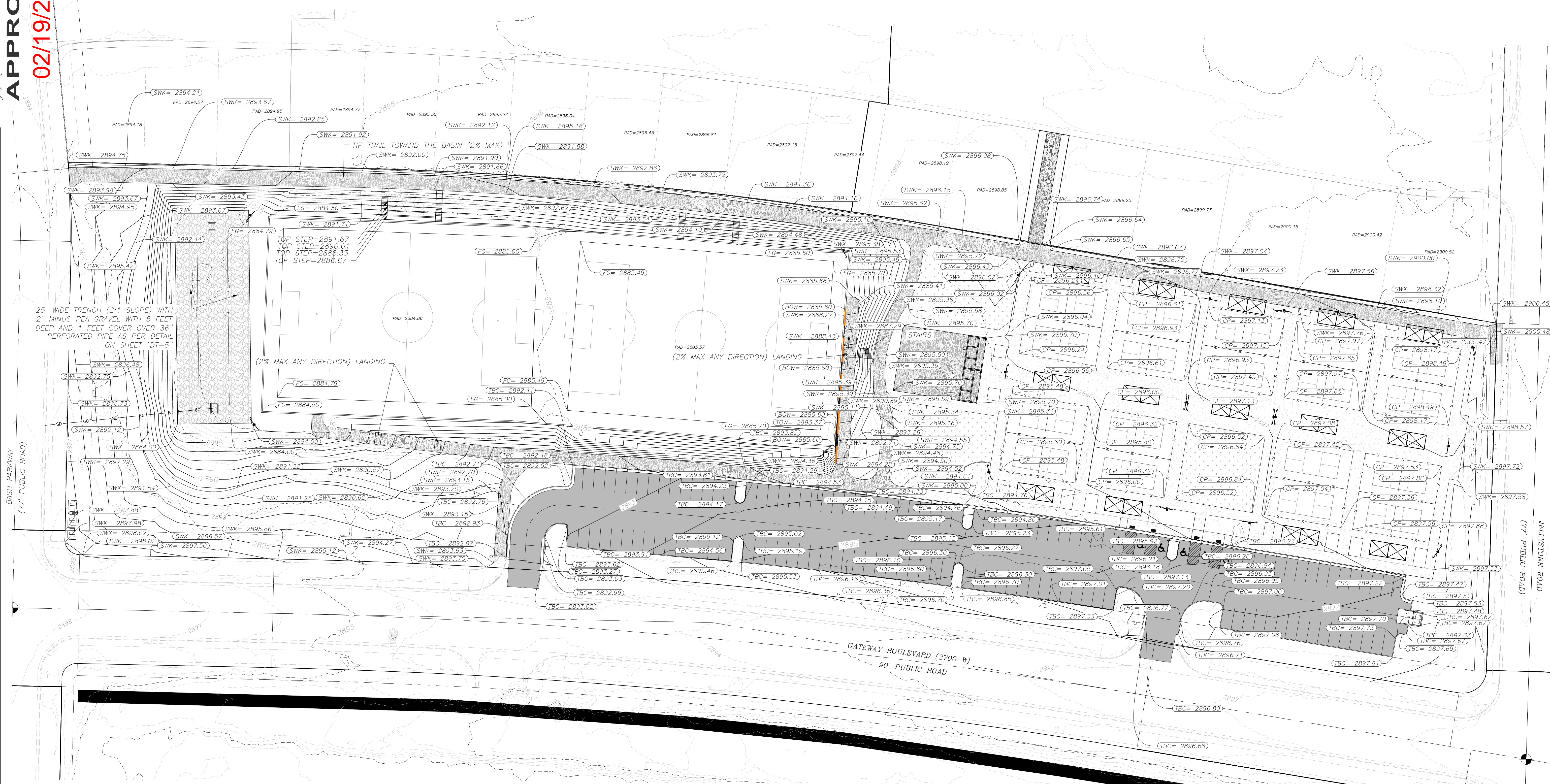
1. MINIMUM SETBACK OF STRUCTURAL LOADS FROM THE BACKSIDE OF UPPERWALL IS 6 FEET.
2. GEOGRID TO BE HUESKER 35/20-20 OR EQUIVALENT.
3. GEOGRIDS SHOULD BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND THE BACKFILL SOIL SHOULD BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557. AT LEAST 2 TESTS PER 100 FEET OF WALL LENGTH FOR EACH 2 FEET OF BACKFILL SHALL BE TAKEN.
4. BACKFILL SOIL TO BE SILTY SAND OR SIMILAR GRANULAR MATERIAL.
5. THE CONTRACTOR SHALL HAVE SUFFICIENT ROCK AVAILABLE SUCH THAT SUITABLE SIZED ROCK CAN BE SELECTED FOR EACH SPACE IN THE ROCK WALL. INTERNAL VOID SPACE SHALL BE KEPT A MINIMUM.
6. FOR TABULAR ROCKS THE LONG DIMENSIONS SHALL BE INSTALLED PARALLEL WITH THE GROUND SURFACE.
7. CARE SHOULD BE TAKEN TO KEEP SOIL AND GRAVEL OFF OF THE BEARING SURFACES BEFORE THE NEXT ROCK IS PUT IN PLACE. WHENEVER POSSIBLE EACH ROCK SHOULD BEAR ON AT LEAST TWO ROCKS BELOW IT.
8. ROCKS PLACED AT THE TOP OF THE WALL SHOULD BE HEAVY ENOUGH OR OTHERWISE PLACED SUCH THAT THEY CANNOT BE EASILY DISLODGED FROM THEIR POSITION.
9. ROCK SHALL BE PLACED TO GRADUALLY DECREASE IN SIZE WITH INCREASING WALL HEIGHT.
10. SLOPING BACKFILL, SURCHARGE LOADS, OR CLAYEY BACKFILL MAY REQUIRE ALTERATION OF THE WALL DESIGN.
11. ROCK TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
12. BOTTOM ROCK TO BE ESTABLISHED ON FIRM SOIL WITH MINIMUM 1.0 FT EMBANKMENT.
13. SOIL AT THE TOE OF THE WALL TO REMAIN LEVEL FOR AT LEAST 5 FEET PAST THE TOE.

ROCK WALL DETAIL

NOT TO SCALE

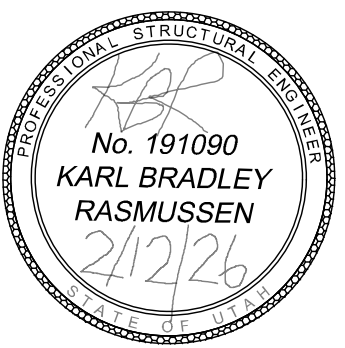
APPROVED 02/19/2026

M. K. Vance



NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307



GRADING PLAN FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	1"=40'
JOB NO.	336-009
SHEET NO.	CS

336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG

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DRAINAGE PLAN FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
WASHINGTON COUNTY, UTAH

CONSTRUCTION KEYNOTES:

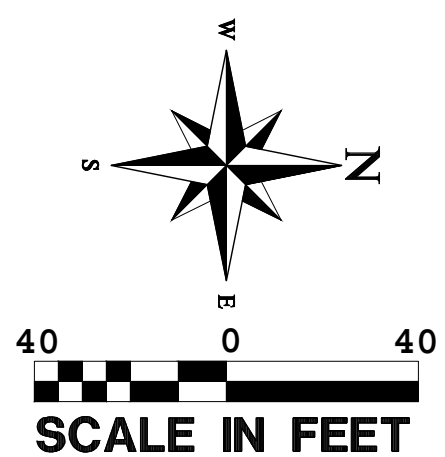
- 1 EXISTING SD PIPE (SIZE SHOWN)
- 2 EXISTING CUSTOM BOX
- 3 SOCCER COURTS
- 4 PICKLEBALL COURT
- 5 RESTROOMS
- 6 ROCK RETAINING WALL

BASIN NOTES:

REQUIRED DETENTION VOLUME 11.5 ACRE-FT
PROVIDED DETENTION VOLUME 15.06 ACRE-FT
TOP OF WATER ELEVATION= 2891.00 FEET
BOTTOM OF BASIN ELEVATION= 2885.00

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- CENTER LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- MAJOR CONTOUR - EXISTING
- PUBLIC UTILITY EASEMENT
- STORM DRAIN LINE
- MINOR CONTOUR - EXISTING
- ROCK RETAINING WALL
- INUNDATION AREA
- ADA RAMP
- ADA PARKING STALL
- SHADED STRUCTURES W/ BENCH
- ASPHALT
- ASPHALT TRAIL
- CONCRETE
- GRASS AREA
- DETENTION BASIN



M. K. Vance
APPROVED
 02/19/2026



NO	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 20 South 850 West, Suite 1
 Hurricane City, Utah 84737
 Phone: 435-668-8307

No. 191090
KARL BRADLEY RASMUSSEN
 2/12/26

DRAINAGE PLAN FOR:
GATEWAY PARK
 LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
 HURRICANE CITY, WASHINGTON COUNTY, UTAH

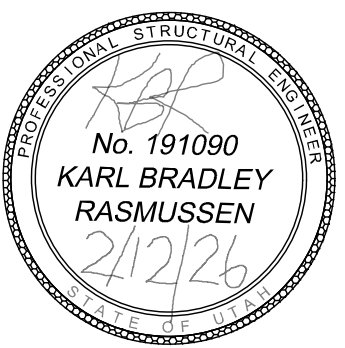
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SCALE	1"=40'
JOB NO.	336-009
SHEET NO.	66

DETAIL SHEET FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

NO	REVISIONS	DESCRIPTION	DATE	BY

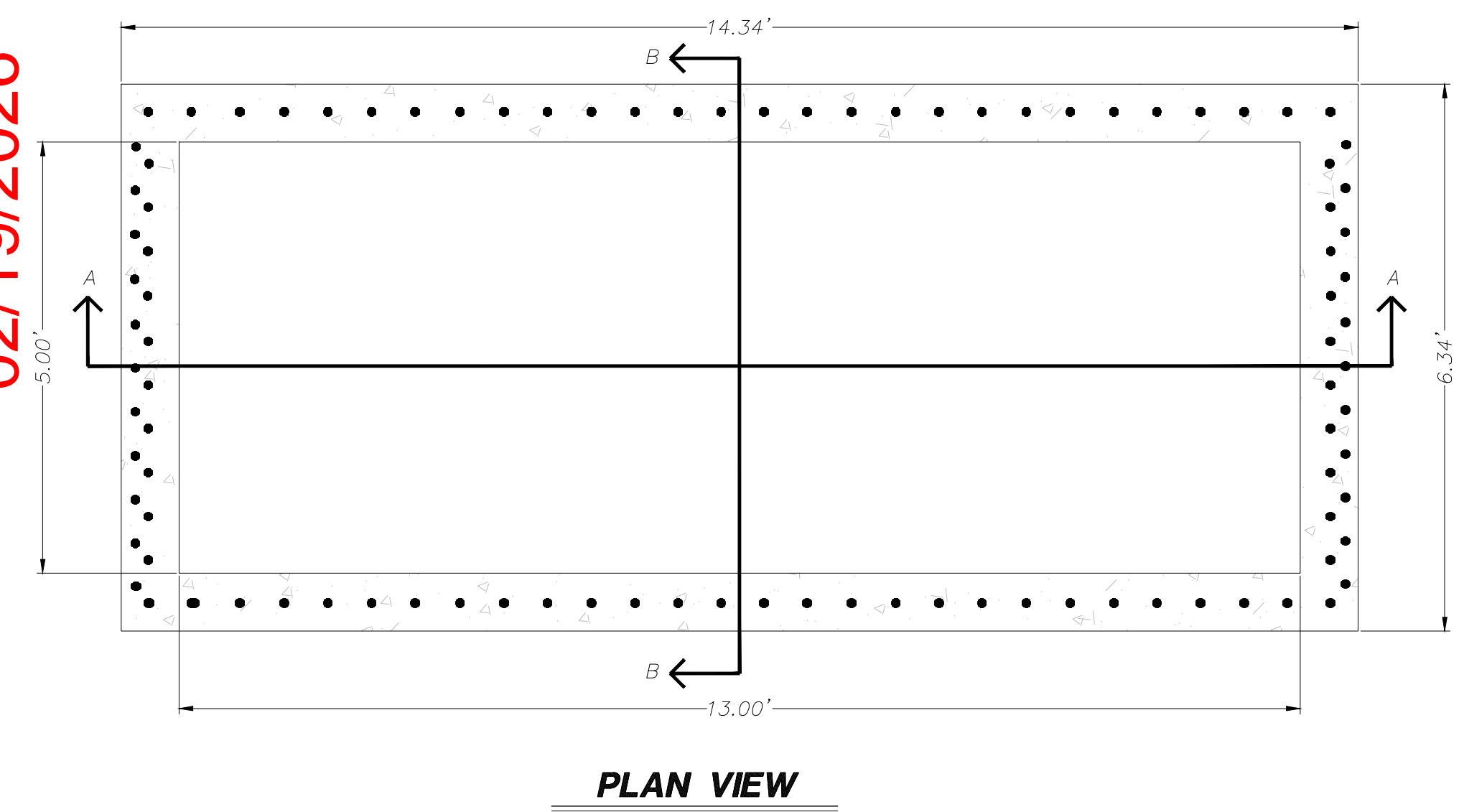
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ENGINEERING, INC.
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20 South 850 West, Suite 1
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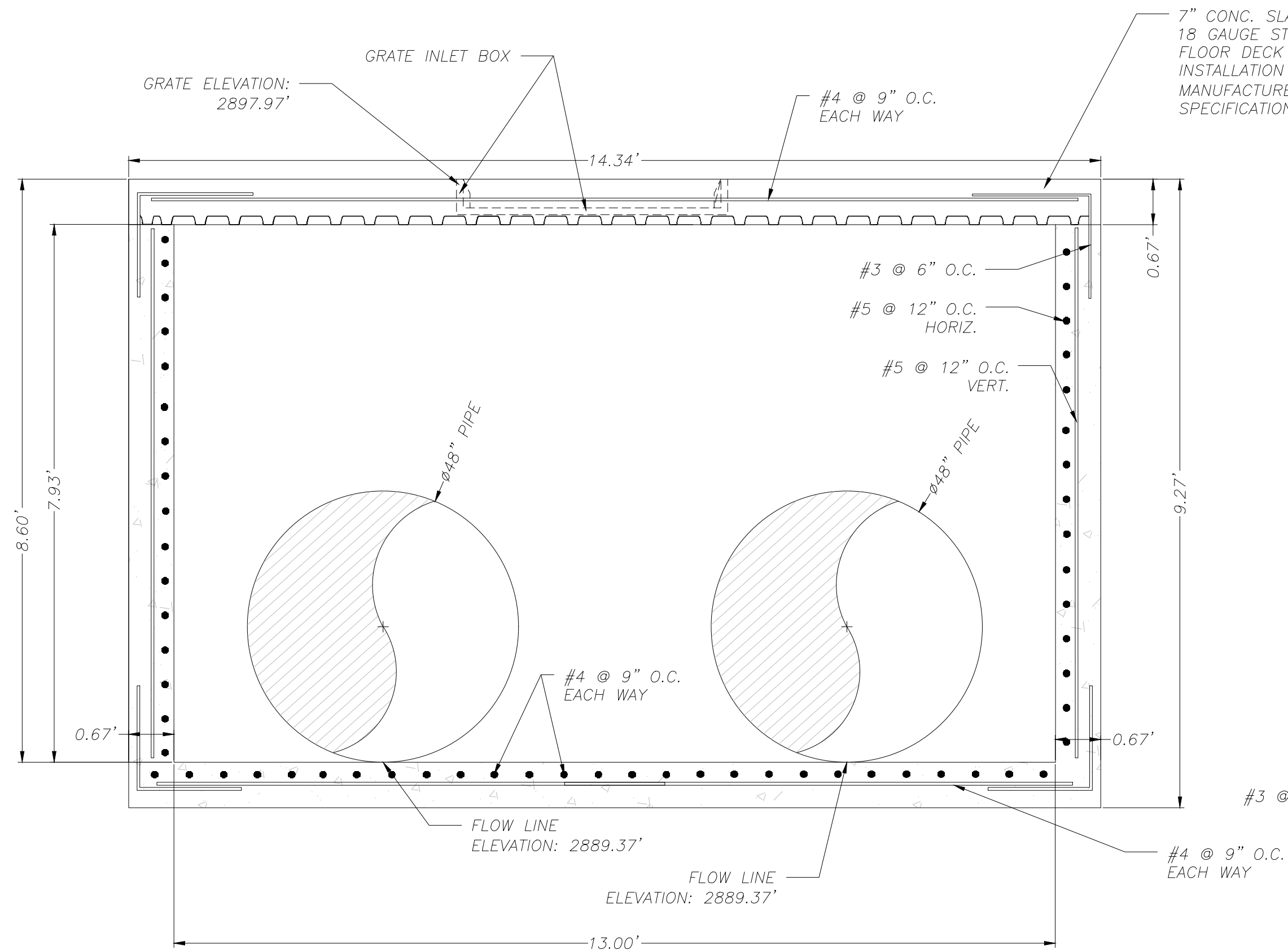
DETAIL SHEET FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	N.T.S.
JOB NO.	336-009
SHEET NO.	DT-1

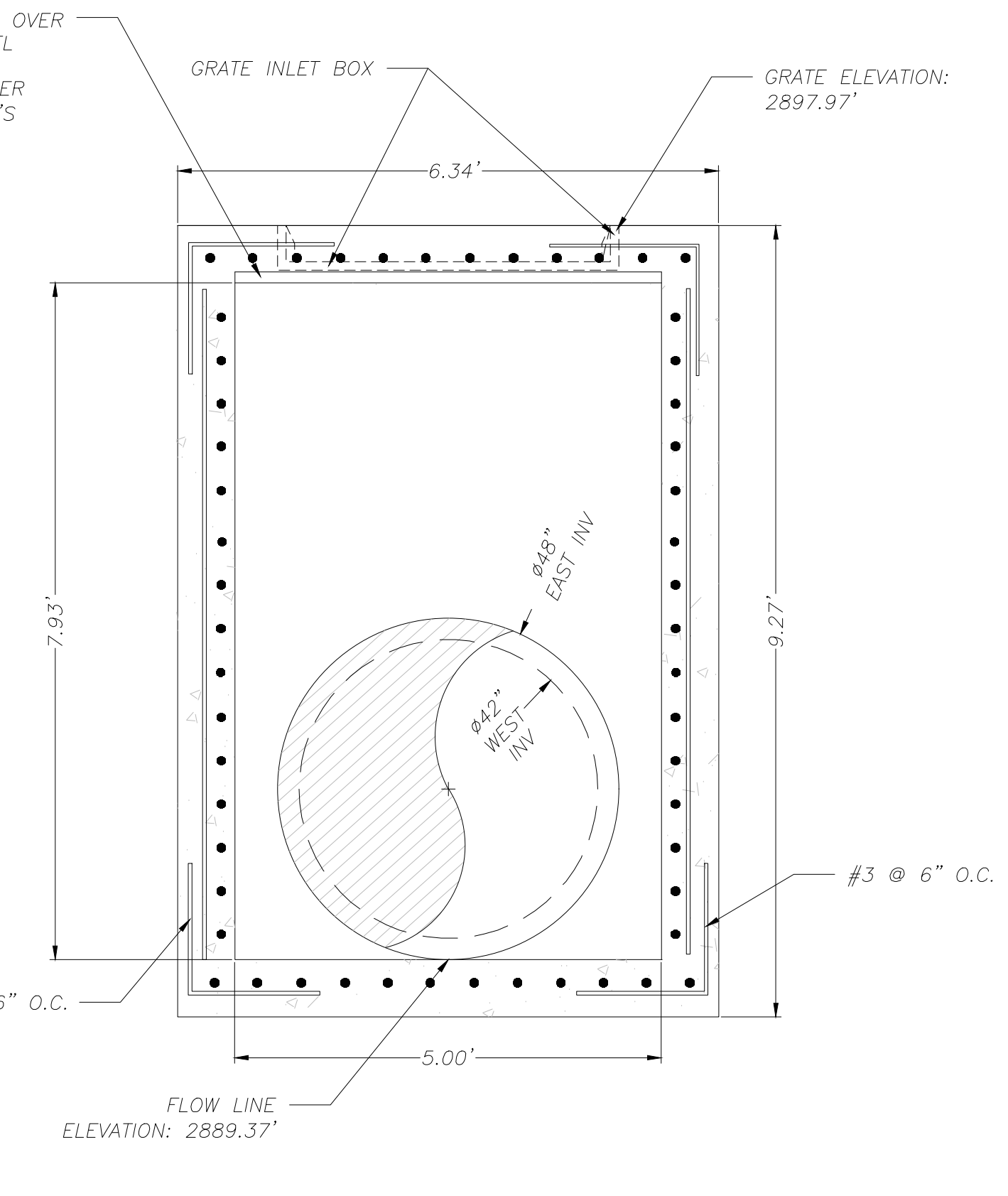
M. R. Rasmussen
APPROVED
 02/19/2026



PLAN VIEW



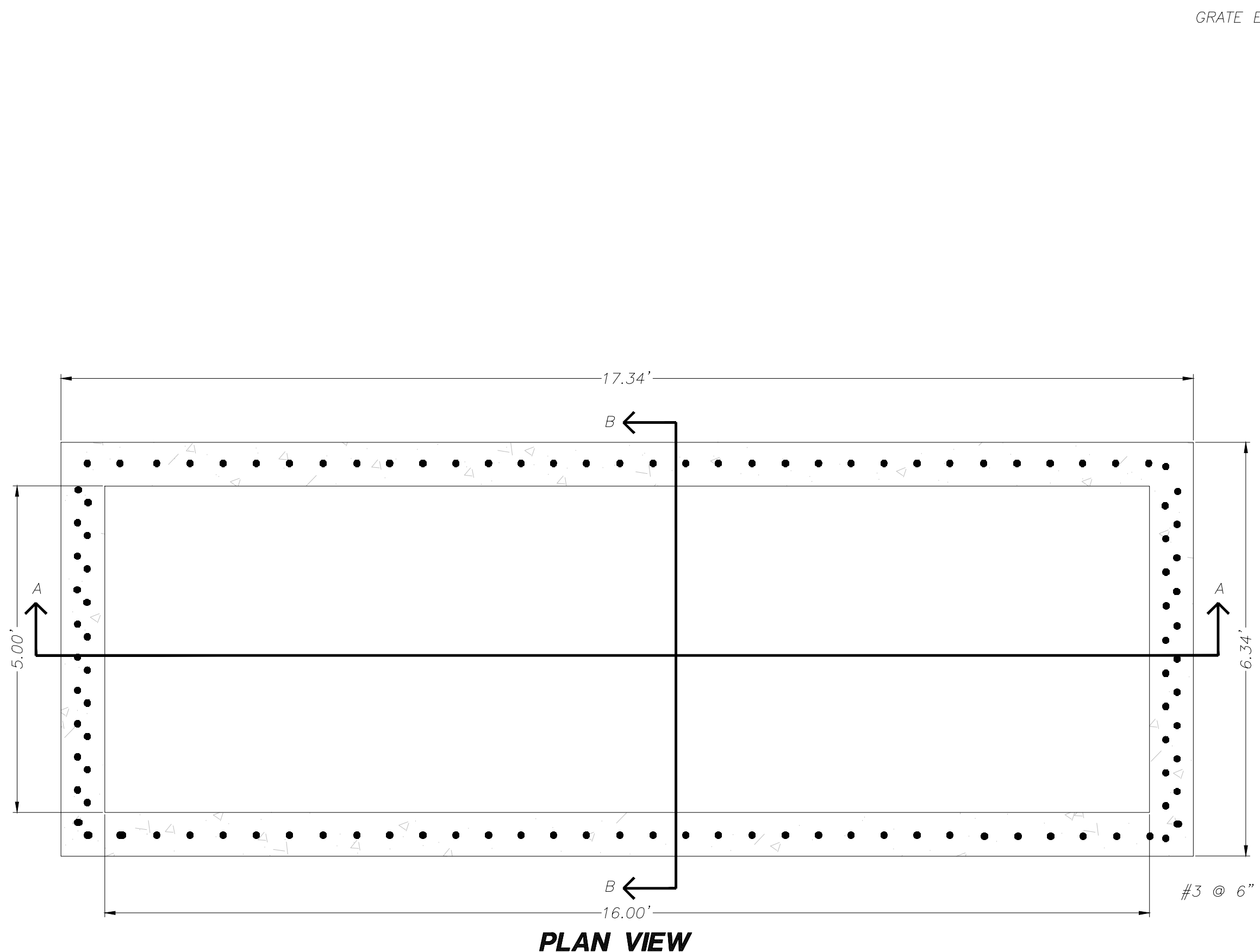
SECTIONAL VIEW A-A



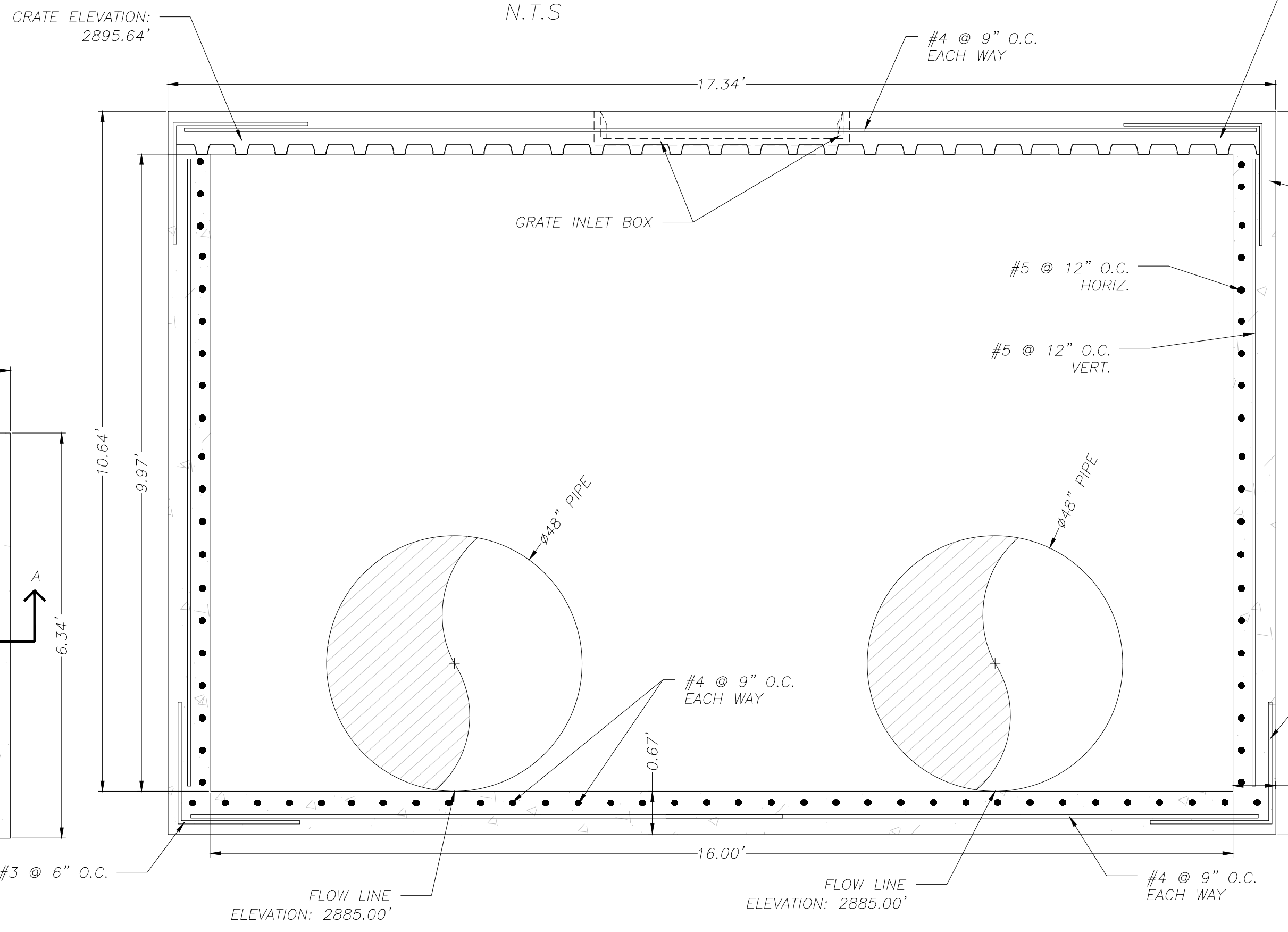
SECTIONAL VIEW B-B

5'X13'X7.93' STRUCTURE-1 CUSTOM BOX DETAIL

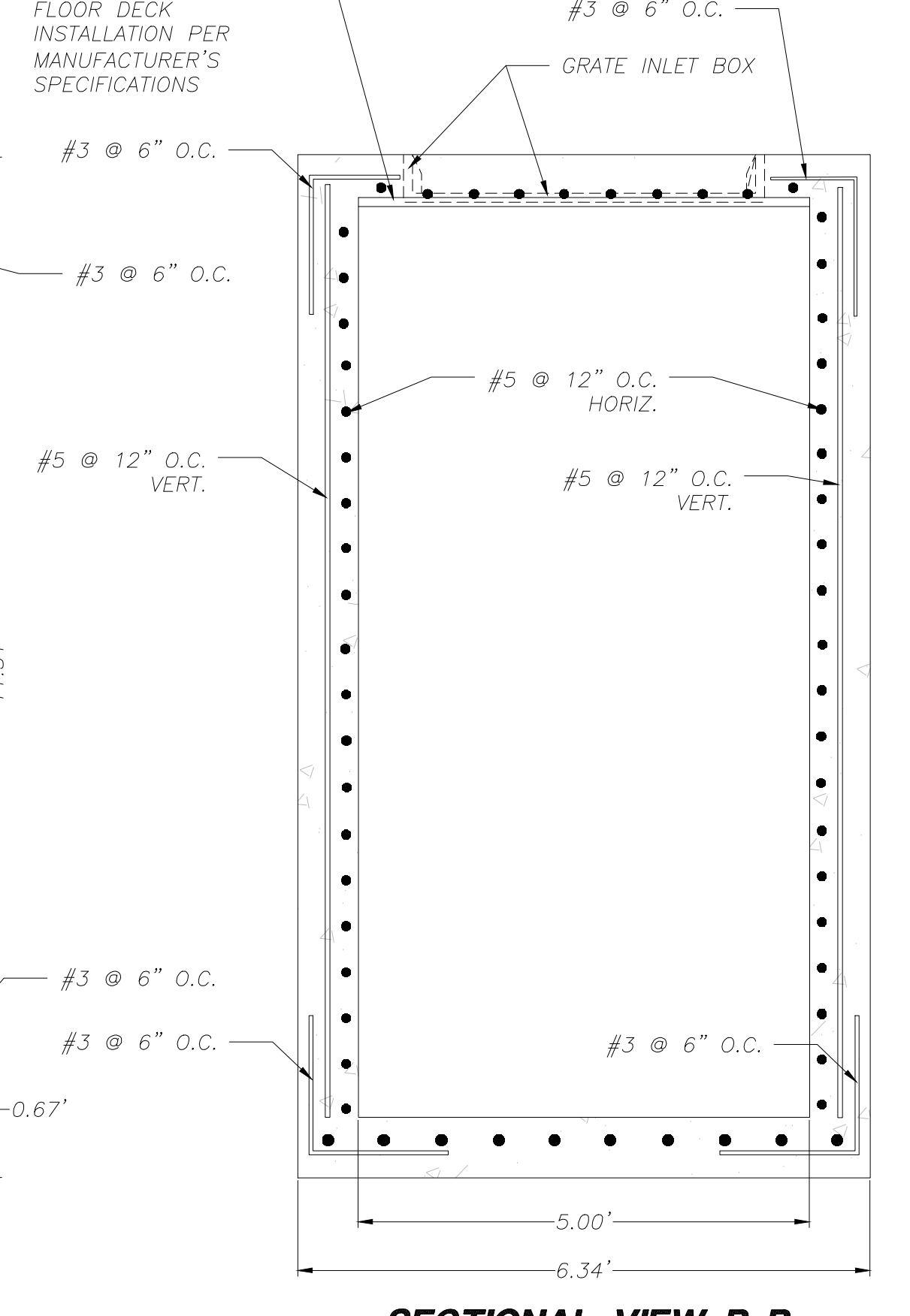
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PLAN VIEW



SECTIONAL VIEW A-A



SECTIONAL VIEW B-B

5'X16'X9.97' STRUCTURE-2 CUSTOM BOX DETAIL

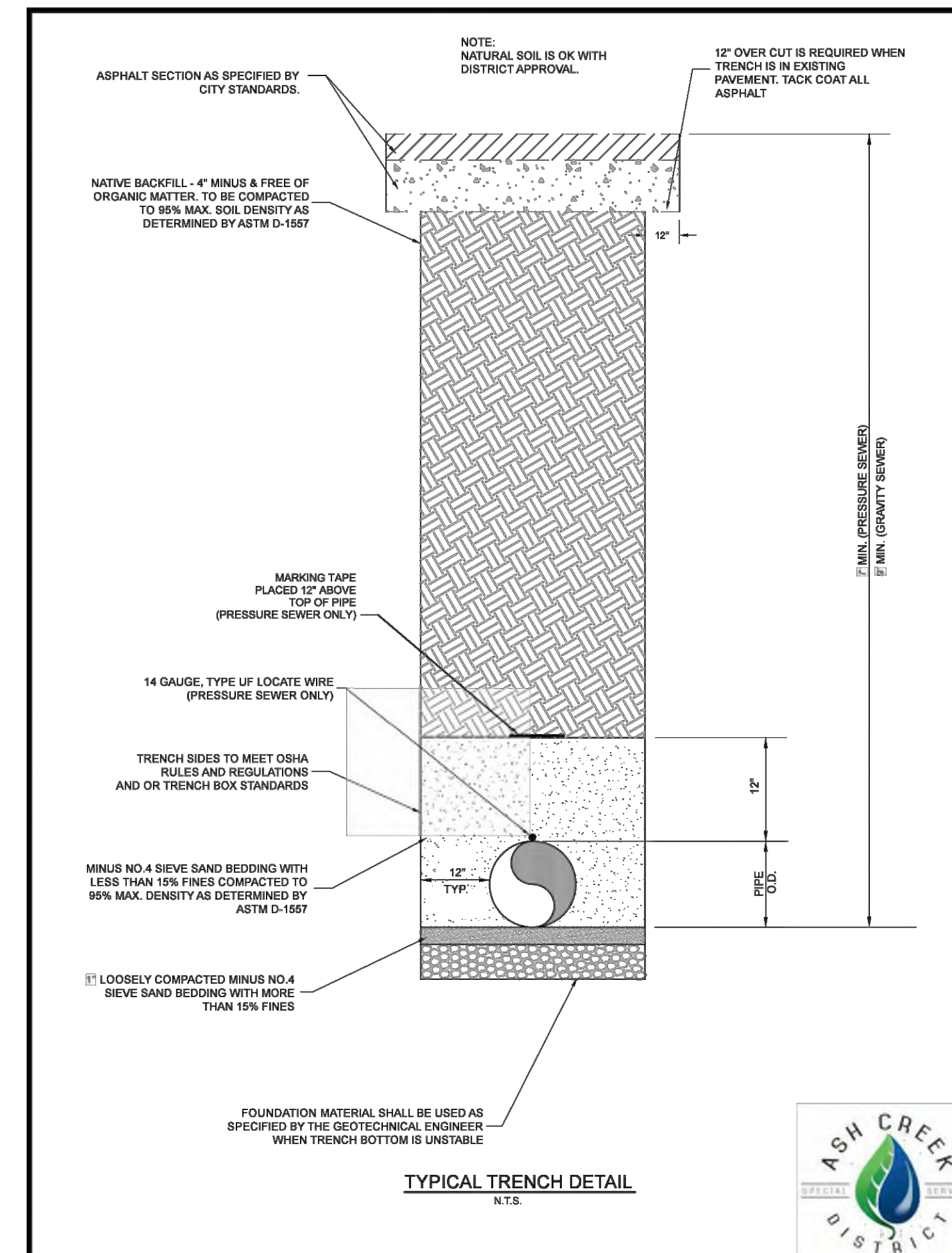
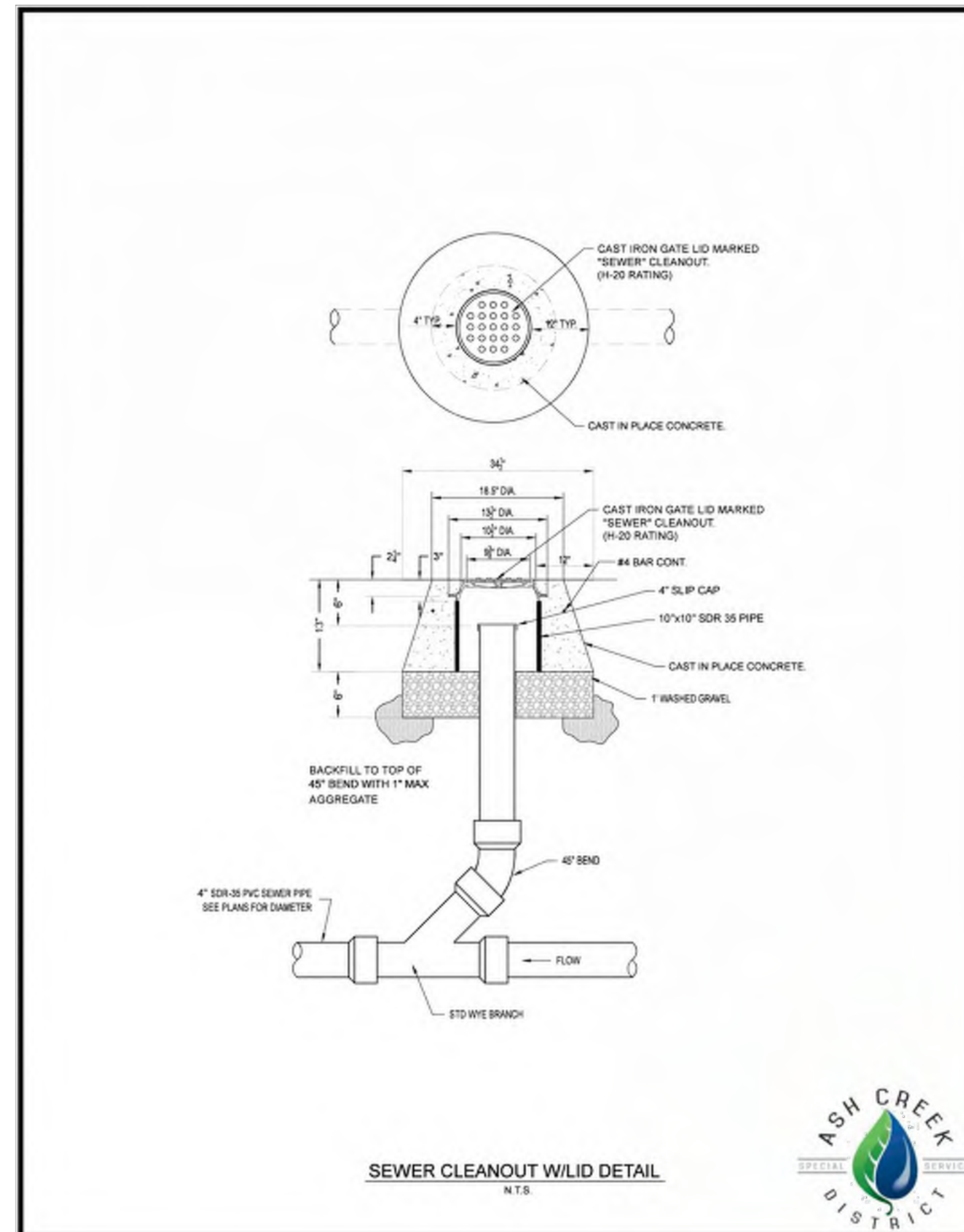
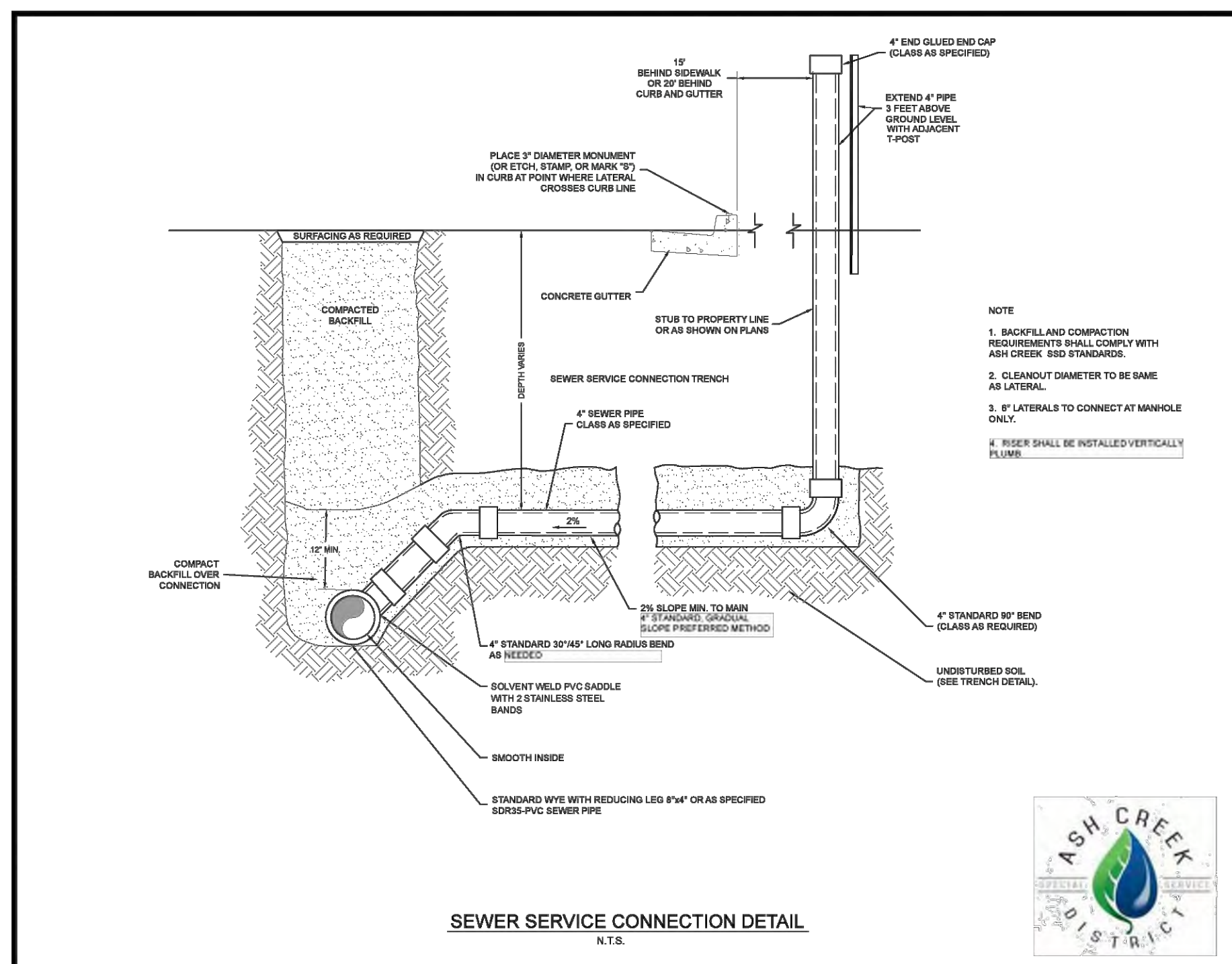
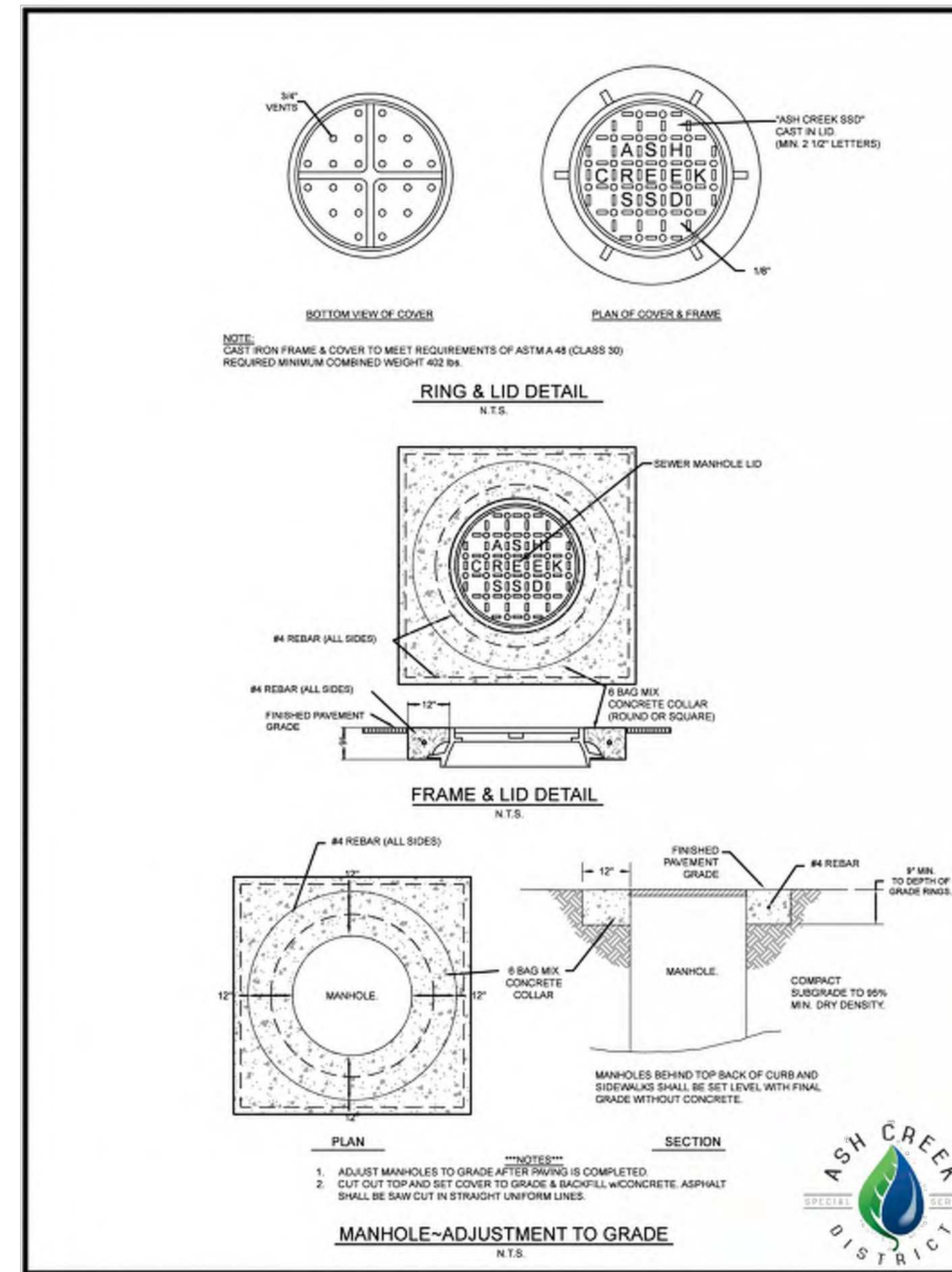
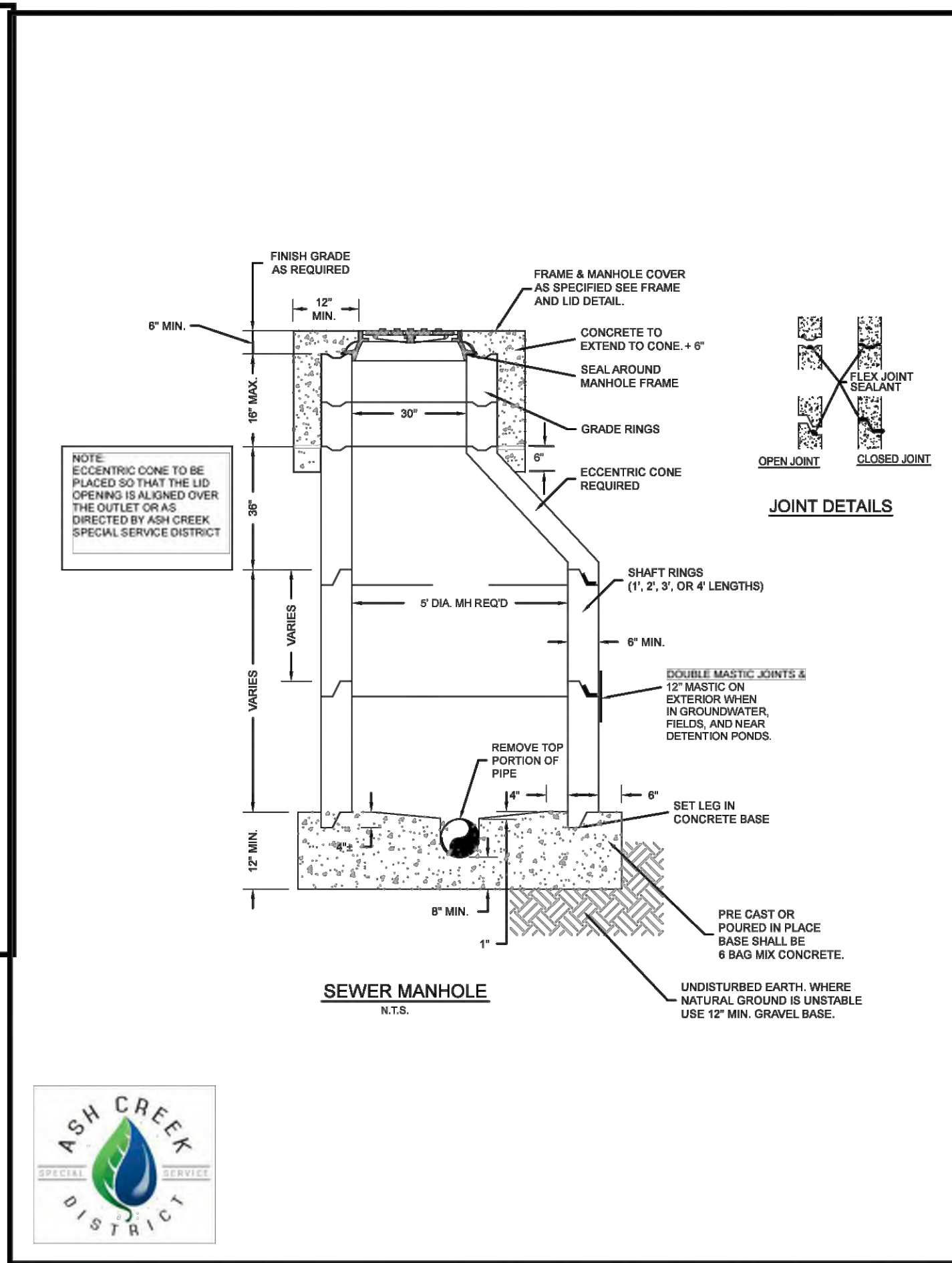
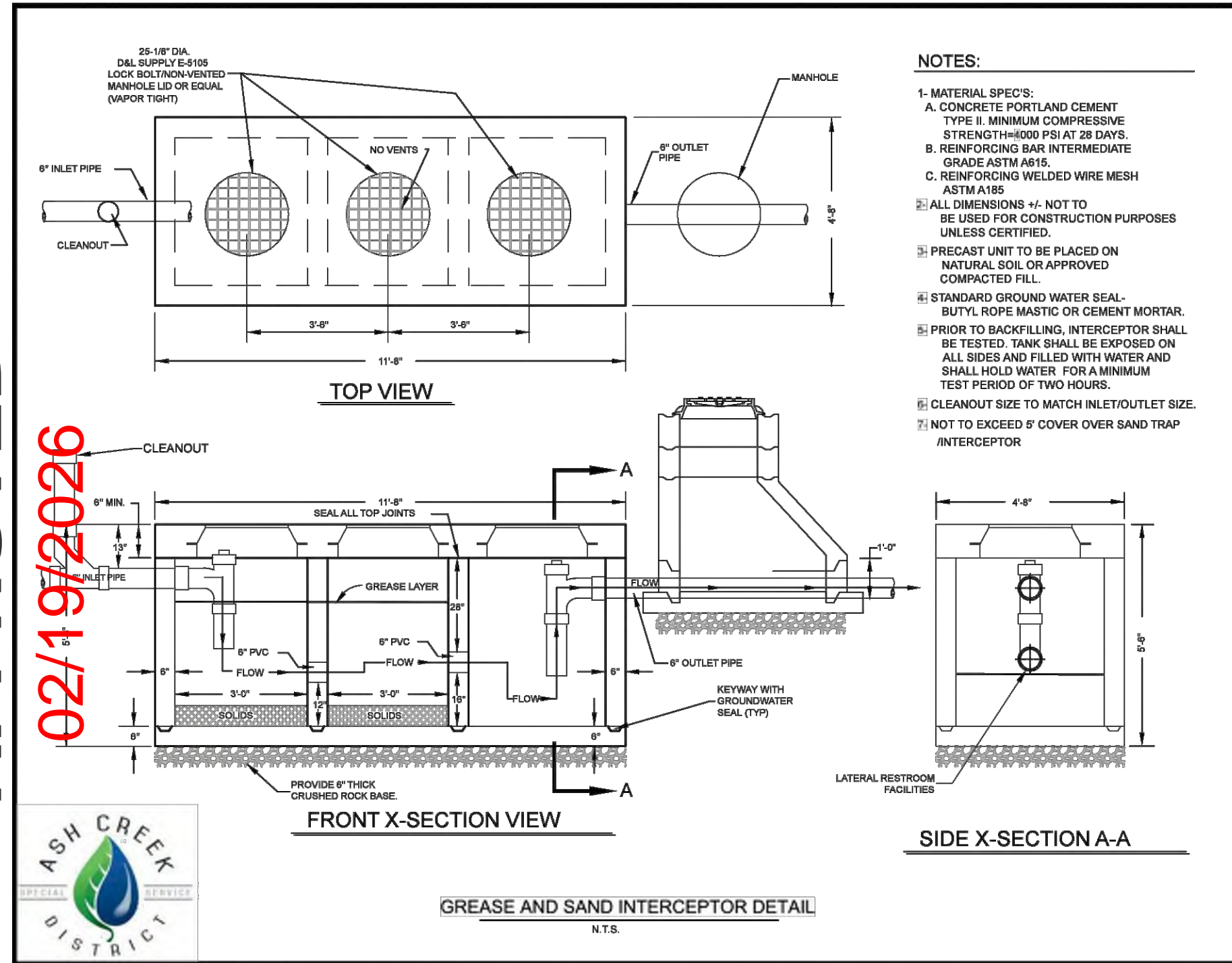
N.T.S.

336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG

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DETAIL SHEET FOR: GATEWAY PARK

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



APPROVED
02/19/2026



NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

PROVALUE ENGINEERING, INC.
No. 191090
KARL BRADLEY RASMUSSEN
2/12/26

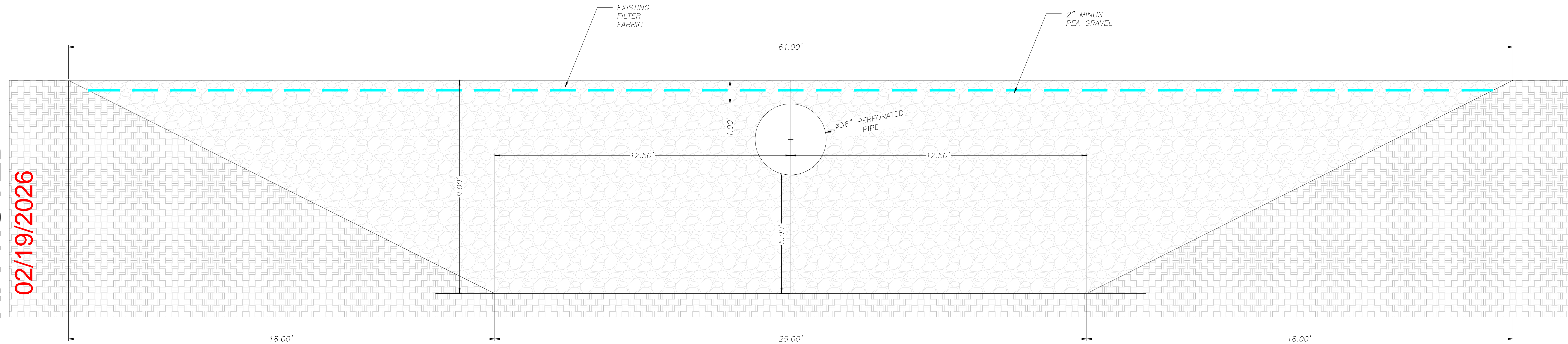
DETAIL SHEET FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	02/12/2026
SCALE	N.T.S.
JOB NO.	336-009
SHEET NO.	DT-2

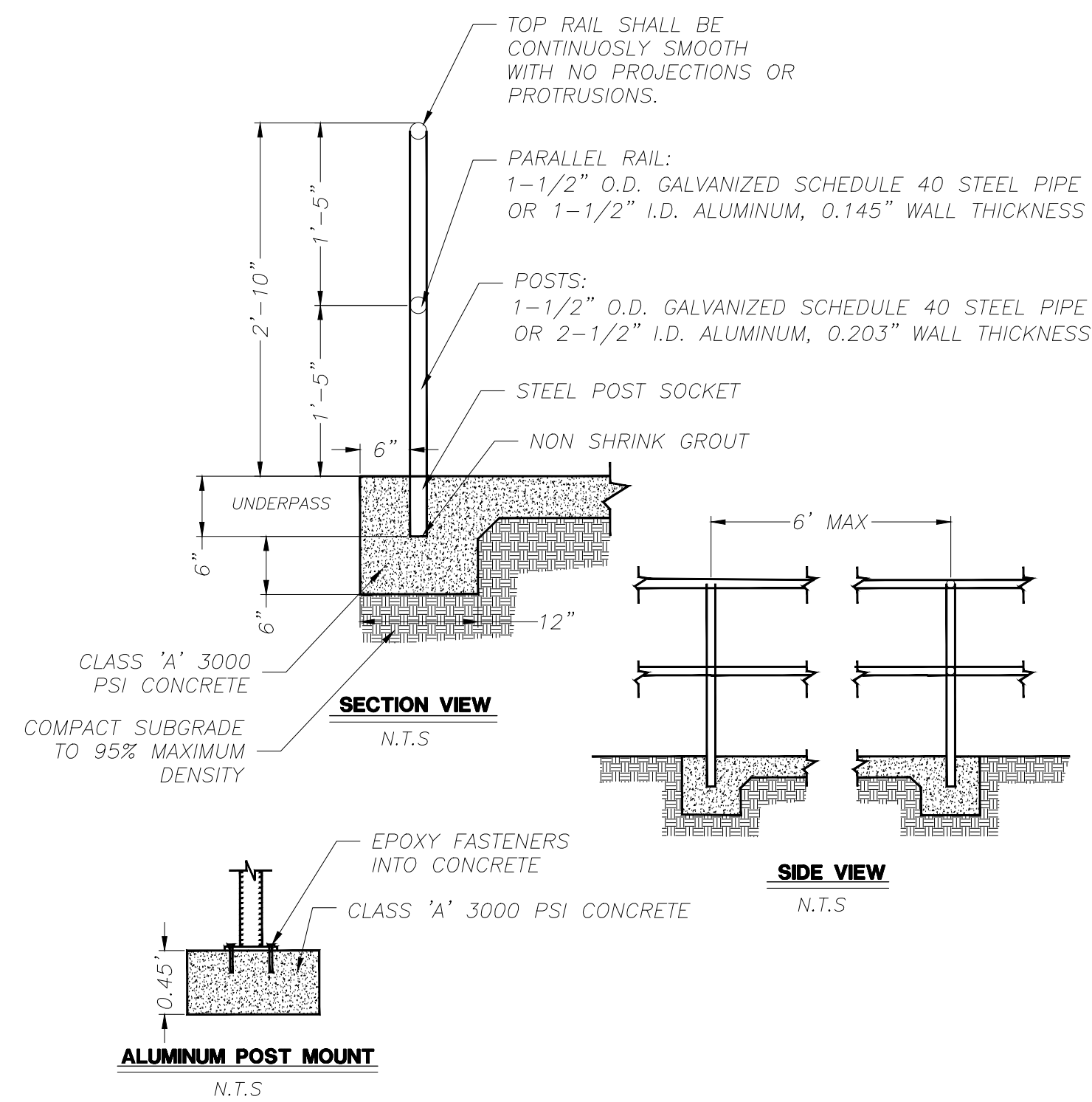
336-009 GATEWAY PARK CONSTRUCTION DRAWINGS 11-24-25.DWG
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LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

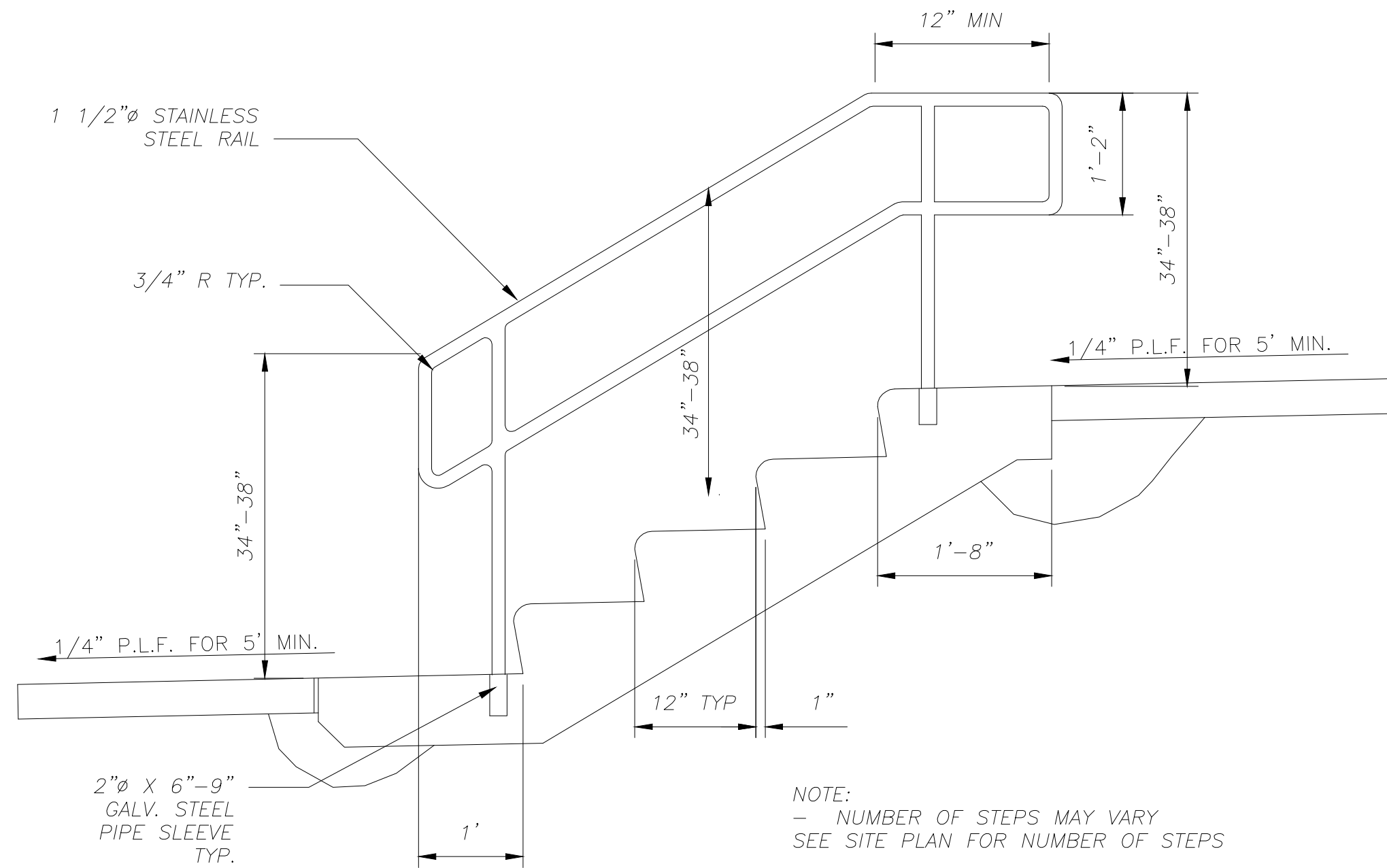


30'X9' TRENCH WITH 36" PERFORATED PIPE
N.T.S



HANDRAIL DETAIL
N.T.S

NOTES:
1. CONTRACTOR TO PROVIDE FULL SHOP DRAWINGS FOR HANDRAIL PRIOR TO INSTALLING.



NOTE:
- MAXIMUM DISTANCE BETWEEN UPRIGHTS IS 4 TREADS
- PROVIDE RAIL SHOWN ON BOTH SIDES OF STEPS (MIN.) HGT. OF RAIL TO BE CONSISTANT.
- REFER TO SITE PLAN FOR NUMBER OF RISERS (TYP.)
- RISERS SHALL BE 7" MAX. AND 4" MIN. WITH NO MORE THAN 3/8" TOTAL VARIANCE IN RISE AND RUN

EXT. STAIR DETAIL

4

APPROVED
02/19/2026
M. W. Vancin

NO	REVISIONS DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307



DETAIL SHEET FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

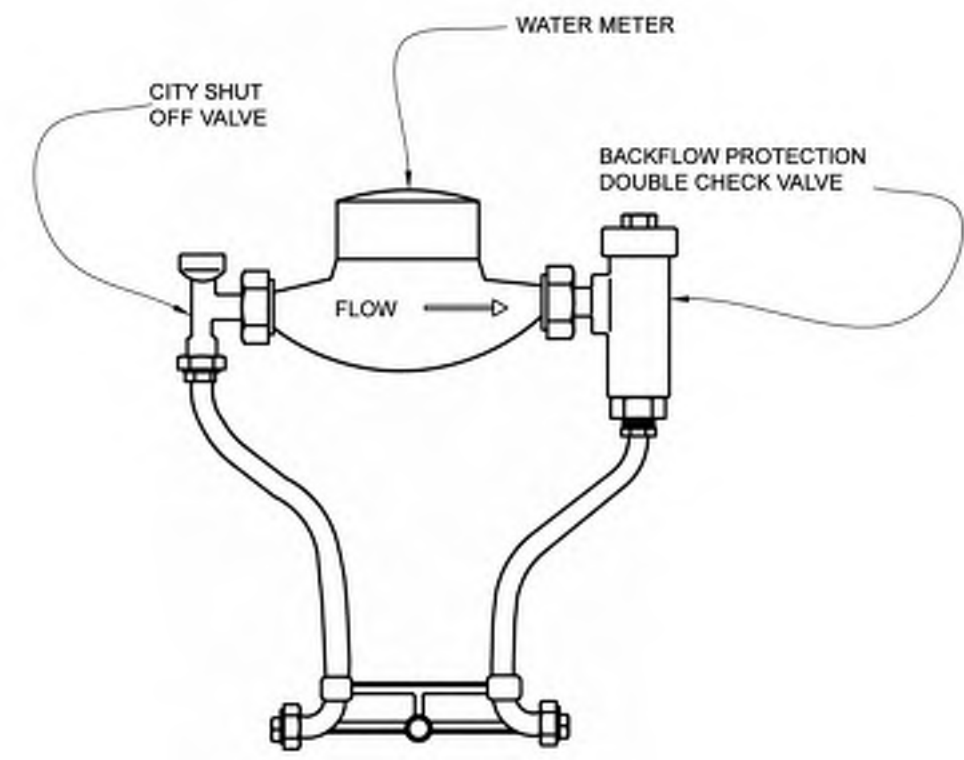
DATE: 02/12/2026
SCALE: N.T.S.
JOB NO.: 336-009
SHEET NO.:

DT-3

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DETAIL SHEET FOR: GATEWAY PARK

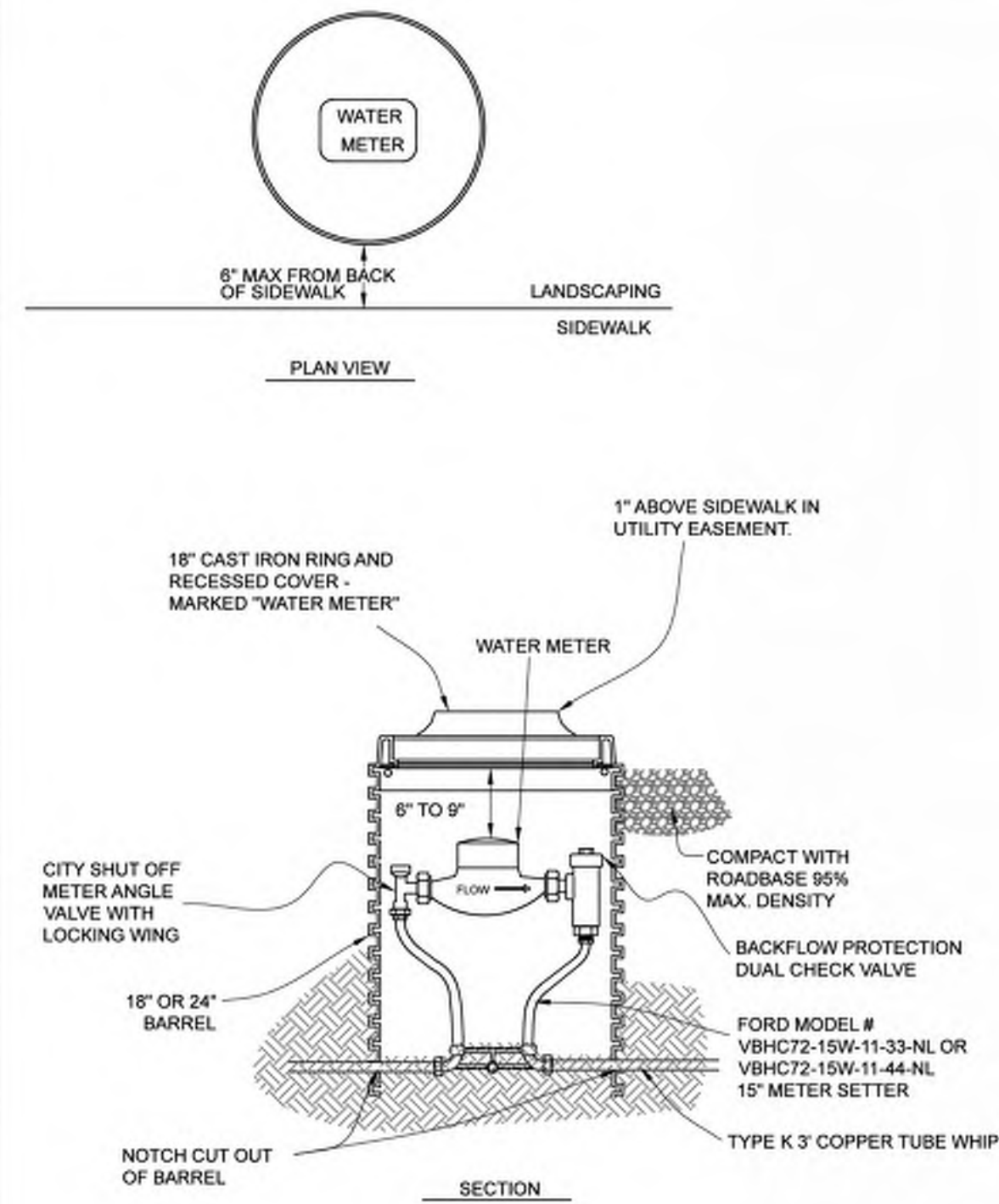
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



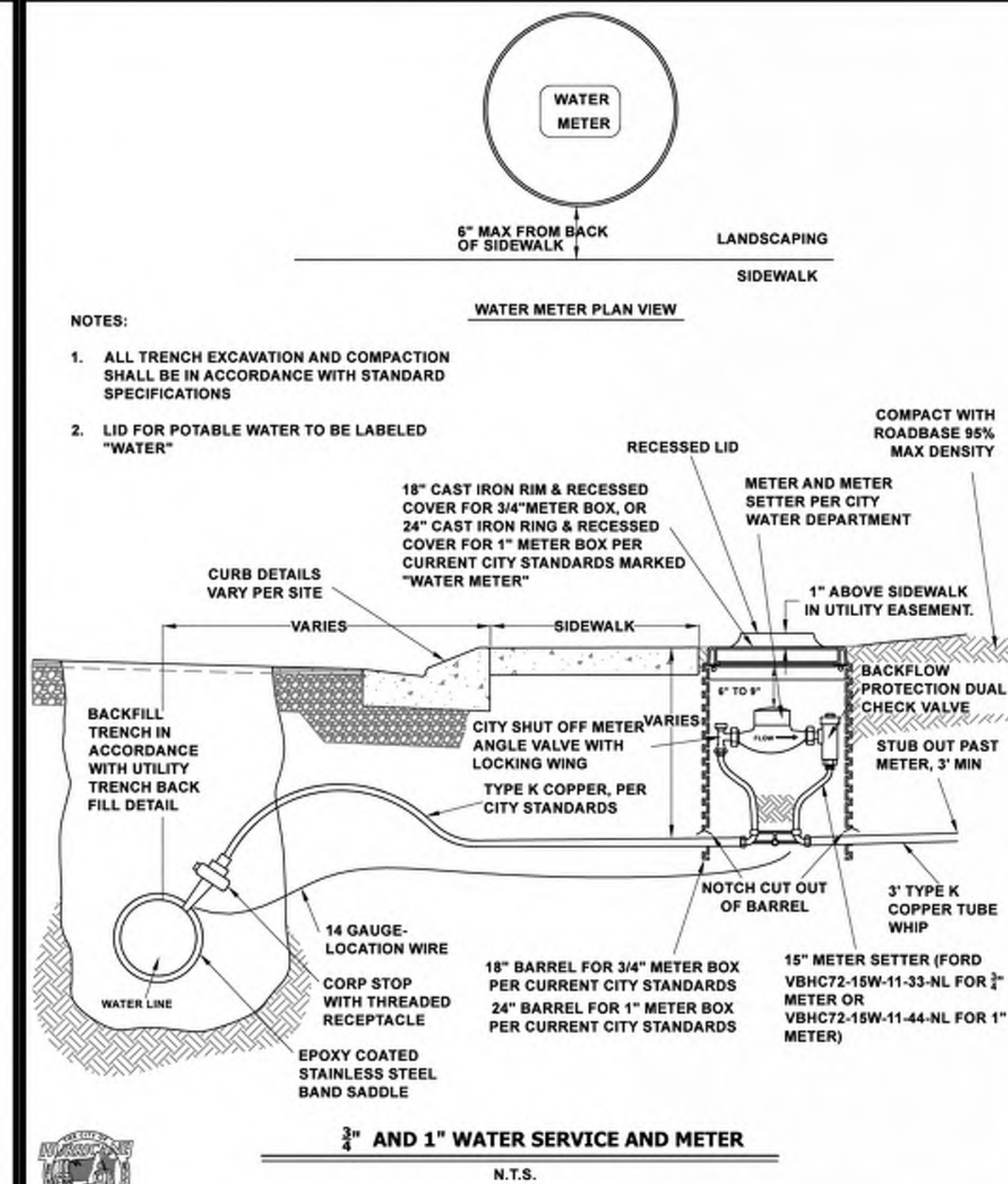
APPROVED METER SETTERS

SIZE	FORD MODEL NUMBER
3/4"	VBHC72-15W-11-33-NL
1"	VBHC74-15W-11-44-NL
1 1/2"	VBHH76-15B-44-66-NL
2"	VBHH77-15B-44-77-NL

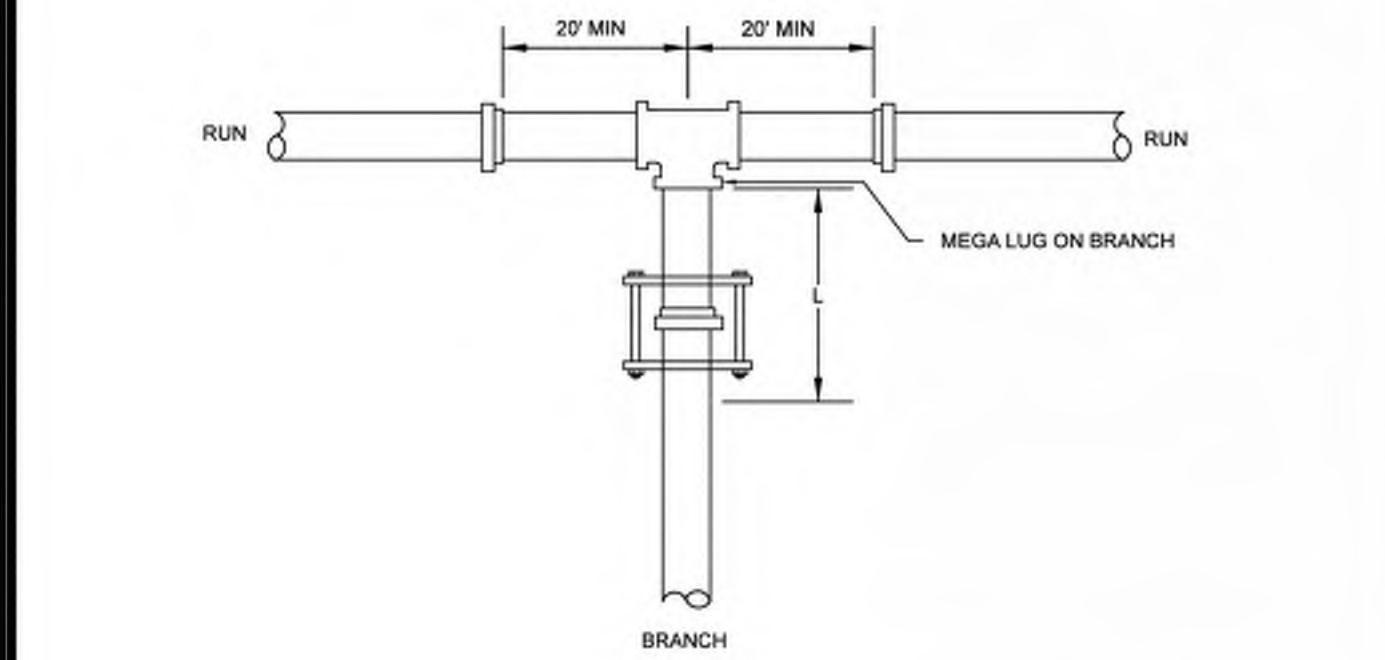
WATER METER SETTER
N.T.S.



WATER METER BOX
N.T.S.



3/4\"/>



RESTRAINED LENGTHS, "L" (IN FEET)

BRANCH SIZE	DIAMETER	4	6	8	10	12	14	16	18	20	24
4		*	*	*	*	*	*	*	*	*	*
6		*	*	*	*	*	*	*	*	*	*
8		*	*	*	*	*	*	*	*	*	*
10		*	*	*	*	*	*	*	*	*	*
12		*	*	*	*	*	*	*	*	*	*
14		*	*	*	*	*	*	*	*	*	*
16		*	*	*	*	*	*	*	*	*	*
18		*	*	*	*	*	*	*	*	*	*
20		*	*	*	*	*	*	*	*	*	*
24		*	*	*	*	*	*	*	*	*	*

- RESTRAIN THE TWO MECHANICAL JOINTS ON THE RUN SIDES OF THE TEE. THERE SHOULD BE A FULL 20' LENGTH OF PIPE INSTALLED ON EACH SIDE OF THE RUN.
- ALL JOINTS WITHIN THE LENGTH "L" ON THE BRANCH MUST BE RESTRAINED. USE RETAINER GLAND AT MECHANICAL JOINTS AND HARNESS ON PUSH-ON PIPE PER CITY SPECIFICATION.
- FOR TEST PRESSURES AND LAYING CONDITIONS SEE SECTION ON GENERAL NOTES FOR USE OF RESTRAINED JOINT LENGTHS.

STANDARD TEE FOR PVC RESTRAINING SYSTEM DETAIL
N.T.S.

REVISIONS

DATE	DESCRIPTION	BY

CITY OF HURRICANE
WATER METER SETTER DETAILS
STANDARD DWG. NO. WD 303-1 | 1 OF 4
APPROVED: DATE: 8/5/2020 | BY: H.C.E.

REVISIONS

DATE	DESCRIPTION	BY

CITY OF HURRICANE
WATER METER BOX DETAILS
STANDARD DWG. NO. WD 303-2 | 2 OF 4
APPROVED: DATE: 8/5/2020 | BY: H.C.E.

REVISIONS

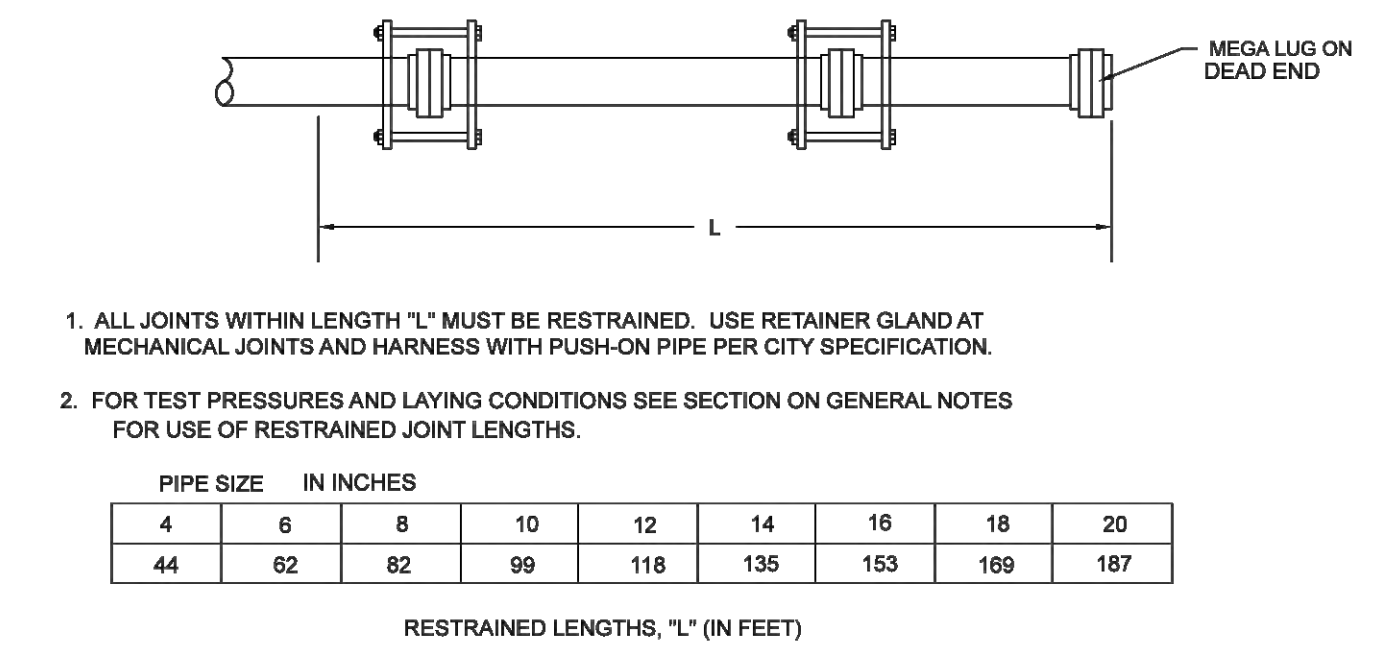
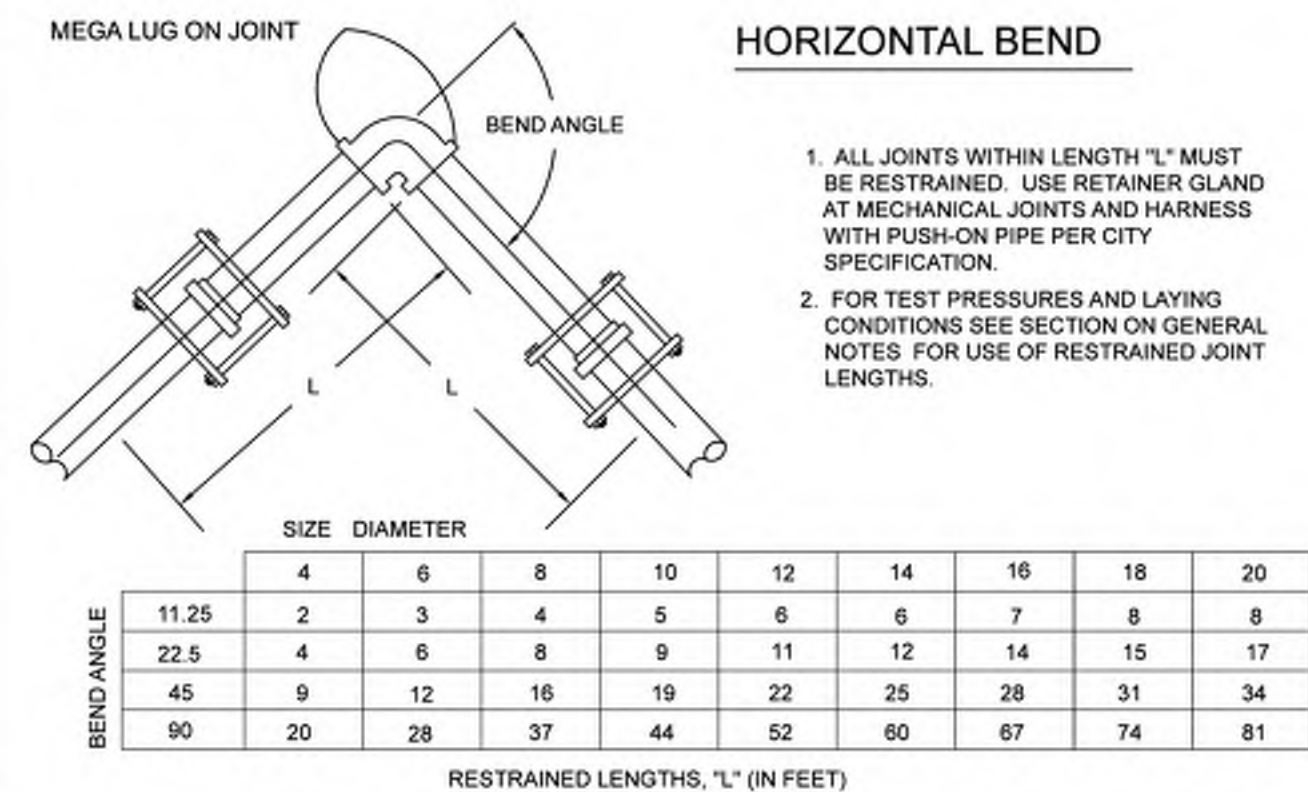
DATE	DESCRIPTION	BY

CITY OF HURRICANE
3/4\"/>

REVISIONS

DATE	DESCRIPTION	BY

CITY OF HURRICANE ENGINEERING
STANDARD TEE FOR PVC RESTRAINING SYSTEM DETAIL
STANDARD DWG. NO. WD 306 | 1 OF 1
APPROVED: DATE: OCT. 2020 | BY: H.C.E.

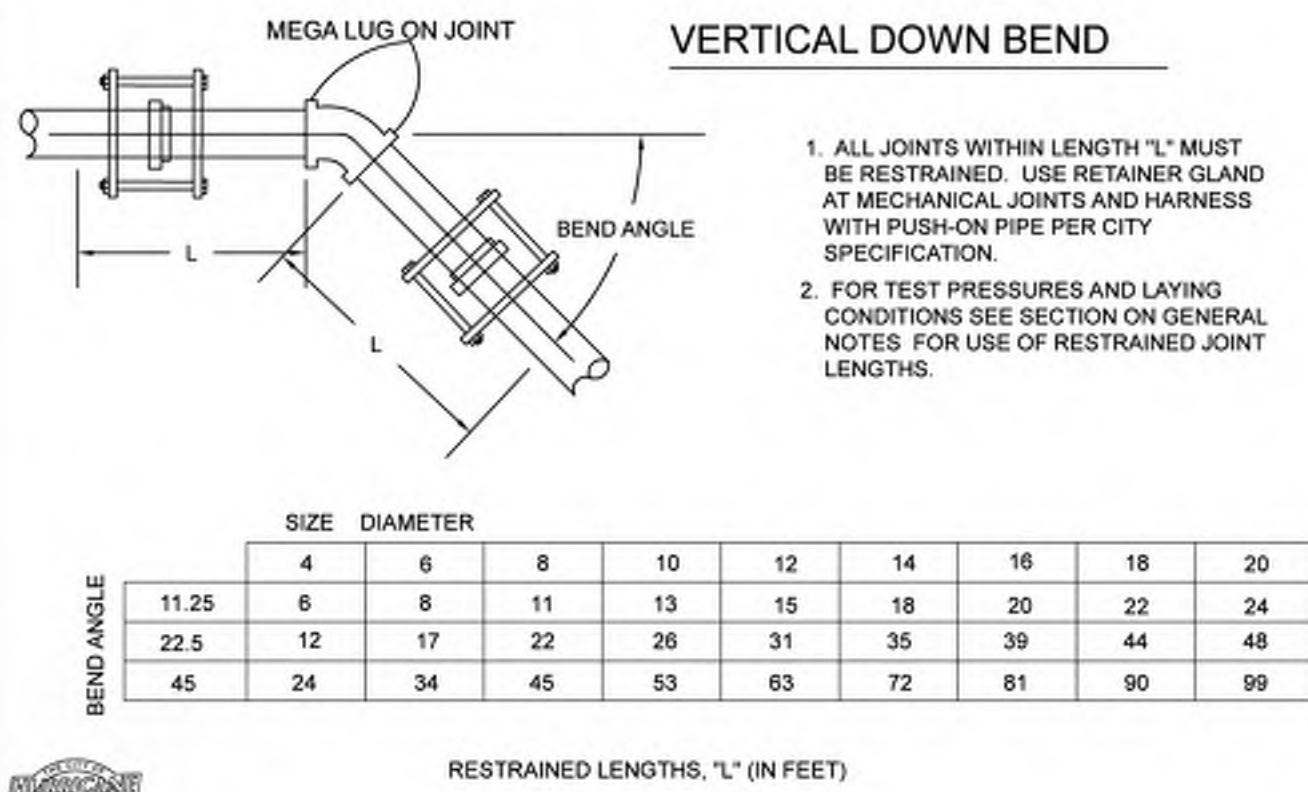


RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES

RESTRAINED LENGTH CALCULATIONS ARE BASED ON THE FOLLOWING DESIGN TYPICALLY USED WITH BACKFILL IN THE CITY OF HURRICANE.

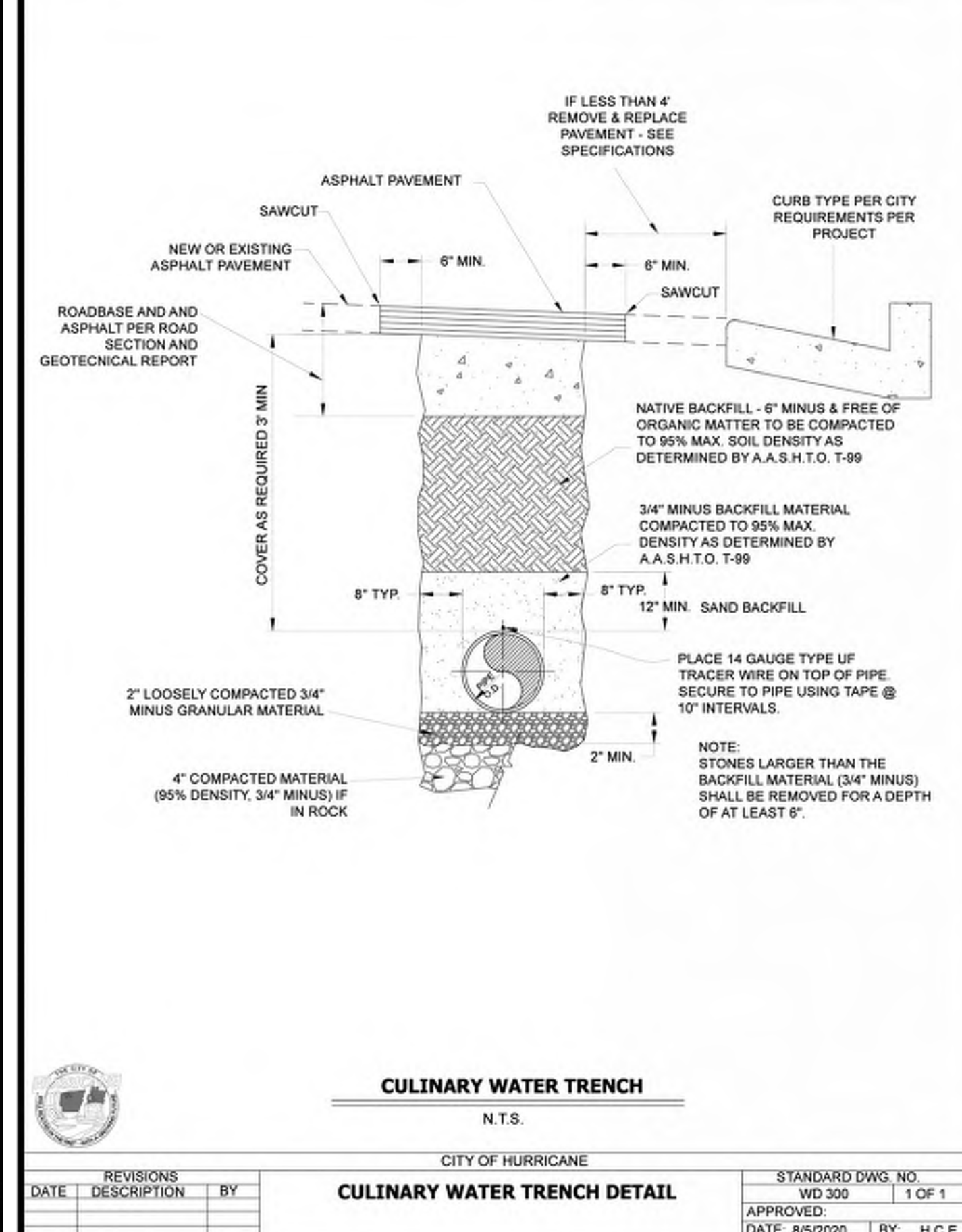
- THREE (3) FEET MINIMUM DEPTH OF COVER.
- A SAFETY FACTOR OF 1.5
- SOIL TYPE SANDY CLAY
- TYPE 8 TRENCH COMPACTION FROM FOUR (4) INCHES MINIMUM UNDER THE PIPE TO THE CENTER LINE OF THE PIPE, AND COMPACTED GRANULAR OR SELECTED MATERIAL FROM THE CENTER LINE OF THE PIPE TO THE TOP OF THE PIPE (90 PERCENT STANDARD PROCTOR DENSITY, AASHTO T-99).
- 200 PSI TEST PRESSURES FOR FOUR (4) THROUGH SIXTEEN (16) INCH SIZE PIPES.

IF ACTUAL CONDITIONS DIFFER FROM THOSE LISTED ABOVE OR THE REQUIRED RESTRAINED LENGTH CANNOT BE MET, THE RESTRAINED JOINT LENGTH SHALL BE DETERMINED BY THE WATER AND POWER ENGINEER.

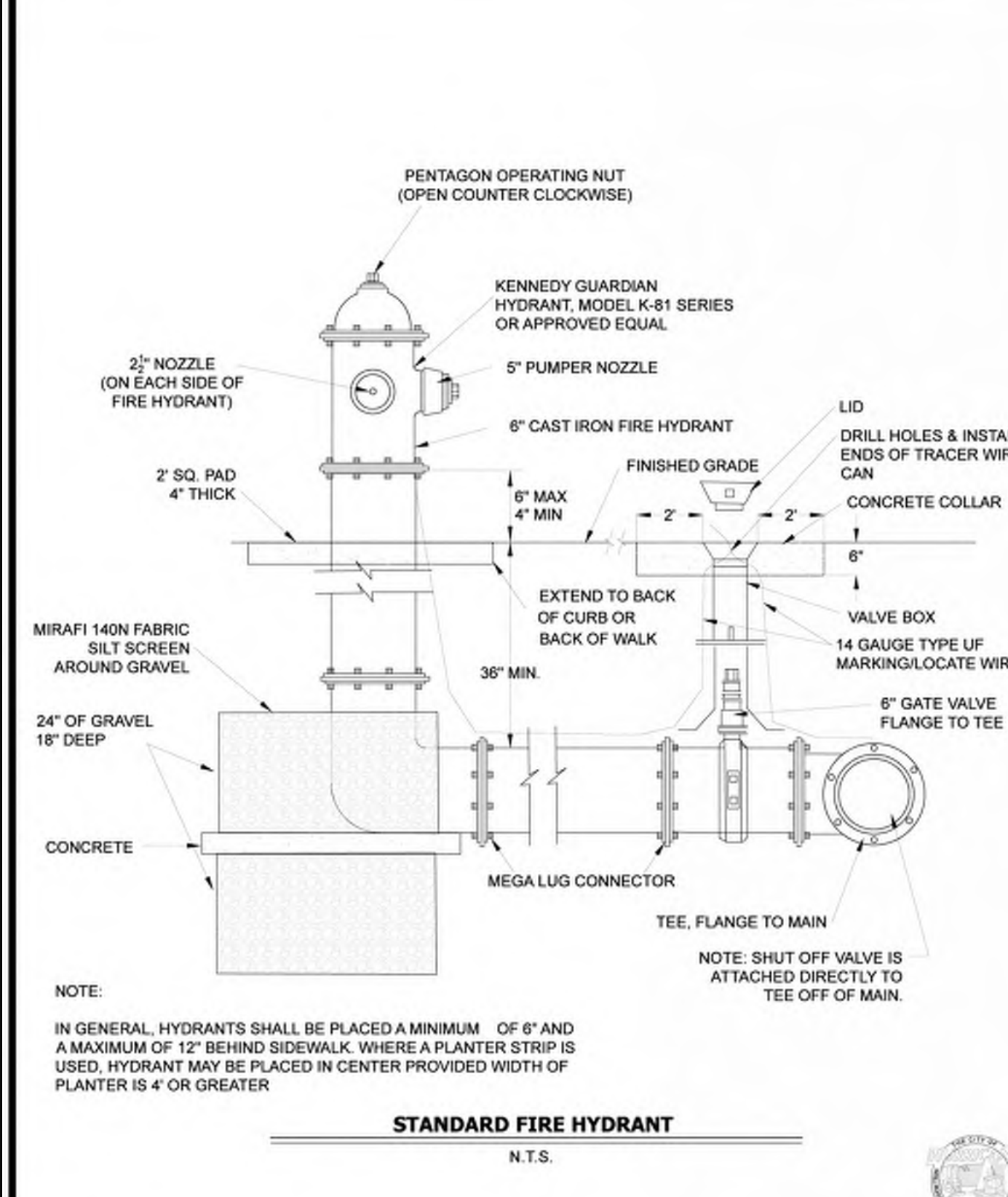


CITY OF HURRICANE ENGINEERING
STANDARD BENDS FOR PVC RESTRAINING SYSTEM DETAIL
STANDARD DWG. NO. WD 307 | 1 OF 1
APPROVED: DATE: OCT. 2020 | BY: H.C.E.

CITY OF HURRICANE ENGINEERING
STD. DEAD END/INLINE VALVE FOR PVC PIPE RESTRAINING SYSTEM DETAIL
STANDARD DWG. NO. WD 308 | 1 OF 1
APPROVED: DATE: 8/4/2021 | BY: H.C.E.



CITY OF HURRICANE
CULINARY WATER TRENCH DETAIL
STANDARD DWG. NO. WD 300 | 1 OF 1
APPROVED: DATE: 8/5/2020 | BY: H.C.E.

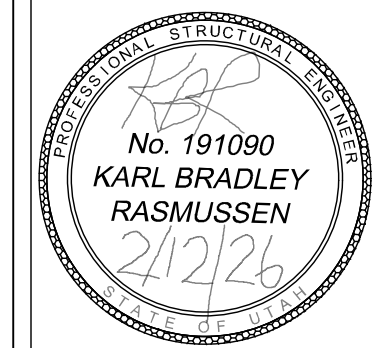
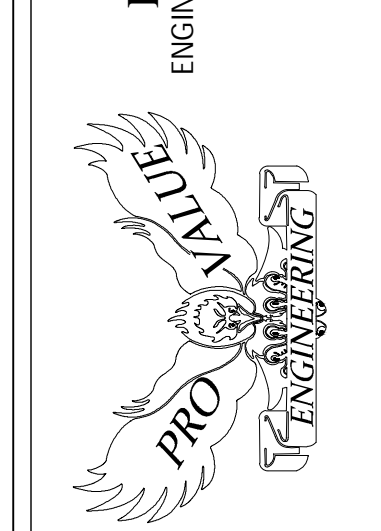


CITY OF HURRICANE
STANDARD FIRE HYDRANT DETAILS
STANDARD DWG. NO. WD 302 | 1 OF 1
APPROVED: DATE: APRIL 2020 | BY: H.C.E.

REVISIONS

NO	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-666-8307



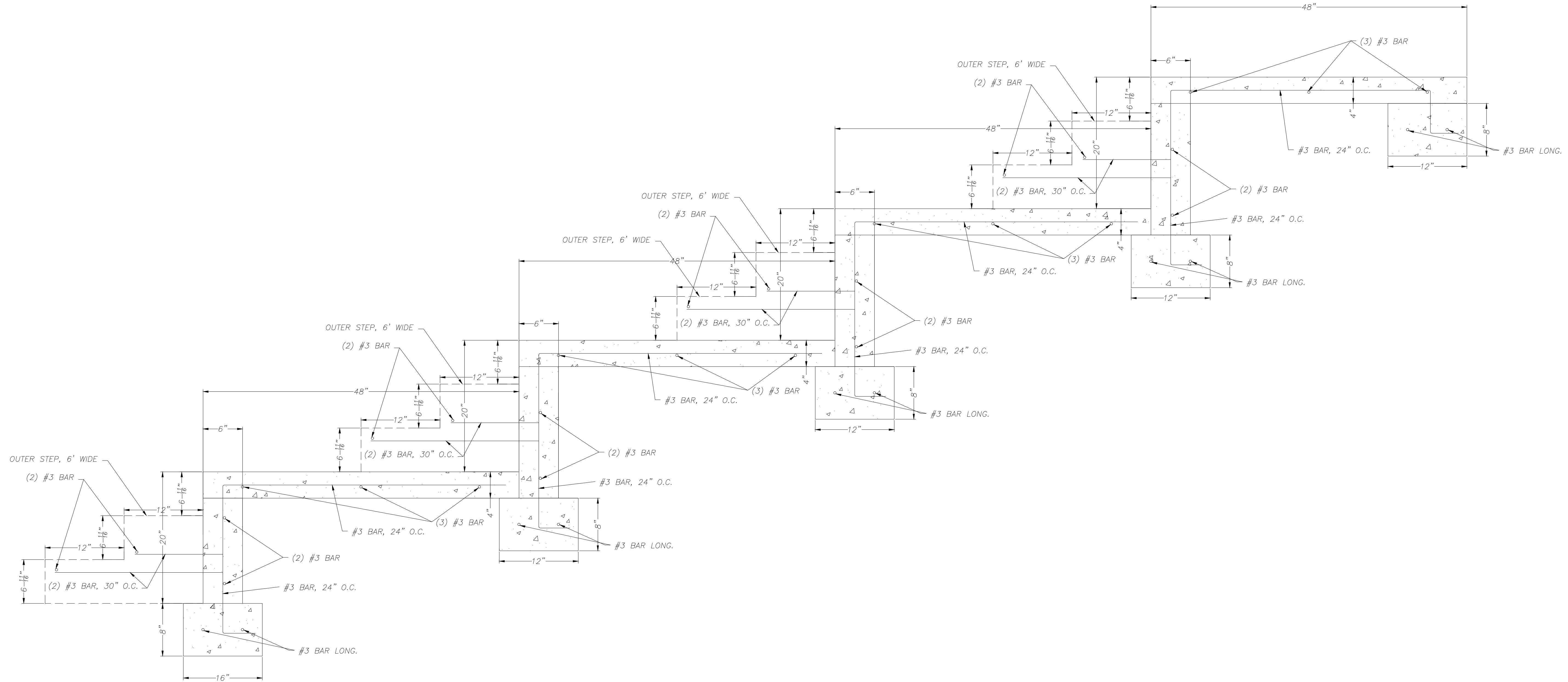
DETAIL SHEET FOR:
GATEWAY PARK
LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 02/12/2026
SCALE: N.T.S.
JOB NO.: 336-009
SHEET NO.:
DT-4

DETAIL SHEET FOR: STRUCTURAL CONCRETE SEATING

LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

M. W. Kencinski
APPROVED
02/19/2026



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NO	REVISIONS DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 20 South 850 West, Suite 1
 Hurricane City, Utah 84737
 Phone: 435-668-8307



DETAIL SHEET FOR:
STRUCTURAL CONCRETE SEATING
 LOCATED IN SECTION 12, T42S, R14W, S.L.B.&M.
 HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	1/12/2026
SCALE	N.T.S.
JOB NO.	336-009
SHEET NO.	DT-5

DESIGN NOTES

1. ALL PARK FURNISHINGS AND PARK AMENITIES (LANDSCAPING, IRRIGATION, SHADE STRUCTURES, PAVILIONS, TABLES, PLAYGROUND, ECT.) SHALL MEET HURRICANE CITY PARK STANDARDS (B.O.).
2. LANDSCAPE CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHELD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITH HELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
4. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.

LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

APPROPRIATE DRAINAGE NOTES:

CONCRETE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND COURTS TO LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO SLOPE ALL LANDSCAPE AREAS TO DRAINAGE CORRIDORS. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO THE STREET.

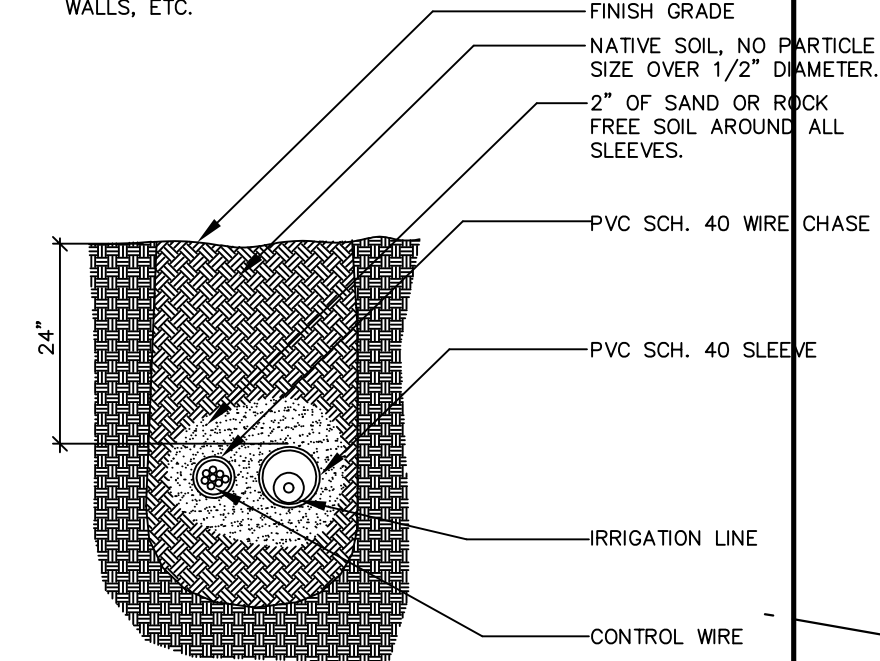
ROCK MULCH NOTE:

RUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3/4" APACHE OLD CRUSHED ROCK CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

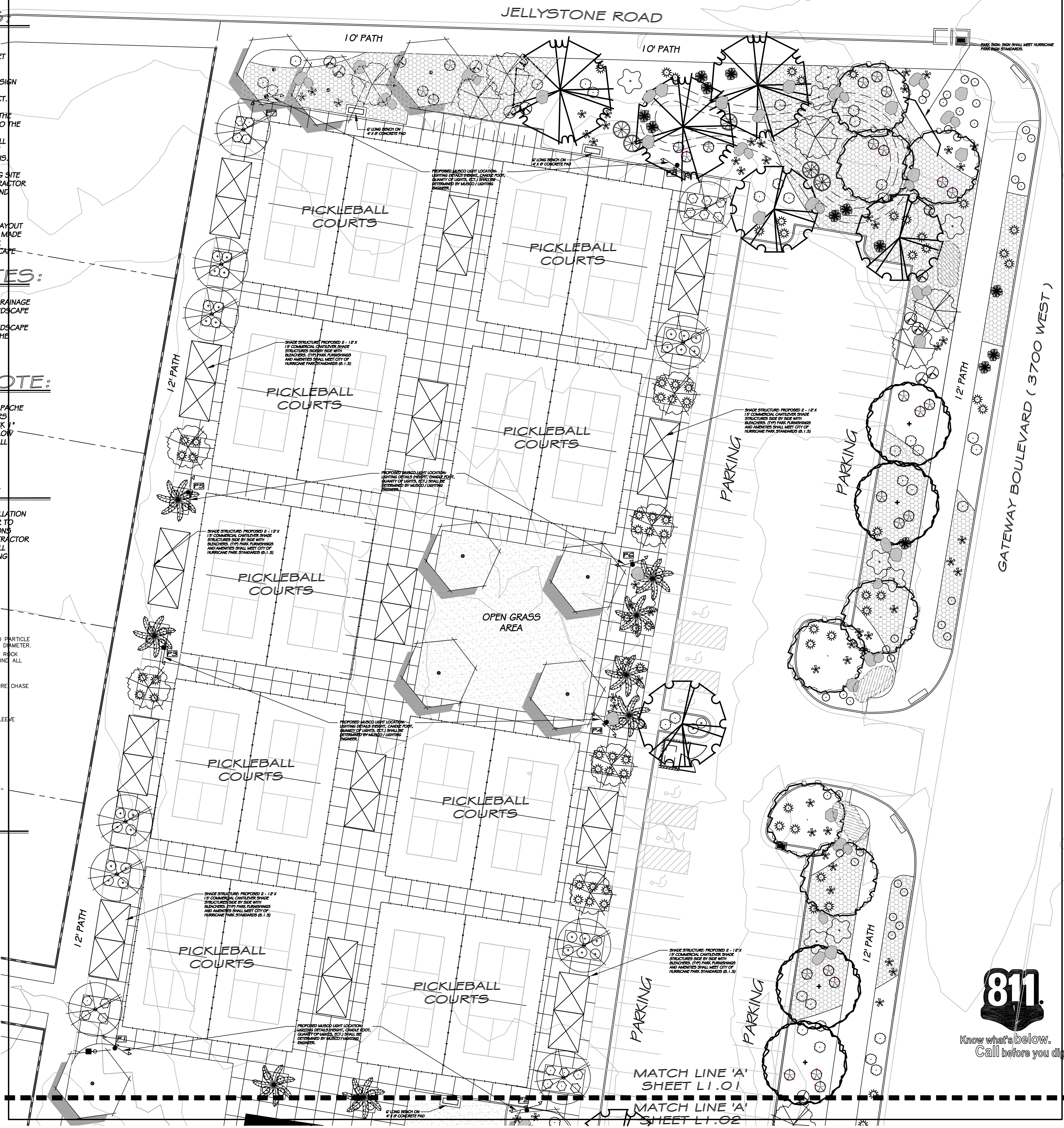
SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING

NOTE: SLEEVE ALL PIPE AND WIRES UNDER WALKS, DRIVEWAYS, STRUCTURES, WALLS, ETC.



SLEEVE SECTION

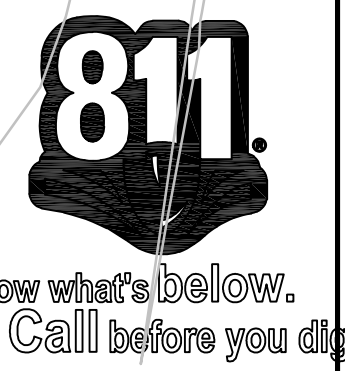
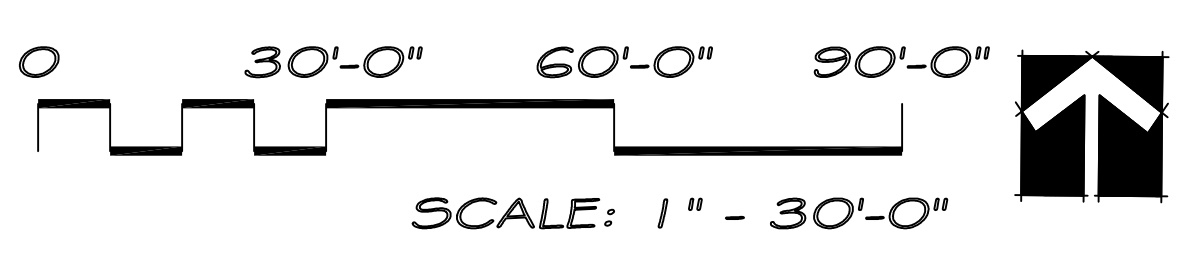


PLANT LEGEND

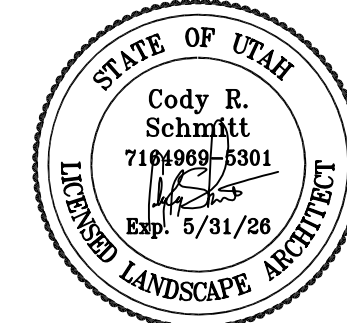
SYMBOL	BOTANICAL / COMMON NAME
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD SYCAMORE
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA
	ULMUS 'CATHEDRAL' CATHEDRAL ELM
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT PEAR
	KOELREUTERIA PANICULATA GOLDEN RAINTREE
	PINUS ELДАРICA MONDEL PINE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	LAGERSTROEMIA INDICA CRAPE MYRTLE or CERCIS CANADENSIS MEX. MEXICAN REDBUD
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
	ILEX VOMITORIA DWARF DWARF YAUFON HOLLY
	ABELIA GRANDIFLORA PINK ABELIA
	RHAMNUS INDICA DWARF PINKIE HAWTHORN
	DASYLIRION WHEELERI GREENGRAY DESERT SPOON
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	HESPERALOE PARVIFLORA RED YUCCA
	AGAVE PARYII PARRY'S AGAVE

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	6" CONCRETE MOWCURB
	2"-6" LAVA ROCK
	LANTANA CAMARA LANTANA
	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



MATCH LINE 'A'
SHEET L1.01
MATCH LINE 'A'
SHEET L1.02



REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
UTAH
HURRICANE

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
PLAN

DATE:
02/10/2025
JOB NO.:
02.102025
SHEET:

L1.01

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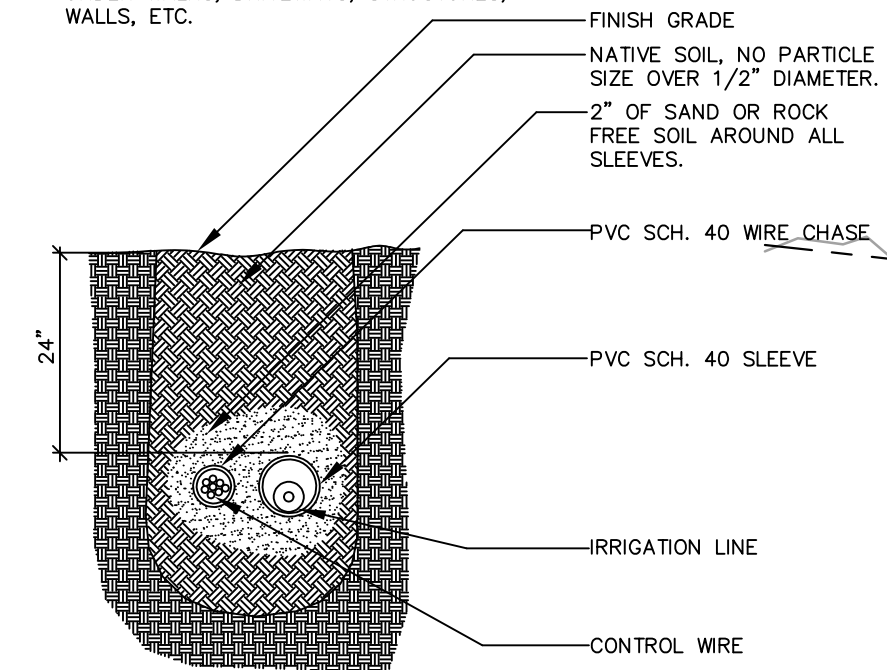
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SLEEVING NOTE:

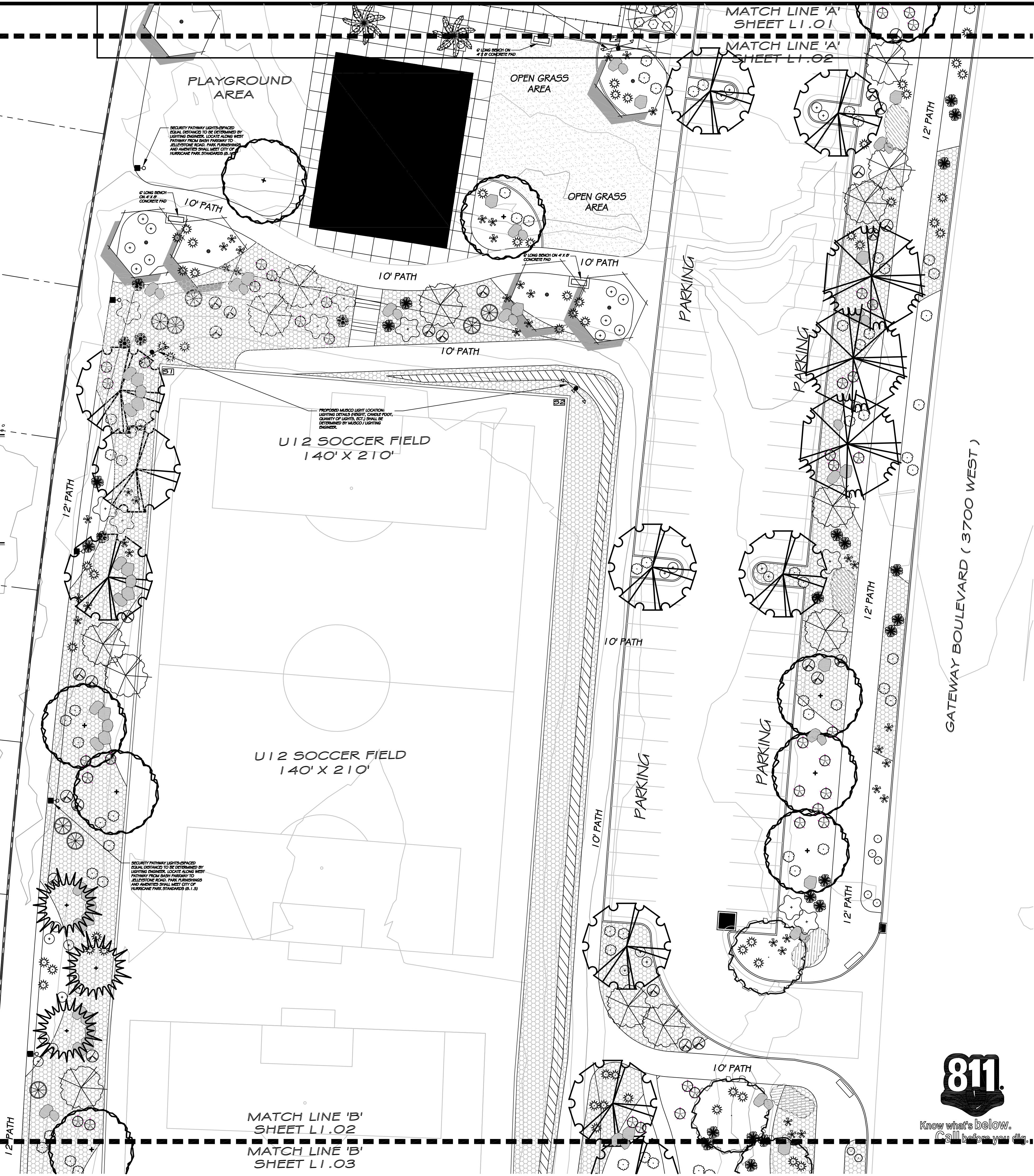
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SLEEVE SECTION

M. K. Vance
02/10/25

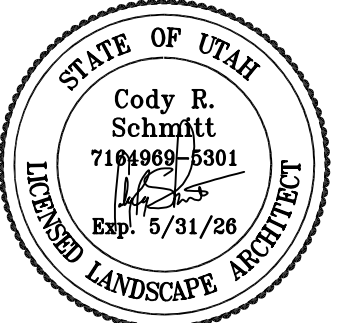


PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME
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	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



REVISIONS:

GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
HURRICANE UTAH

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
GATEWAY PARK
@ ELIM VALLEY
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
PLAN

DATE:
02/10/2025
JOB NO.:
02102025
SHEET:

L1.02

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LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

APPROPRIATE DRAINAGE NOTES:

CONCRETE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND COURTS TO LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO SLOPE ALL LANDSCAPE AREAS TO DRAINAGE CORRIDORS. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO THE STREET.

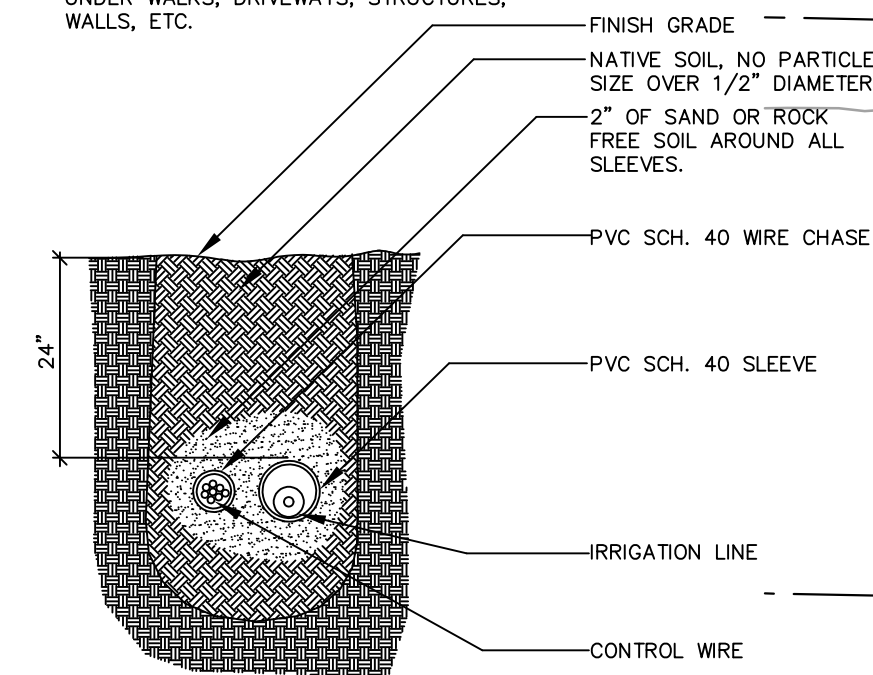
ROCK MULCH NOTE:

CRUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3/4" APACHE OLD CRUSHED ROCK CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

SLEEVING NOTE:

- ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.

NOTE: SLEEVE ALL PIPE AND WIRES UNDER WALKS, DRIVEWAYS, STRUCTURES, WALLS, ETC.



SLEEVE SECTION

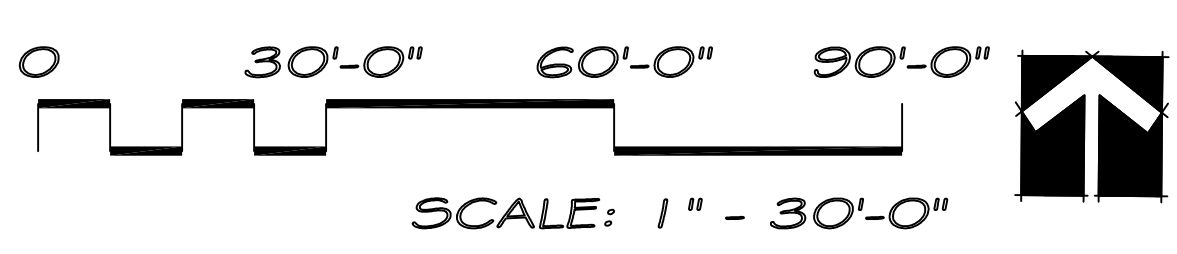


PLANT LEGEND

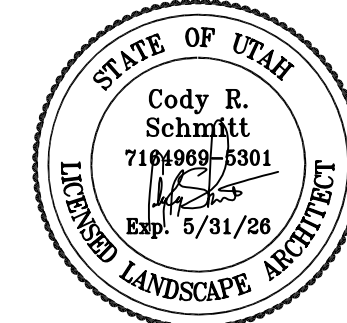
SYMBOL	BOTANICAL / COMMON NAME
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD SYCAMORE
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA
	ULMUS 'CATHEDRAL' CATHEDRAL ELM
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT PEAR
	KOELREUTERIA PANICULATA GOLDEN RAINTREE
	PINUS ELДАРICA MONDEL PINE
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
	LAGERSTROEMIA INDICA GRAPE MYRTLE or CERCIS CANADENSIS MEX. MEXICAN REDBUD
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
	ILEX VOMITORIA DWARF DWARF YALUFON HOLLY
	ABELIA GRANDIFLORA PINK ABELIA
	RHAMNUS ALATA DWARF PINKIE HAWTHORN
	DASYLIRION WHEELERI GREENGRAY DESERT SPOON
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	HESPERALOE PARVIFLORA RED YUCCA
	AGAVE PARVIFOLIUS PARRY'S AGAVE

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	6" CONCRETE MOWCURB
	2"-6" LAVA ROCK
	LANTANA CAMARA LANTANA
	LANDSCAPE MOUNDING 1'-0" CONTOUR INTERVALS



Know what's below.
Call before you dig.



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT UTAH HURRICANE

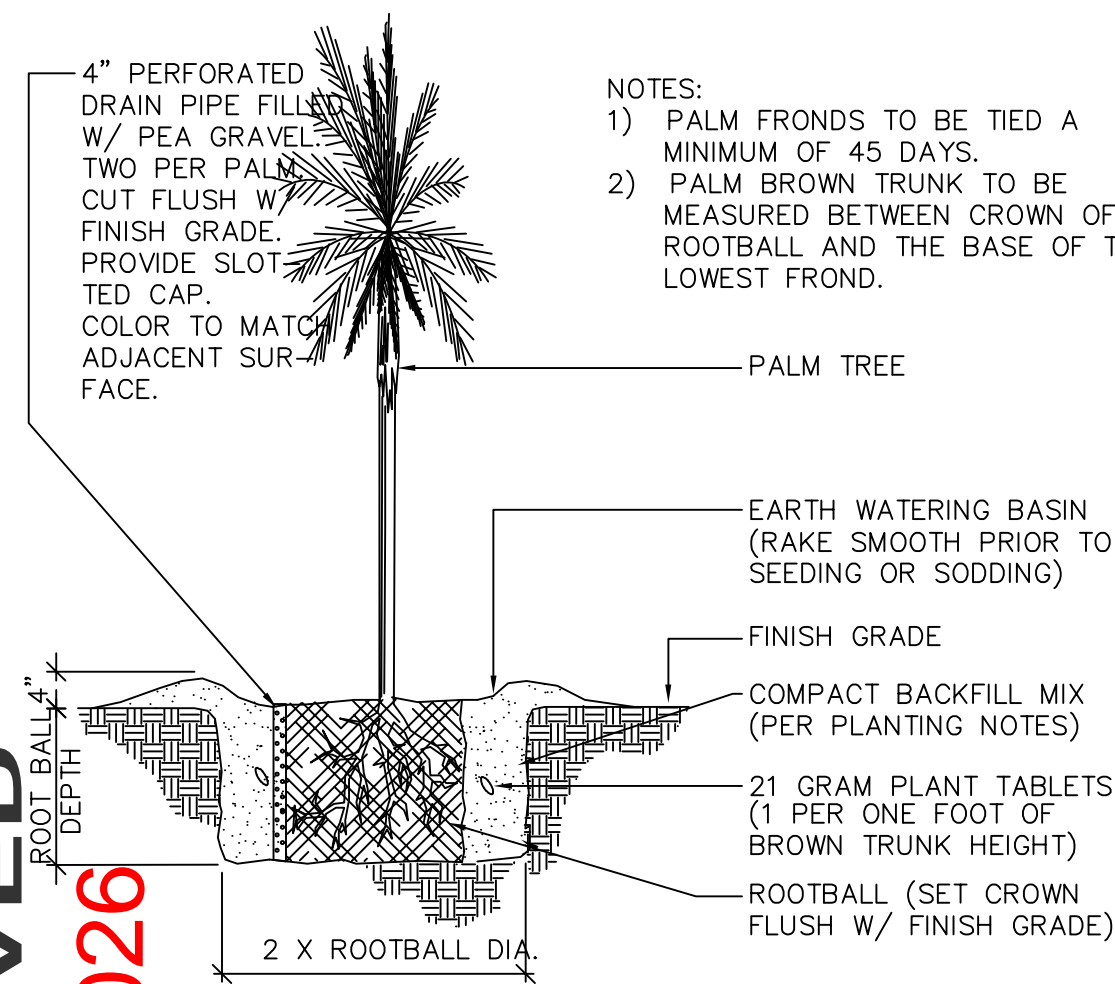
CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

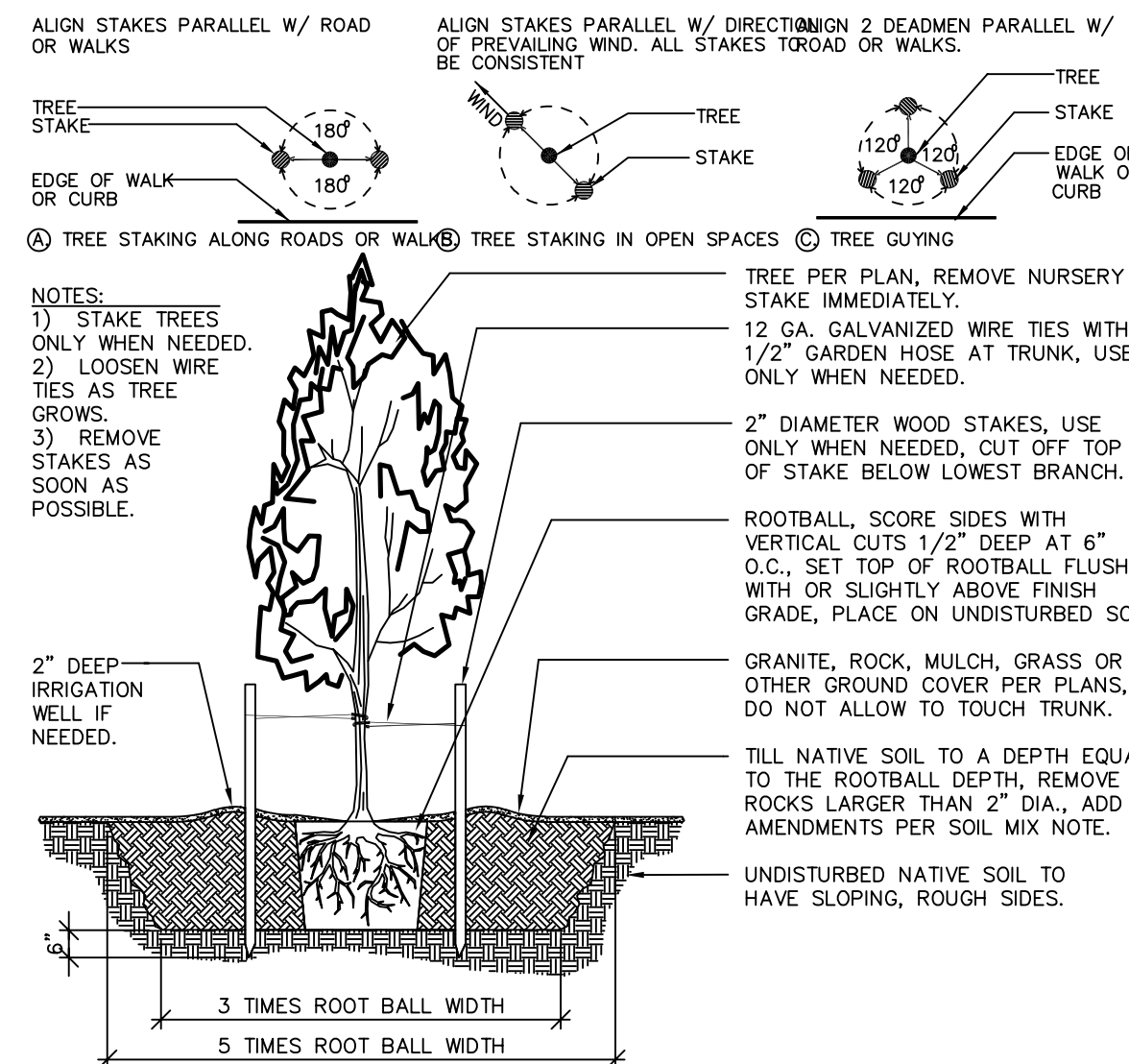
PROJECT:
GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE PLAN

DATE:
02/10/2025
JOB NO.:
02102025

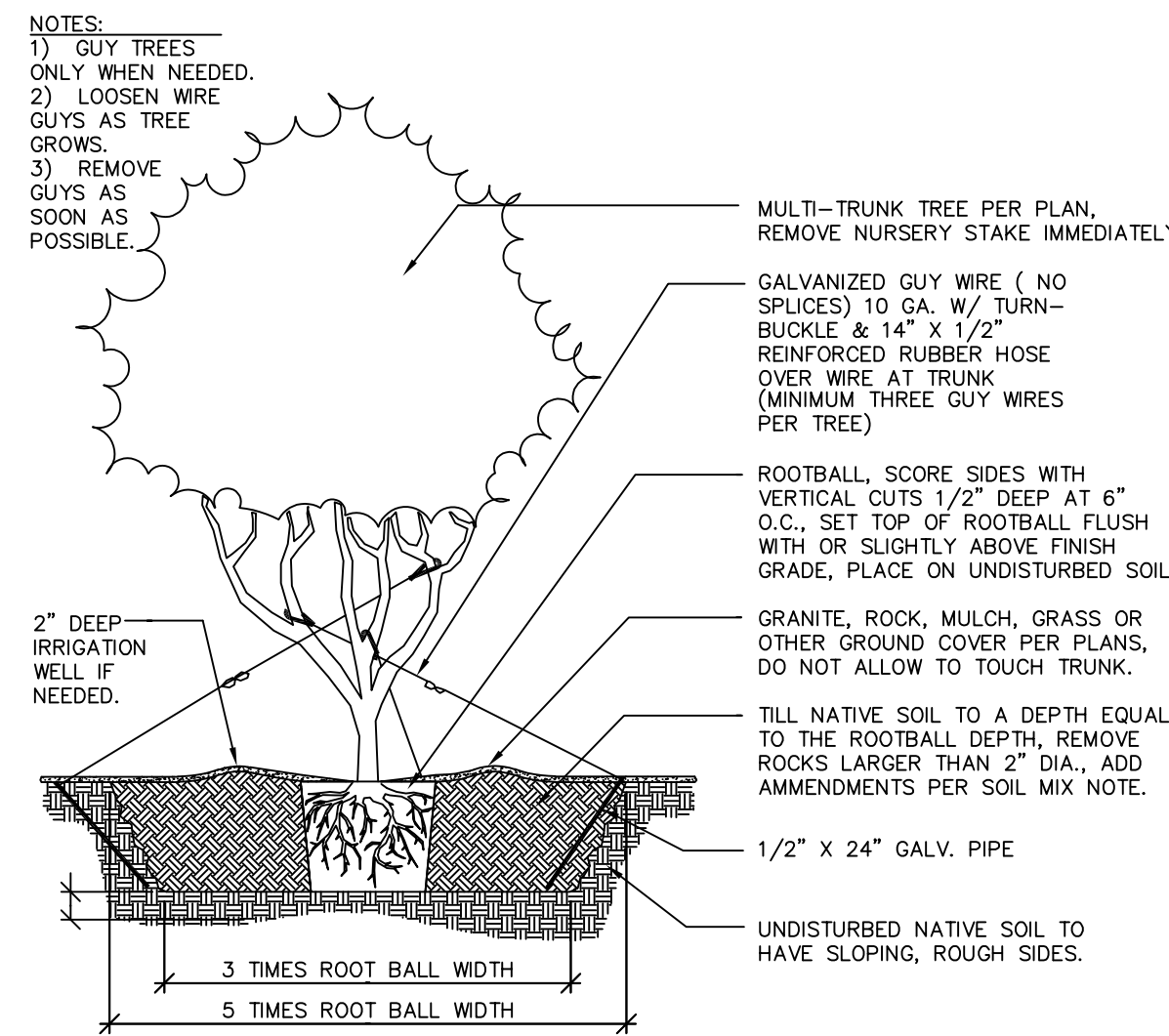
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L1.03



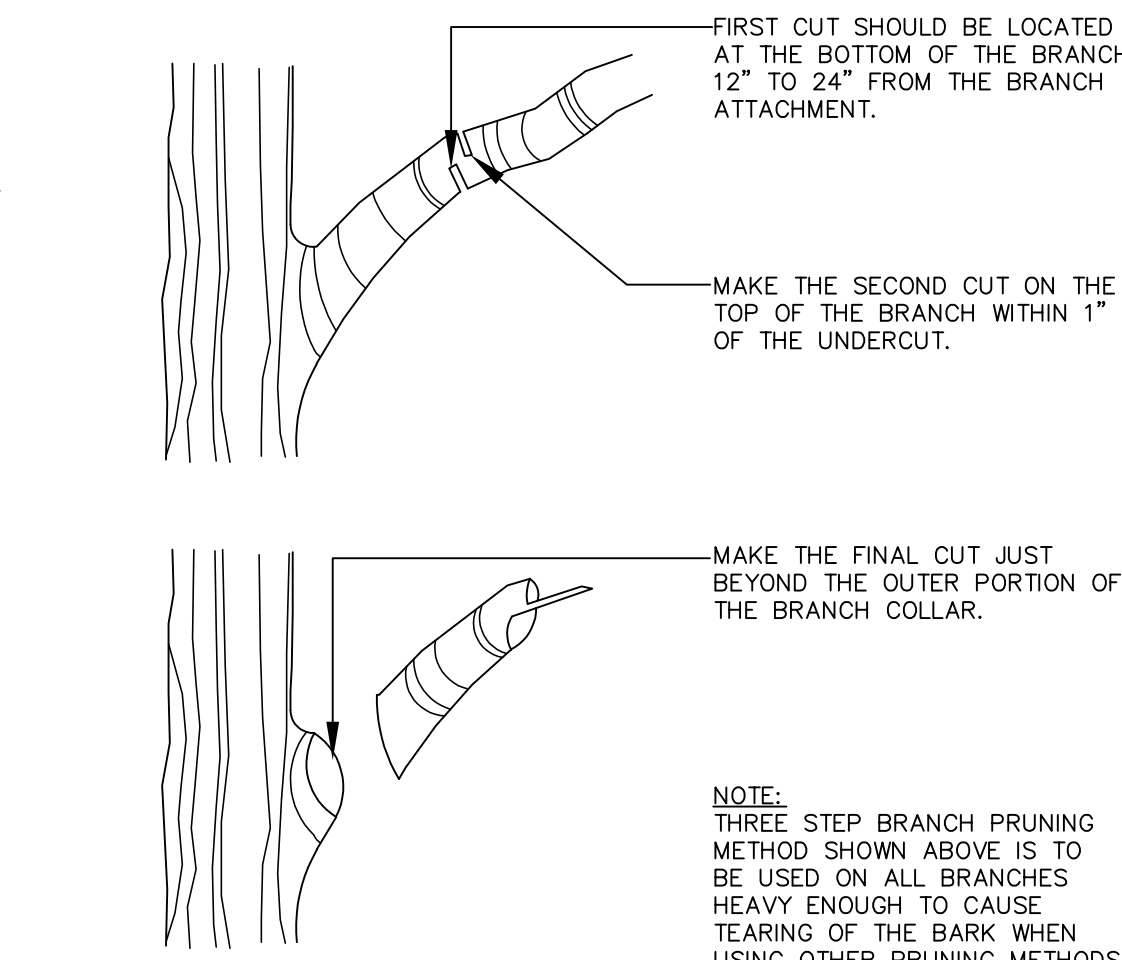
A PALM PLANTING DETAIL



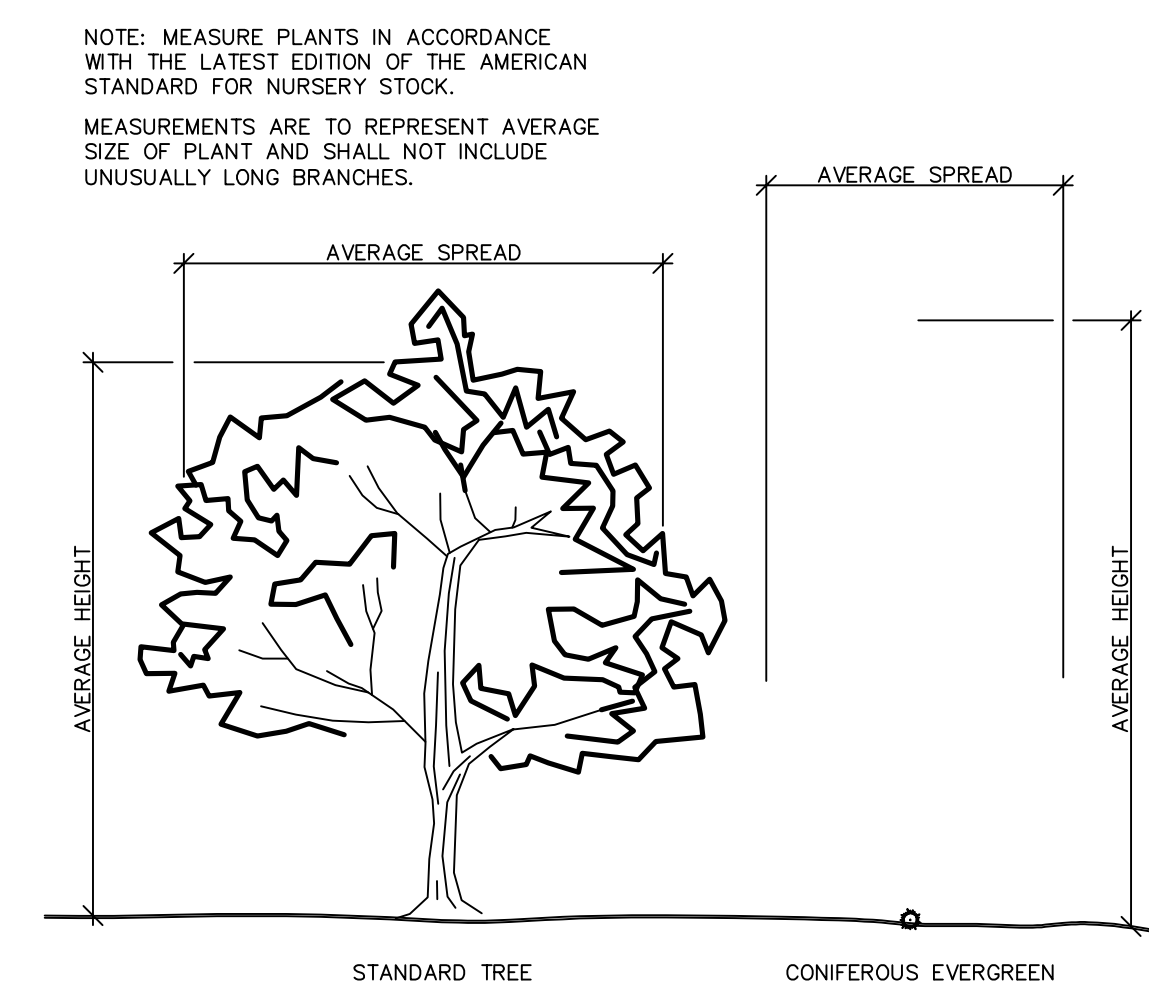
B TREE PLANTING DETAIL



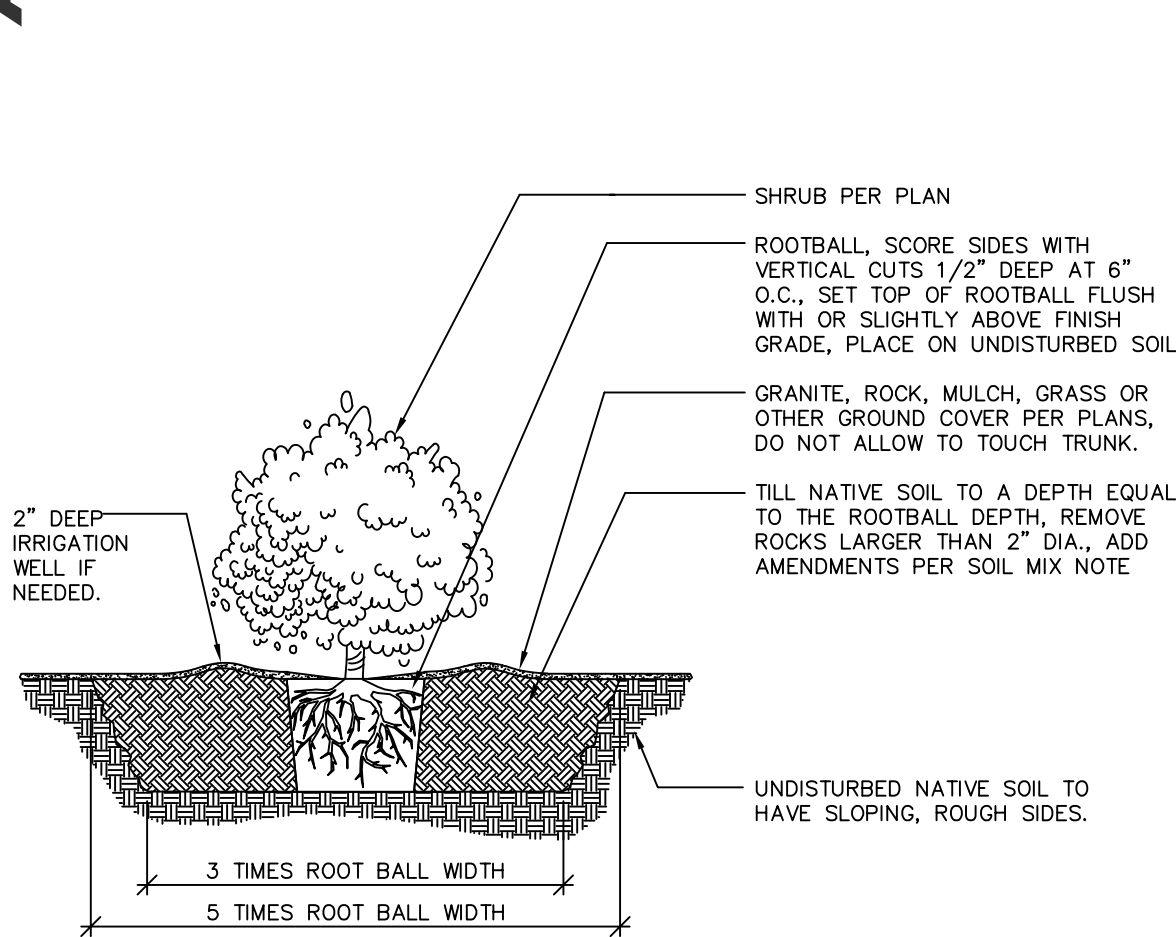
C MULTI-TRUNK PLANTING DETAIL



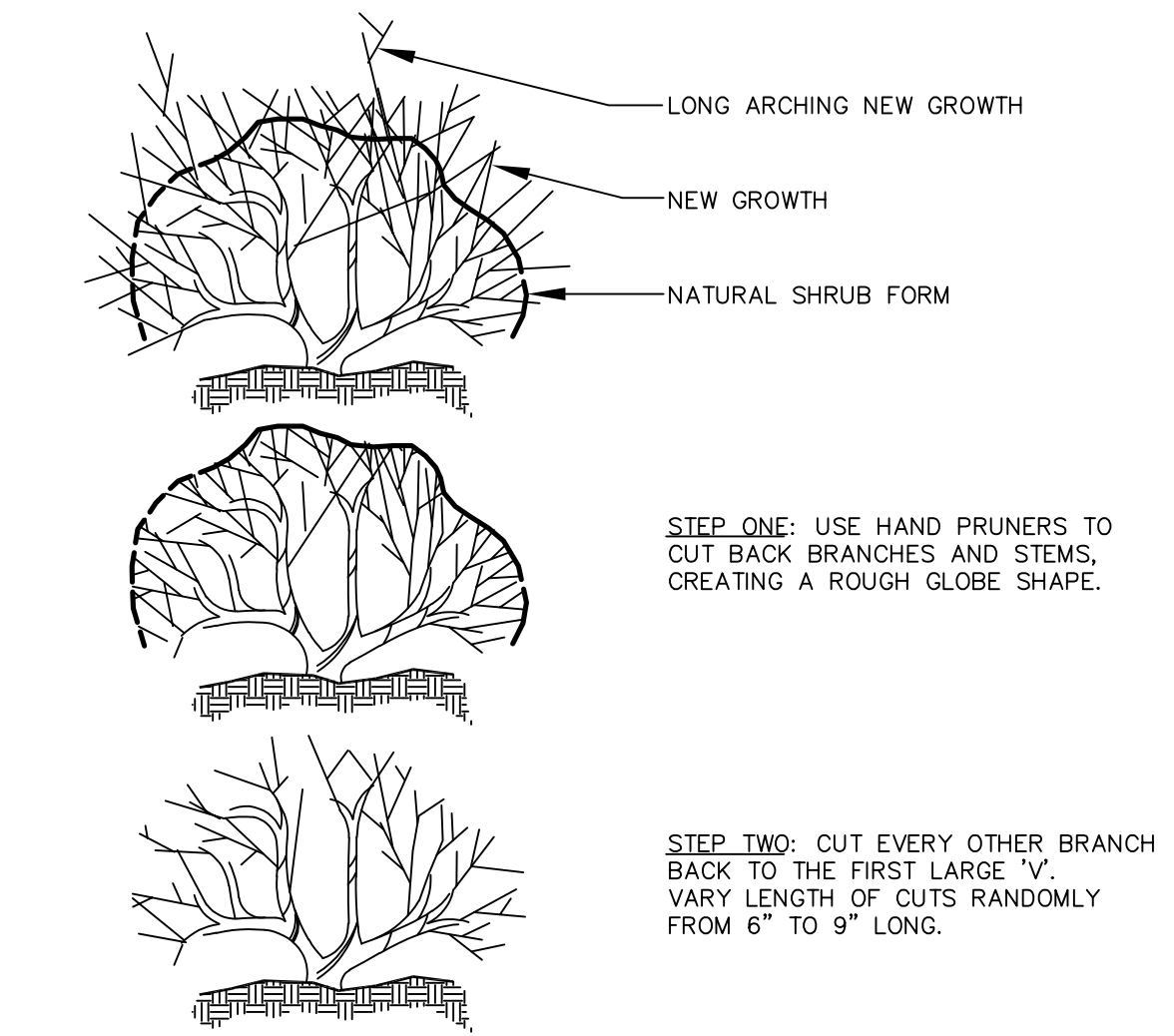
D TREE BRANCH PRUNING DETAIL



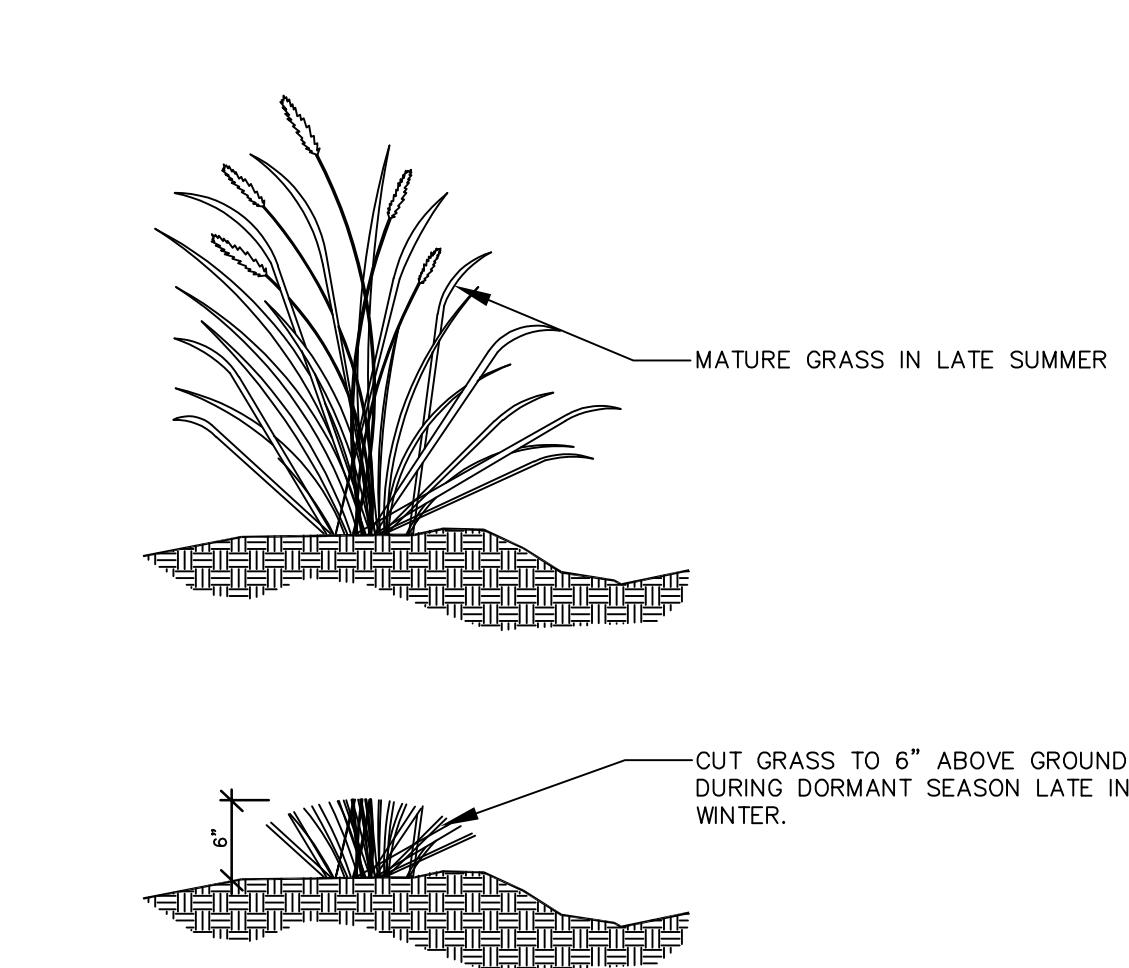
E PLANT MEASUREMENT DETAIL



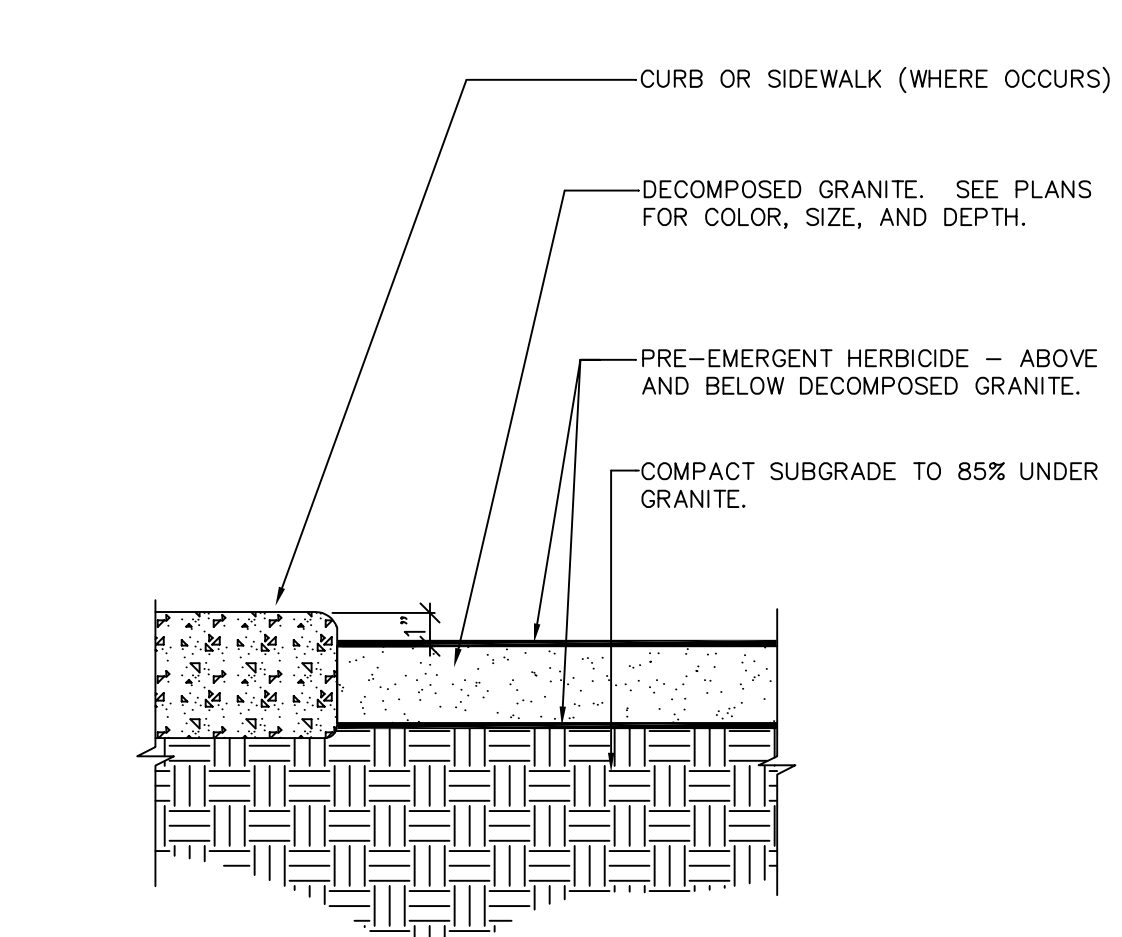
F SHRUB PLANTING DETAIL



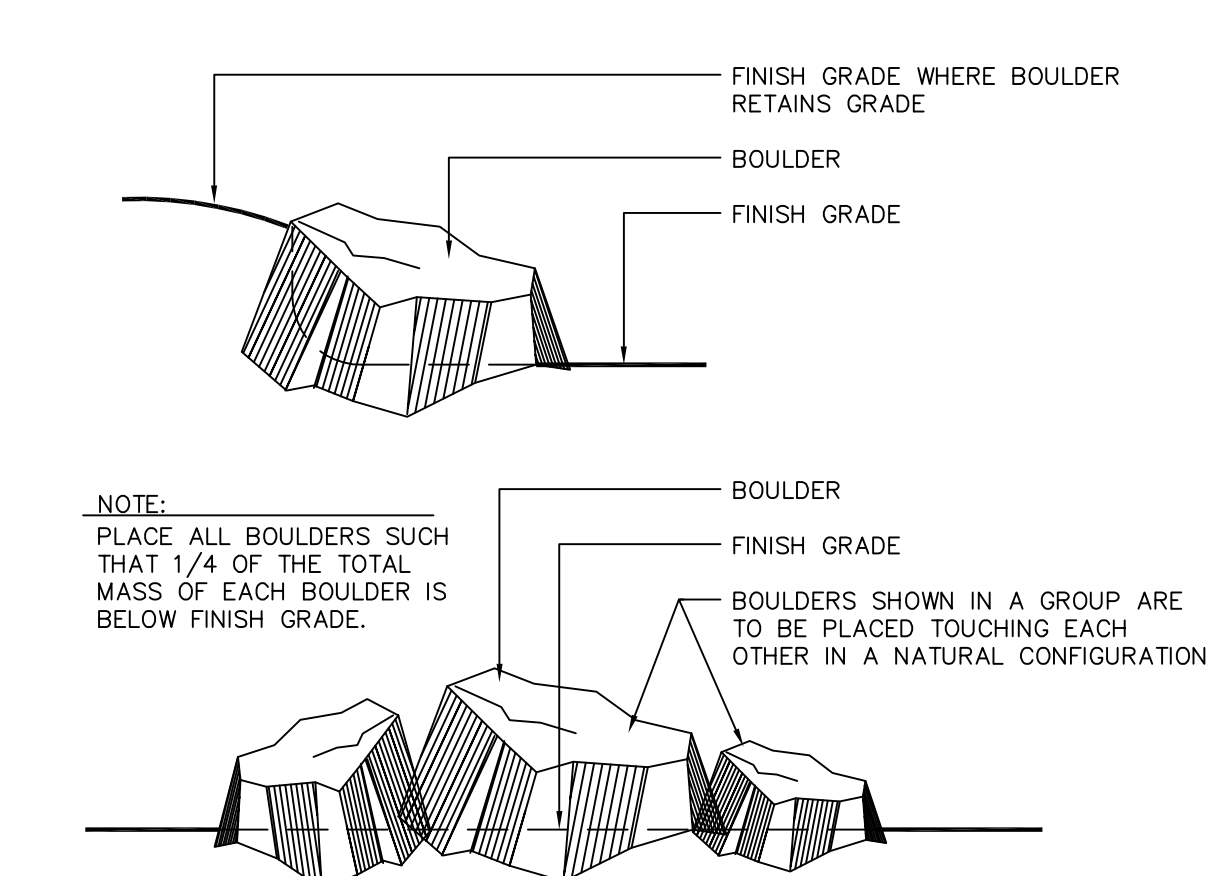
G SHRUB PRUNING DETAIL



H GRASS PRUNING DETAIL



I DECOMPOSED GRANITE DETAIL



J BOULDER PLACEMENT DETAIL

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
CERCIS CANADENSIS 'MEX.	MEXICAN REDBUD	19	24"	BOX	B,D,E	
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	10	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
LAGESTROMIA INDICA 'MULTI'	RED MULTI CRAPE MYRTLE	26	24"	BOX	B,D,E	
PINUS ELDARICA	MONDEL PINE	3	24"	BOX	B,D,E	
ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	19	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD SYCAMORE	12	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	13	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	21	24"	BOX	B,D,E	
ULMUS 'CATHEDRAL'	CATHEDRAL ELM	21	TREE FARM	BOX	B,D,E	HARVESTED FROM TREE FARM ON SITE
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	8	8'-0" TO 12'-0" BTH	B&B	A,E	SEE PLANTING PLAN FOR SIZE AND LOCATION
SHRUBS						
ABELIA GRANDIFLORA	PINK ABELIA	113	15	GALLON	F,G	
AGAVE PARVIFLORA	PARRY'S AGAVE	107	15	GALLON	F,G	
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	36	15	GALLON	F,G	
DASYLIRION WHEELERII	DESERT SPOON	79	5	GALLON	F,G	
HESPERALOE PARVIFLORA	RED YUCCA	156	5	GALLON	F,G	
ILEX VONITORIA	YALPOM HOLLY	75	5	GALLON	F,G	
LANTANA CAMARA	LANTANA	60	5	GALLON	F,G	
LEUCOPHYLLUM FRUTESCENS 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	150	5	GALLON	F,G	
MULLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	183	5	GALLON	F,G,H	
OLEA EUROPAEA 'MONTRA'	LITTLE OLIVE DWARF OLIVE	28	5	GALLON	F,G	
RHAPHICLIPTIS INDICA	DWARF PINKIE HAWTHORN	34	5	GALLON	F,G	
ROSA 'RED CARPET'	RED CARPET ROSE	73	1	GALLON	F,G	
BOULDERS						
LANDSCAPE BOULDERS VARY IN SIZE: 50% - 5' X 4', AND 50% - 4' X 3'		200	3' - 4'		J	

PLANTING LEGEND

NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



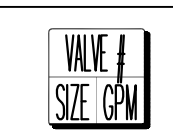
Mika Vaccaro
APPROVED
02/19/2026



IRRIGATION LEGEND

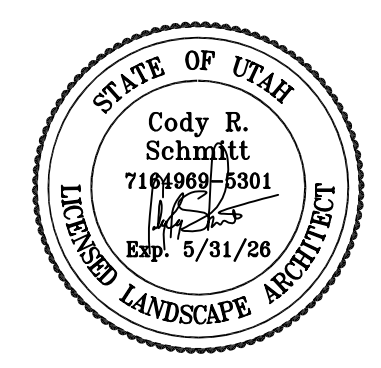
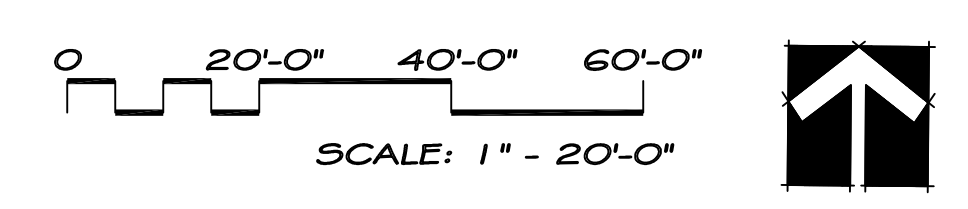
- POINT OF CONNECTION
- TORO SENTINEL 2-WIRE CONTROLLER
- WILKINS 975XLVSR RPA - REDUCED PRESSURE BACKFLOW DEVICE WITH FLOW SENSOR AND MASTER VALVE (SEE DTL. SHEET)
- 2" TO 4" GATE VALVES SEE MAINLINE SIZE
- 4" SCHEDULE 40 PVC MAINLINE
- NETAFIM 3/4" SOLID DRIP TUBING (SEE DTL. H, SHEET L2.04)
- 2" SCHEDULE 40 PVC LATERAL LINE; SIZE ALL PIPE PER DETAIL "M" IN ACCORDANCE WITH GPM'S.
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- SLEEVES 2 X DIAMETER OF PIPE
- TORO 560 SERIES - 10 VAN SERIES POP-UP SPRAY HEAD
- TORO 560 SERIES - 8 VAN SERIES POP-UP SPRAY HEAD
- RAINBIRD 6504 - STAINLESS STEEL ROTOR HEAD - 54' COVERAGE NOZZLE 10 OR 12 DEPENDING UPON PRESSURE
- RAINBIRD 5000 - STAINLESS STEEL ROTOR HEAD SEE PLAN FOR NOZZLE SIZE

VALVE ID LEGEND



NOTES:

- 1) SEE SHEET L2.04 FOR IRRIGATION DETAILS.
- 2) INSTALL MAINLINE A MINIMUM OF 1'-0" OFF CURB OR SIDEWALK. SEE MAINLINE SPEC. FOR PROPER DEPTH.
- 3) INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
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REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
 HURRICANE UTAH

CSLA
 Cody Schmitt
 LANDSCAPE ARCHITECT

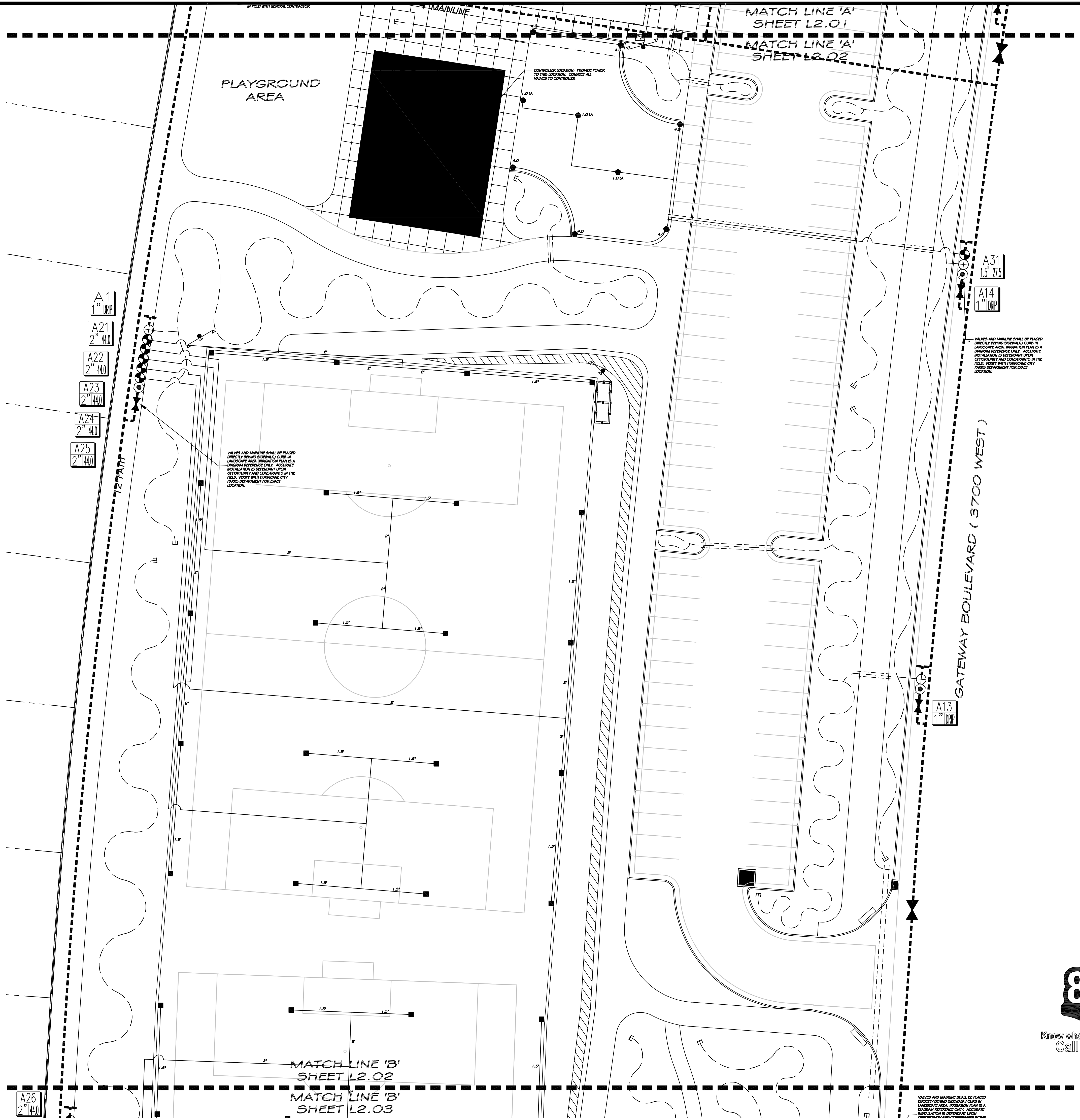
CONSULTANTS:

PROJECT:
 GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
 SHEET CONTENTS:
 IRRIGATION PLAN

DATE:
 02/10/2025
 JOB NO.:
 02102025

SHEET:
L2.01

M. K. Vance
APPROVED
02/19/2026



IRRIGATION LEGEND

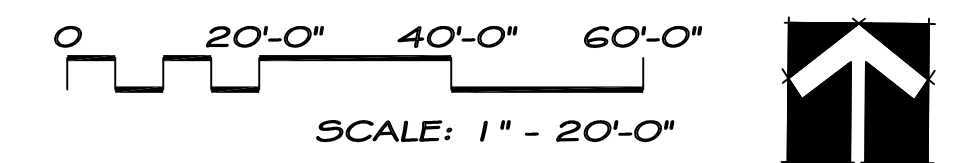
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- TORO 560 SERIES - 8 VAN SERIES POP-UP SPRAY HEAD
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- RAINBIRD 5000 - STAINLESS STEEL ROTOR HEAD SEE PLAN FOR NOZZLE SIZE

VALVE ID LEGEND



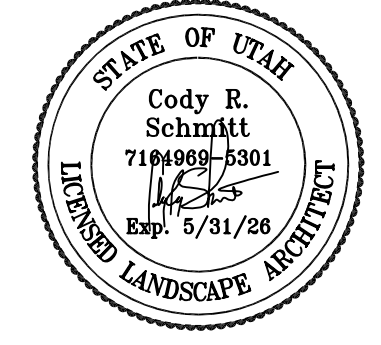
NOTES:

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- 5) CONTRACTOR RESPONSIBLE TO VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR.
- 6) CONTRACTOR TO PROVIDE TEST ON BACKFLOW DEVICE.



Know what's below.
 Call before you dig.

VALVES AND MAINLINE SHALL BE PLACED DIRECTLY BEHIND SIDEWALK CURB IN LANDSCAPE AREA. IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD. VERIFY WITH HURRICANE CITY PUBLIC DEPARTMENT FOR EXACT LOCATION.



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
 HURRICANE UTAH

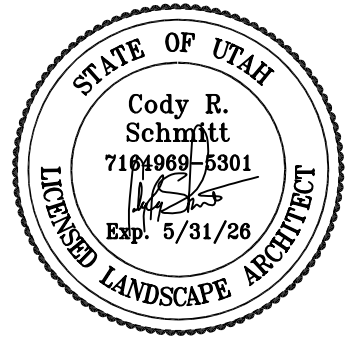
CSLA
 Cody Schmitt
 LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:
 GATEWAY PARK @ ELIM VALLEY DEVELOPMENT
 SHEET CONTENTS:
 IRRIGATION PLAN

DATE:
 02/10/2025
 JOB NO.:
 02102025
 SHEET:

L2.02



REVISIONS:

GATEWAY PARK @ ELIM VALLEY DEVELOPMENT HURRICANE UTAH

CSLA Cody Schmitt LANDSCAPE ARCHITECT

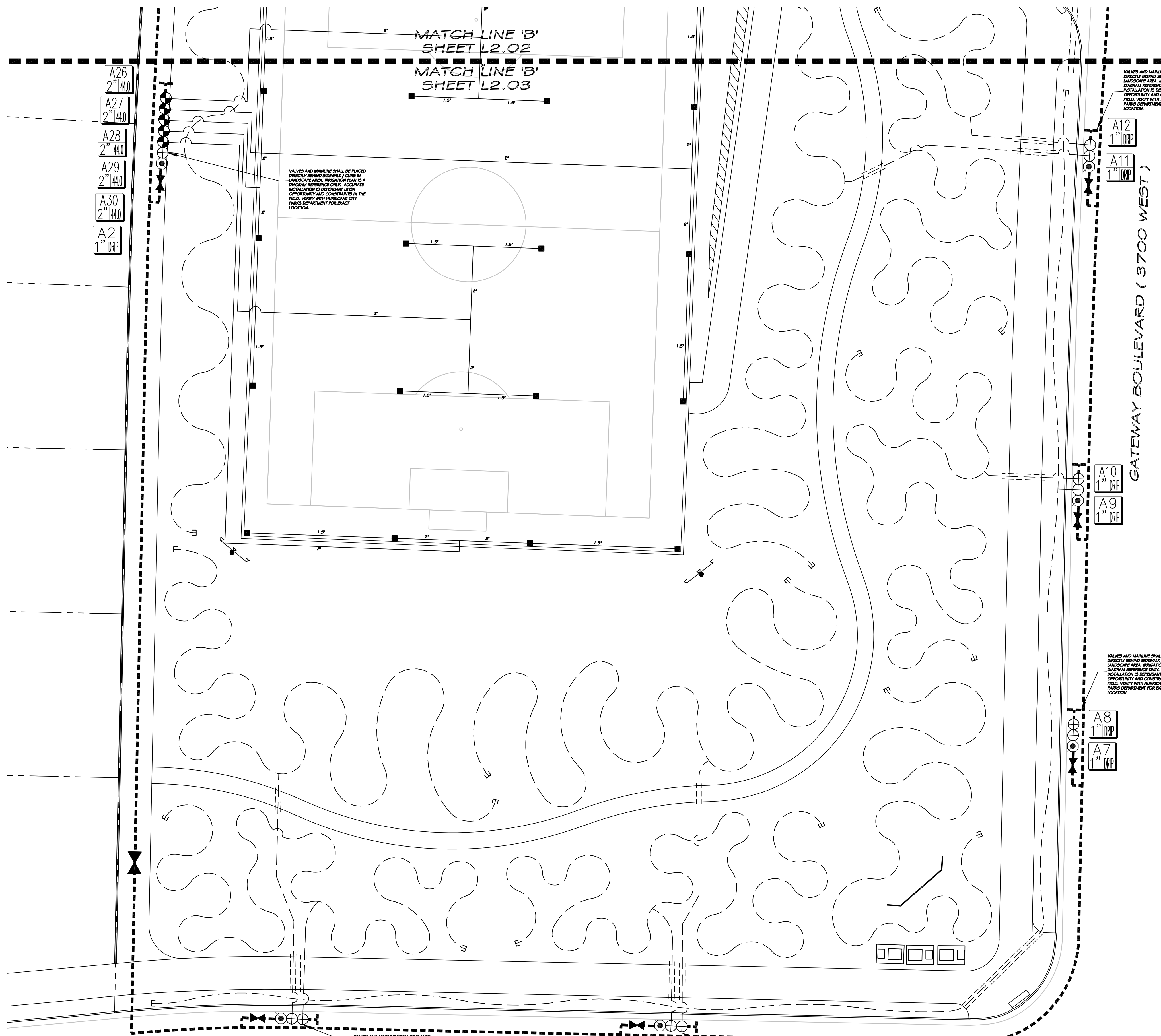
CONSULTANTS:

PROJECT: GATEWAY PARK @ ELIM VALLEY DEVELOPMENT SHEET CONTENTS: IRRIGATION PLAN

DATE: 02/10/2025 JOB NO.: 02102025

SHEET: L2.03

APPROVED 02/19/2026



IRRIGATION LEGEND

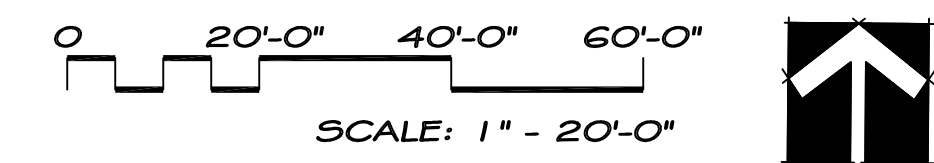
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VALVE ID LEGEND



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A3 1" DRIP A4 1" DRIP

A5 1" DRIP A6 1" DRIP

A8 1" DRIP A7 1" DRIP

A10 1" DRIP A9 1" DRIP

A12 1" DRIP A11 1" DRIP

A26 2" 44.0 A27 2" 44.0 A28 2" 44.0 A29 2" 44.0 A30 2" 44.0 A2 1" DRIP

BASH PARKWAY

GATEWAY BOULEVARD (3700 WEST)

MATCH LINE 'B' SHEET L2.02 MATCH LINE 'B' SHEET L2.03

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