



HURRICANE CITY UTAH

Planning Commission

*Mark Sampson, Chair
Ralph Ballard - Alternate Chair.
Paul Farthing
Shelley Goodfellow
Brad Winder
Kelby Iverson
Michelle Smith
Scott Hughes*

Mayor

Clark Fawcett

City Manager

Kaden DeMille

Hurricane Planning Commission Meeting Agenda

June 11, 2026

6:00 PM

Hurricane City Offices 147 N 870 W, Hurricane

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. at the Hurricane City Offices 147 N 870 W, Hurricane, UT.

Meeting link:

<https://cityofhurricane.webex.com/cityofhurricane/j.php?MTID=me42b4eb65609e35eb0e0664c925c9dbc>

Meeting number:2632 882 4836

Password:HCplanning

Host key:730111

Join by phone+1-415-655-0001 US Toll

Access code: 2632 882 4836

Host PIN: 9461

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West.

6:00 p.m. - Call to Order

Roll Call

Pledge of Allegiance

Prayer and/or thought by invitation

Declaration of any conflicts of interest

NEW BUSINESS

1. AFP26-07: Discussion and consideration of a possible approval of an amended final plat for Gateway Commercial Lot 5, a three lot commercial subdivision located at 300 S 3700 W. Western Mortgage and Realty Co, Applicant. Karl Rasmussen, Agent.
2. FSP26-14: Discussion and consideration of a final site plan for Zions Gateway Phase 3, a commercial development consisting of three restaurant buildings located at 2000 W 100 N. Rick Adams, Applicant. Bush & Gudgell, Agent.

3. PP25-15: Discussion and consideration of an extension of the preliminary plat approval for Sandwater Estates, a 255 lot single family subdivision located at Sand Hollow Road and 2300 S. Western Mortgage and Realty Co, Applicant. Karl Rasmussen, Agent.
4. AFP26-10: Discussion and consideration of a possible approval of an amended final plat for Quail Lake Estates Lots 27 & 27 A, located at 27 and 27 A Quail Creek Drive. Rollin and Patricia Hooper, Applicant. Karl Rasmussen, Agent.

Approval of Minutes:

Planning Commission Business:

1. Discussion on duplexes in single family zones

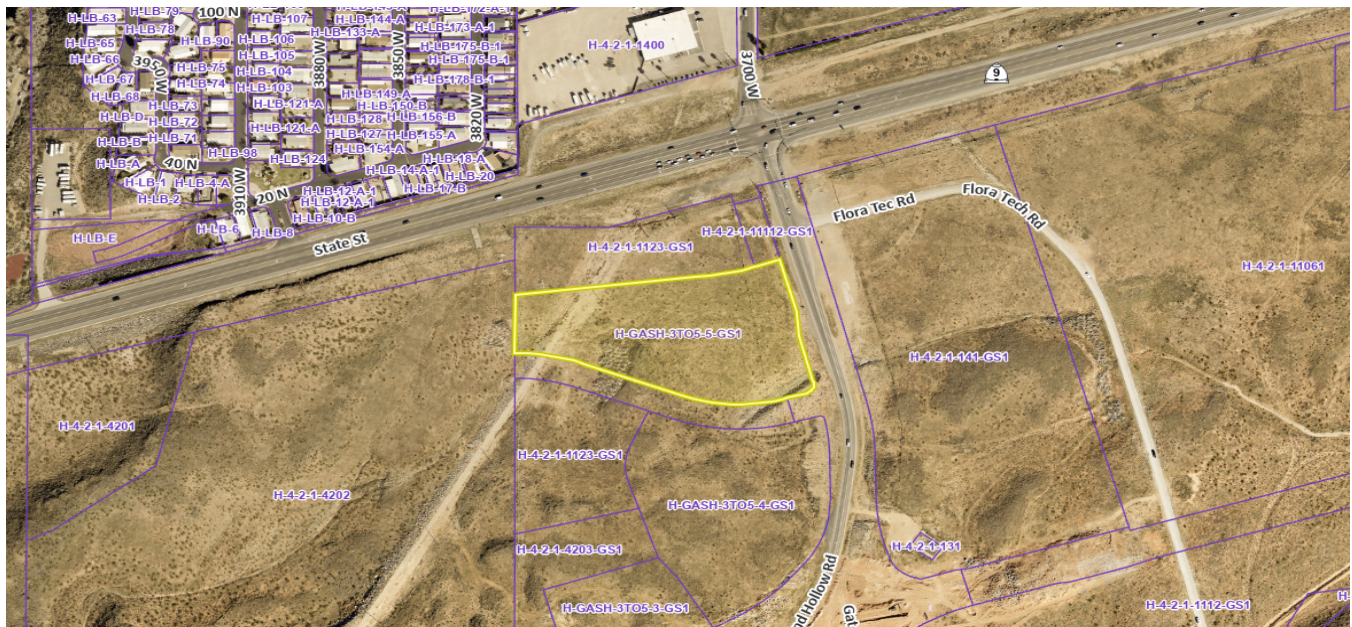
Adjournment

REASONABLE ACCOMMODATION: Hurricane City will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs, please contact the City Planning Technician, 435-635-2811 x 112, at least 24 hours in advance if you have special needs.

STAFF COMMENTS

Agenda Date:	06/11/2026 - Planning Commission
Application Number:	AFP26-07
Type of Application:	Amended Final Plat
Action Type:	Administrative
Applicant:	Western Mortgage and Realty Co
Agent:	Karl Rasmussen
Request:	Approval of an Amended Final Plat.
Location:	300 S 3700 W
Zoning:	HC
General Plan Map:	General Commercial
Recommendation:	Approve subject to staff comments.
Report Prepared by:	Fred Resch III

Discussion: The applicant has applied to amend the final plat for the Gateway Commercial at Sand Hollow subdivision to divide Lot 5 into three separate lots (5, 5A, and 5B). A preliminary site plan approved on this site in 2024, depicts a hotel on proposed Lot 5B, and restaurant pads on Lots 5 and 5A. The subdivision is zoned Highway Commercial (HC).



Vicinity Map
JUC Comments

The following comments will need to be addressed.

1. **Public Works:** [No comments received.]
2. **Power:** Approved.
3. **Water:** Approved.
4. **Streets:** Approved.
5. **Sewer:** Clarify sewer easements on west side of development.
6. **Engineering:** The plat requires additional coordination, but engineering supports the intent. Due to easements, can we see a preliminary site plan application before finalizing and recording the amended plat?
7. **Fire:** Approved.
8. **Phone/Cable:** Approved.
9. **Gas:** [No comments received.]
10. **Infowest:** We have conduit within the lot(s) and would like the area to be fully blue staked to avoid damages and charges for fixing our lines.
11. **WCWCD:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments

1. The plat meets the amended final plat standards contained in Utah Code 10-20-811 for subdivision amendments, updated in 2025. The following is a list of the key code requirements that should be considered:
 - a. Depicts only the portion of the subdivision that is proposed to be amended.
 - b. Includes a plat name distinguishing the amended plat from the original plat.
 - c. Describes the differences between from the original plat.
 - d. Includes references to the original plat.
2. The Final Plat needs a full review by the City Engineering Department for surveying details.
3. Individual site plan applications will be required for each lot.

Recommendation: The Planning Commission should review this application based upon standards within the Hurricane City Code and applicable State Code standards. Staff recommends approval subject to staff and JUC comments.

NARRATIVE

THE PURPOSE OF THIS PARTIAL AMENDMENT PLAT IS TO SEPARATE LOT 5 OF THE GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5 (WASHINGTON COUNTY RECORDS DOCUMENT #20260018215) INTO THREE LOTS AND CREATE LOTS 5, 5A & 5B. NO OTHER CHANGES TO THE ORIGINAL PLAT ARE MADE OR INTENDED WITH THIS AMENDMENT PLAT.

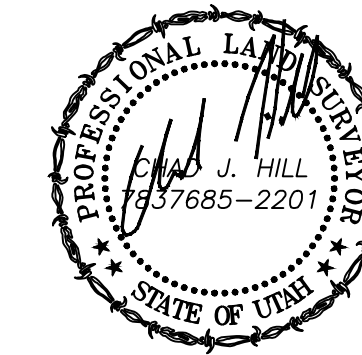
FINAL PLAT FOR: GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5 PARTIAL AMENDMENT A

LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, CHAD J. HILL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 7837685, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, PUBLIC STREETS, AND PUBLIC UTILITY EASEMENTS, HEREAFTER TO BE KNOWN AS GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5 PARTIAL AMENDMENT A, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND WILL BE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

Chad J. Hill
CHAD J. HILL, P.L.S. #7837685



REVIEW
DATE _____

NARRATIVE

THE PURPOSE OF THIS PARTIAL AMENDMENT PLAT IS TO SEPARATE LOT 5 OF THE GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5 (WASHINGTON COUNTY RECORDS DOCUMENT #20260018215) INTO THREE LOTS AND CREATE LOTS 5, SA & SB. NO OTHER CHANGES TO THE ORIGINAL PLAT ARE MADE OR INTENDED WITH THIS AMENDMENT PLAT.

THE BASIS OF BEARINGS IS N01°22'20"E 2655.82 FEET FROM THE EAST QUARTER (1/4) CORNER TO THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN.

LEGAL DESCRIPTION

COMMENCING AT THE EAST QUARTER (1/4) CORNER OF SECTION 1, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EAST SECTION LINE OF SAID SECTION 1, N01°22'20"E 1610.90 FEET; THENCE WEST 1928.47 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE WEST BOUNDARY OF GATEWAY BOULEVARD THE FOLLOWING FOUR (4) COURSES: (1) S14°06'41"E 167.11 FEET; (2) SOUTHERLY ALONG THE ARC OF A 29.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 4.69 FEET, THROUGH A CENTRAL ANGLE OF 09°16'28", (LONG CHORD BEARS: S09°28'27"E 4.69 FEET); (3) S04°50'13"E 72.11 FEET; (4) S14°06'41"E 148.03 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 26.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 41.63 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", (LONG CHORD BEARS: S30°53'19"W 37.48 FEET); THENCE S27°53'19"W 55.63 FEET; THENCE S14°06'41"E 77.00 FEET; THENCE N75°53'19"E 69.17 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 12.50 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 20.16 FEET, THROUGH A CENTRAL ANGLE OF 92°25'02", (LONG CHORD BEARS: S57°54'10"E 18.05 FEET); THENCE SOUTHERLY ALONG THE ARC OF A 532.00 FOOT RADIUS COMPOUND CURVE TO THE RIGHT A DISTANCE OF 109.09 FEET, THROUGH A CENTRAL ANGLE OF 11°44'54", (LONG CHORD BEARS: S05°49'11"E 108.90 FEET); THENCE S00°03'16"W 136.57 FEET; THENCE SOUTHERLY ALONG THE ARC OF A 307.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 227.48 FEET, THROUGH A CENTRAL ANGLE OF 42°27'19", (LONG CHORD BEARS: S21°16'55"W 222.31 FEET) TO THE NORTH BOUNDARY OF SAND HOLLOW ROAD; THENCE ALONG SAID BOUNDARY THE FOLLOWING EIGHT (8) COURSES: (1) S42°30'35"W 57.07 FEET; (2) SOUTHWESTERLY ALONG THE ARC OF A 562.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 204.98 FEET, THROUGH A CENTRAL ANGLE OF 20°53'50", (LONG CHORD BEARS: S52°57'30"W 203.84 FEET); (3) S63°24'25"W 50.53 FEET; (4) S73°32'31"W 110.70 FEET; (5) S74°46'22"W 204.41 FEET; (6) NORTHWESTERLY ALONG THE ARC OF A 30.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 47.12 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", (LONG CHORD BEARS: N60°13'38"W 42.43 FEET); (7) N15°13'38"W 61.19 FEET; (8) S74°46'22"W 66.50 FEET; THENCE N15°13'38"W 154.94 FEET; THENCE N73°32'12"E 328.77 FEET; THENCE N15°13'38"W 248.73 FEET; THENCE NORTHERLY ALONG THE ARC OF A 150.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 115.39 FEET, THROUGH A CENTRAL ANGLE OF 44°04'30", (LONG CHORD BEARS: N04°04'55"E 112.56 FEET); THENCE N26°07'10"E 117.35 FEET; THENCE N68°44'24"W 213.99 FEET; THENCE WESTERLY ALONG THE ARC OF A 458.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 166.92 FEET, THROUGH A CENTRAL ANGLE OF 20°52'55", (LONG CHORD BEARS: N79°10'52"W 166.00 FEET); THENCE N01°22'20"E 259.13 FEET; THENCE N84°57'10"E 494.77 FEET; THENCE N84°57'10"E 36.61 FEET; THENCE N80°04'16"E 88.65 FEET; THENCE N74°46'22"E 40.94 FEET; THENCE N73°30'41"E 70.23 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 657,216 SQUARE FEET OR 15.088 ACRES.

GENERAL NOTES

- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ALONG ALL PUBLIC STREET LINES, UNLESS OTHERWISE NOTED ON THIS PLAT.
- ALL DISTANCES ON PLAT ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THE PARENT PARCELS FOR THIS SUBDIVISION ARE: H-GASH-3T05-5-GS1, H-GASH-3T05-4-GS1, & H-GASH-3T05-GS1.
- HURRICANE CITY OPERATES A MUNICIPAL WATER SYSTEM WITH LIMITED WATER SUPPLY. APPROVAL OF A PLAT BY HURRICANE CITY DOES NOT GUARANTEE THAT SUFFICIENT WATER WILL BE AVAILABLE TO SERVE LOTS DEPICTED ON ANY PLAT. ANY LAND USE APPLICANT MAY BE REQUIRED BY HURRICANE CITY TO PROVIDE A GUARANTEE OF WATER AVAILABILITY. IF THERE IS ANY APPROVAL WITHOUT A WATER GUARANTEE, THE APPLICANT ASSUMES THE ENTIRE RISK OF WATER AVAILABILITY FOR A PLATTED LOT.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS THE OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, AND DOES HEREBY CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS, AND PUBLIC STREETS, TOGETHER WITH PUBLIC UTILITY & CROSS ACCESS EASEMENTS, AS SET FORTH TO BE HEREAFTER KNOWN AS GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5, AND DOES HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNER ALSO HEREBY CONVEYS TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY & CROSS ACCESS EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS FOR GATEWAY AT SAND HOLLOW MASTER ASSOCIATION RECORDED ON 2/12/2025 AS DOCUMENT #20250004828 IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. IN WITNESS WHEREOF, I HAVE SET MY HAND THIS _____ DAY OF _____, 20____.

TIM TIPPETT, VICE PRESIDENT
WESTERN MORTGAGE AND REALTY COMPANY, A WASHINGTON CORPORATION

CORPORATION ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF WASHINGTON }

ON THIS THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, TIM TIPPETT, WHO BEING BY ME DULY SWORN, DID SAY THAT HE IS THE VICE PRESIDENT OF WESTERN MORTGAGE AND REALTY COMPANY, A WASHINGTON CORPORATION, AND THAT HE EXECUTED THE FOREGOING OWNER'S DEDICATION ON BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS, AND HE DID DULY ACKNOWLEDGE TO ME THAT SUCH CORPORATION EXECUTED THE SAME FOR THE USES AND PURPOSES STATED THEREIN.

RESIDING IN _____ COUNTY, STATE OF UTAH

NOTARY PUBLIC SIGNATURE, A NOTARY PUBLIC COMMISSIONED IN _____

NOTARY PUBLIC FULL NAME AS INDICATED ON THE NOTARY'S COMMISSION: _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

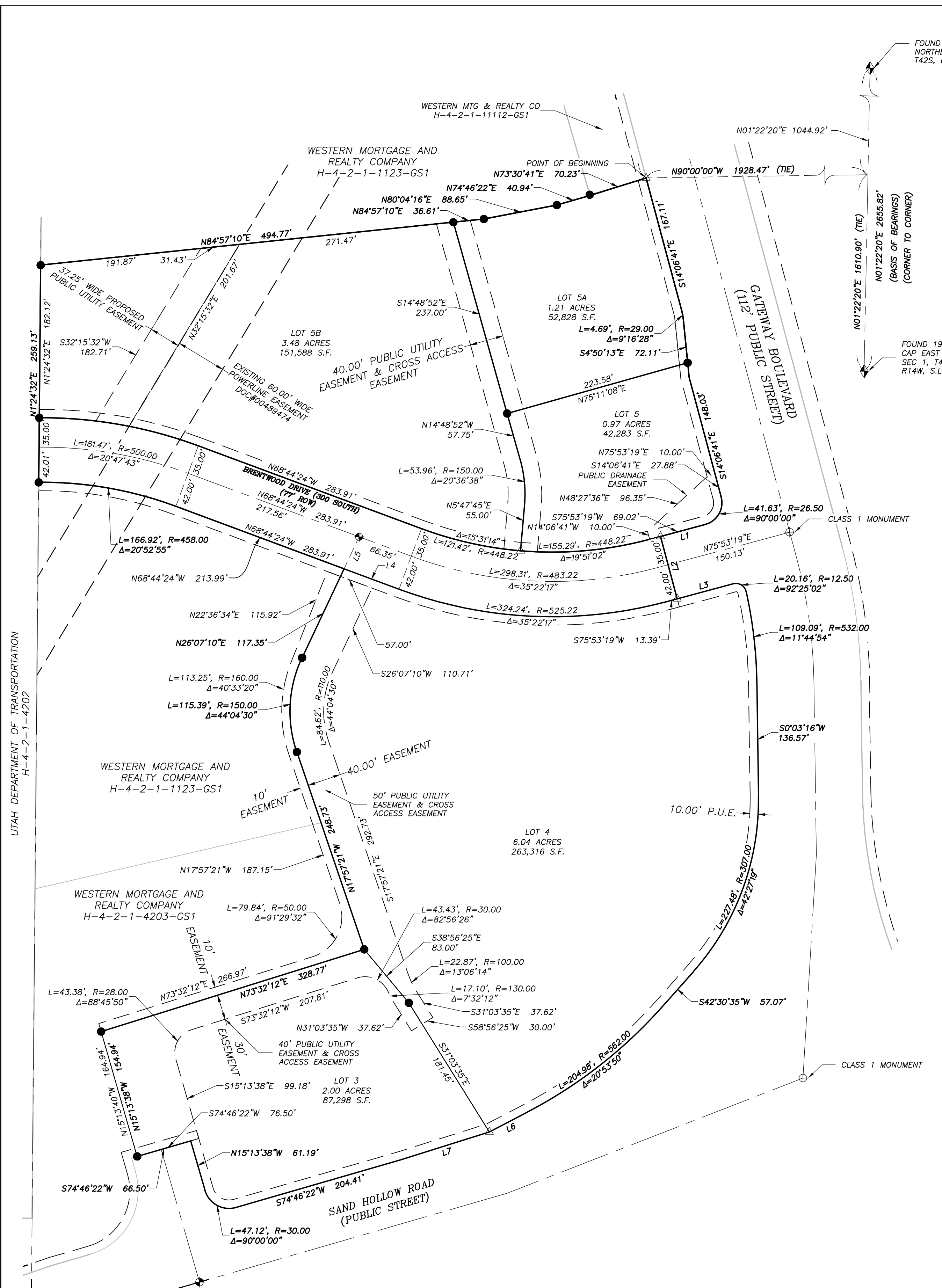
A NOTARY PUBLIC COMMISSIONED IN UTAH STAMP IS NOT REQUIRED PER UTAH CODE 46-1-16(7)

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - SECTION LINE
- - - STREET CENTERLINE
- - - 10' TYP. PUBLIC UTILITY EASEMENT LINE
- - - TIE LINE
- SECTION MONUMENT AS DESCRIBED
- SET CLASS 1 CENTERLINE MONUMENT
- SET PROVALUE ENGINEERING 5/8" REBAR & CAP P.L.S. #7837685
- SET P.K. NAIL IN TBC ON PROPERTY LINE PROJECTION
- EXISTING CENTERLINE MONUMENT AS DESCRIBED

LINE TABLE

LINE	LENGTH	DIRECTION
L1	55.63'	S75°53'19"W
L2	77.00'	S14°06'41"E
L3	69.17'	N75°53'19"E
L4	69.92'	N68°44'24"W
L5	42.15'	N26°07'10"E
L6	50.53'	S63°24'25"W
L7	110.70'	S73°32'31"W



ASHCREEK SPECIAL SERVICE DISTRICT APPROVAL

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. THIS _____ DAY OF _____, A.D. 20____.

SUPERINTENDENT, A.C.S.S.D.

ENGINEER'S APPROVAL

THE HEREON SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, A.D. 20____.

ENGINEER
HURRICANE CITY, UTAH

APPROVAL AS TO FORM

APPROVED AS TO FORM, THIS THE _____ DAY OF _____, A.D. 20____.

CITY ATTORNEY
HURRICANE CITY, UTAH

APPROVAL AND ACCEPTANCE BY HURRICANE CITY, UTAH

WE, THE CITY COUNCIL OF HURRICANE CITY, HAVE REVIEWED THE ABOVE PLAT AND HEREBY ACCEPT SAID PLAT WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THERETO THIS _____ DAY OF _____, A.D. 20____.

ATTEST: CITY RECORDER
HURRICANE CITY, UTAH

CLARK FAWCETT, MAYOR
HURRICANE CITY, UTAH

TREASURER APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS THE _____ DAY OF _____, A.D. 20____, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES, DUE AND PENDING ON THIS SUBDIVISION PLAT HAVE BEEN PAID IN FULL.

WASHINGTON COUNTY TREASURER

RECORDED NUMBER

WASHINGTON COUNTY RECORDER

NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 20 South 850 West, Suite 1
 Hurricane City, Utah 84737
 Phone: 435-668-8307



FINAL PLAT FOR:
GATEWAY COMMERCIAL AT SAND HOLLOW LOTS 3 TO 5
PARTIAL AMENDMENT A
 LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
 HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	5/13/2026
SCALE	1"=80'
JOB NO.	336-013
SHEET NO.	1 OF 1



STAFF COMMENTS

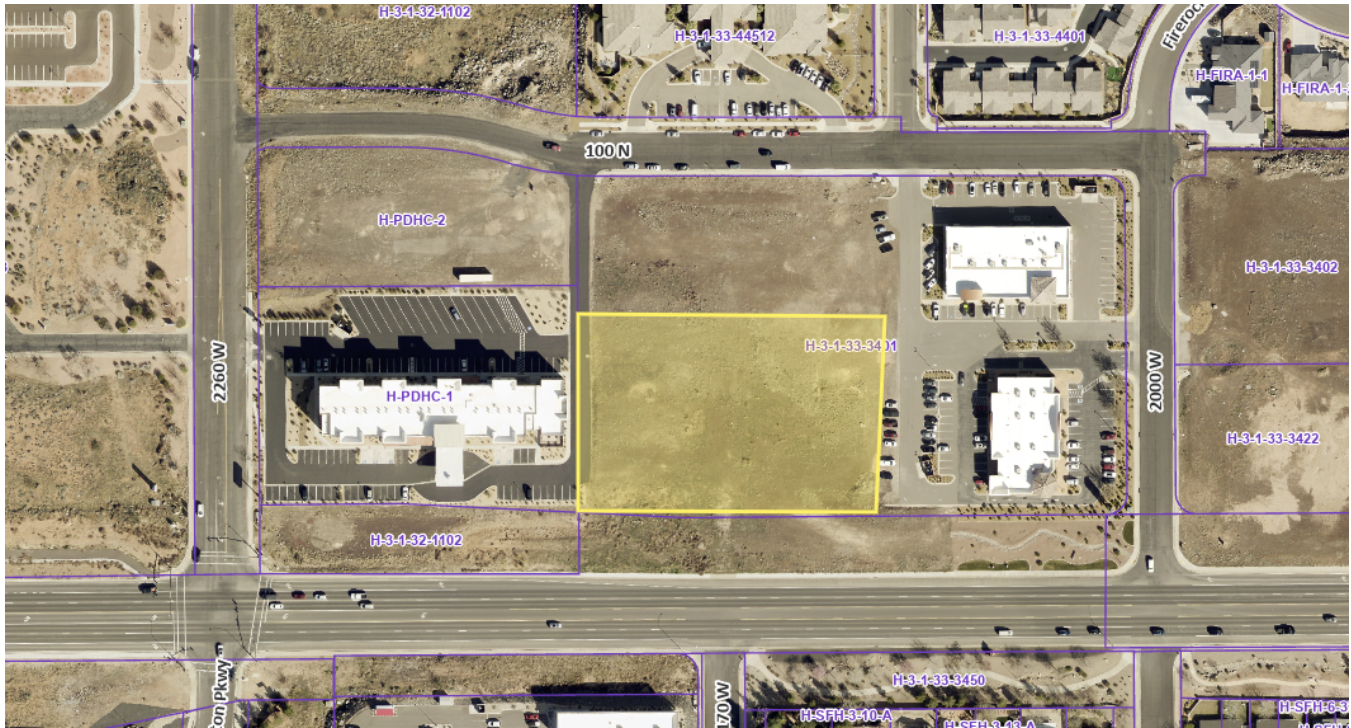
Agenda Date:	06/11/2026 - Planning Commission
Application Number:	FSP26-14
Type of Application:	Final Site Plan
Action Type:	Administrative
Applicant:	Rick Adams
Agent:	Bush & Gudgell
Request:	Approval of a Final Site Plan.
Location:	2000 W 100 N
Zoning:	HC
General Plan Map:	General Commercial
Recommendation:	Approve subject to staff and JUC comments
Report Prepared by:	Fred Resch III

Discussion:

The applicant has filed a final site plan for two restaurant/retail buildings and one drink shop adjacent to the Pig’s Ear restaurant and Hurricane Family Pharmacy. The final site plan for this project was originally approved in April of 2024, but that approval has since expired pursuant to Hurricane City Code sec. 10-7-10(J). The preliminary site plan was approved in June 2022. This site is zoned Highway Commercial (HC)

JUC Comments

Construction drawings were reapproved in May 2026.



Vicinity Map

Staff Comments: Final Site Plan

1. Land Use: The proposed uses are permitted in the Highway Commercial zone.
2. Parking: The applicant is proposing 129 parking stalls. Retail use requires one space per 250 square feet, while restaurant uses require one space per 100 square feet (HCC 10-34-10). Per their calculations, 84 parking stalls are required. Sufficient drive through and stacking spaces have been provided.
3. Landscape: Hurricane City code requires that a 10-foot landscape buffer in front each right-of-way pursuant to:

Sec. 10-32-5. Required landscaping.

A. General requirement. Landscaped areas may include trees, shrubs, vegetative, organic and inorganic ground cover and other organic and inorganic materials identified in an approved landscaping plan. All required landscape areas shall be occupied by plant material or ground cover.

B. Landscaping adjacent to a public street. Except for approved driveways and pedestrian walkways, a landscaped area of ten-foot minimum shall be provided adjacent and parallel to the frontage of a public street as follows:

1. *A ten-foot wide landscaped area on any commercial development.*
2. *At least one tree and three shrubs shall be planted for every 35 feet of street frontage in a required landscaped area. Such trees and shrubs may be clustered, provided that no tree shall be within five feet of another.*

3. *The slope of any earth berm shall not exceed a vertical to horizontal ratio of one to two and shall be treated with suitable ground cover to prevent soil erosion.*

A full landscaping plan has been provided. The number and placement of trees and shrubs meets city code along SR-9 and within the parking lot. SR-9's right of way is wider in this area than the actual improvements by about 70 feet. Staff would recommend this area be landscaped as well to match what was done in earlier phases and to match the intent of HCC 10-32-5(B) and HCC 10-32-1.

4. Signage: Any signs shall require review and approval of a sign permit.
5. Elevations: Building renderings have been submitted, staff has no concerns with the renderings presented. The buildings are under 35 feet and will match the buildings in the earlier phases.
6. Lighting: All outdoor lighting will need to meet the requirements of HCC 10-33-7, including fully shielded lighting, color temperature under 4,000 K, and floodlights under 18 feet.

Recommendation: The Planning Commission should review this application based on standards with Hurricane City Code. Staff recommends approval subject to JUC and staff comments.



BUSH & GUDGELL, INC.
Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

May 19, 2026

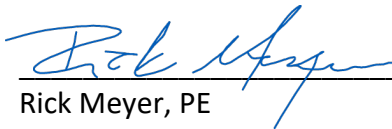
RE: Final Site Plan Application – Zions Gateway

To whom it may concern

With this final site plan application, we are requesting approval of the extension of an existing commercial lot in Hurricane. The proposed extension will be located on the undeveloped portion of the parcel H-3-1-33-3401 that currently consists of 2 existing commercial buildings. The proposed project includes construction of three buildings. One will be a 1,200 square foot restaurant/drink shop with a drive through, and the second will be a 4,200 square foot restaurant with a drive through. The third will be a 4,200 square foot building, with half dedicated to being a restaurant with a drive through and the other half being a retail shop. On the West side of the lot, we are finishing up an access to 100 N that will be shared with the Sleep Inn and Suites Hotel. We previously submitted and got approved construction drawings for this project in March 2024 but drawings had expired and since then construction has not begun. We are reapplying with the construction drawings that were approved on 05/13/2026. The site is currently zoned highway commercial and general planned as general commercial.

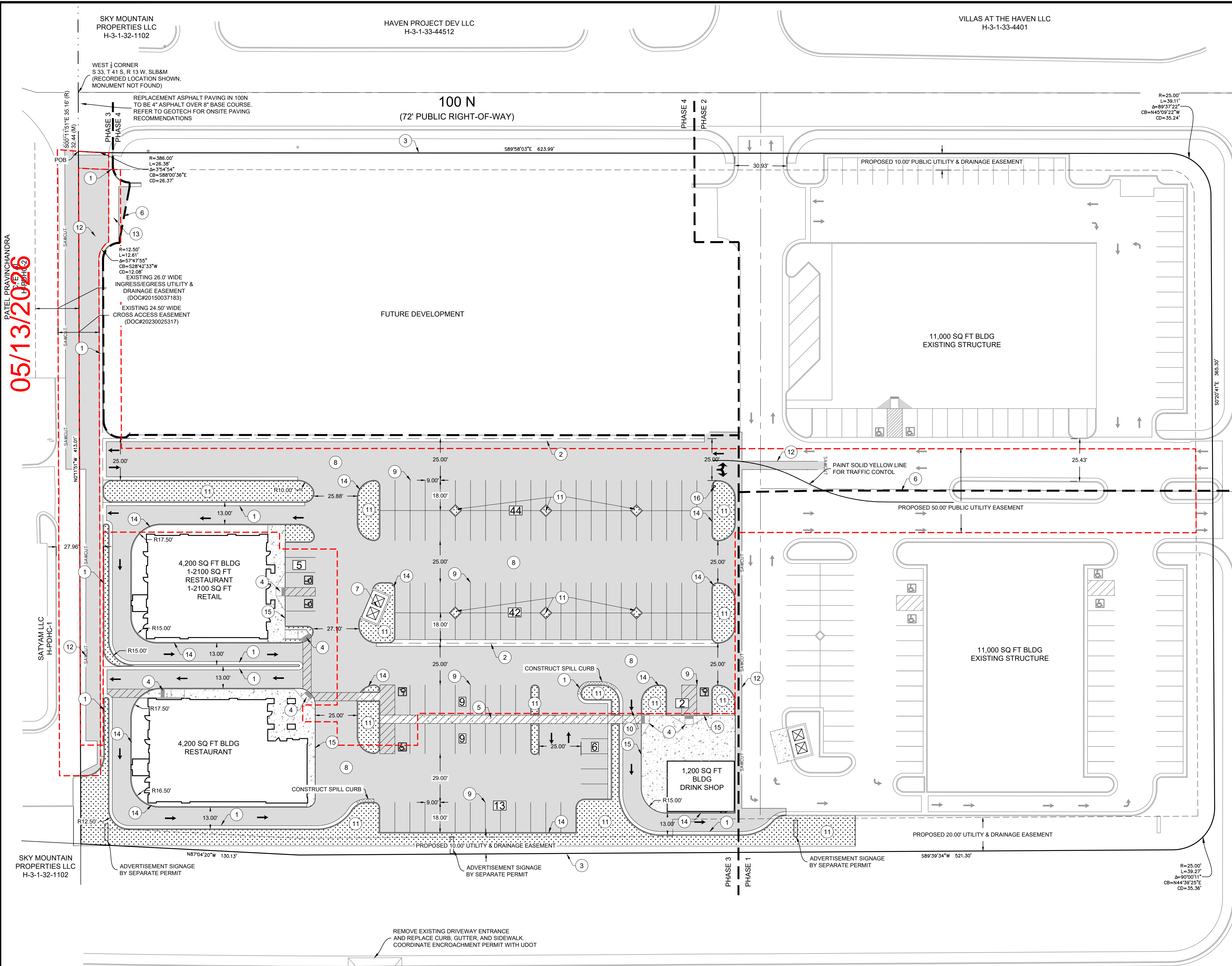
We feel that this development will be in great harmony with the adjacent properties, and will be a great asset to the city. Your consideration of this request is greatly appreciated.

Sincerely,



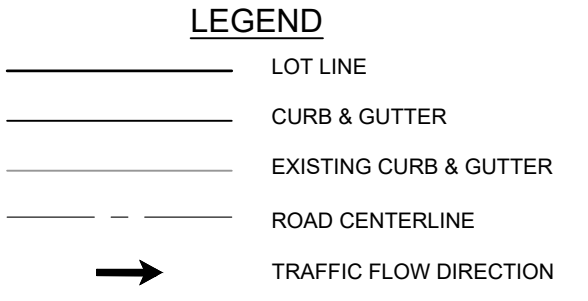
Rick Meyer, PE
Bush and Gudgell

APPROVED
 05/13/2026
 PATEL PRAVINCHANDRA

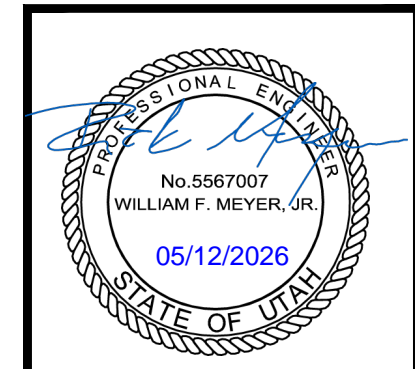


KEYED NOTES:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 STANDARD CURB & GUTTER (TYPE HB30-7) PER CITY STD. DWG #100
 - 2 4" WIDE CONCRETE WATER WAY
 - 3 BOUNDARY / LIMITS OF CONSTRUCTION
 - 4 HANDICAP RAMP PER CITY STD. DWG #121
 - 5 5" WIDE CONCRETE SIDEWALK PER CITY STD. DWG #120
 - 6 PHASE LINE
 - 7 TRASH ENCLOSURE PER DETAIL "A" THIS SHEET
 - 8 NEW ASPHALT PER GEOTECH RECOMMENDATIONS
 - 9 PAINT NEW PARKING STRIPING PER CITY OF HURRICANE STANDARDS. (TYP.)
 - 10 DRIVE THROUGH LANE PAINT
 - 11 LANDSCAPE
 - 12 SAWCUT LINE
 - 13 6" WIDE CROSS GUTTER PER CITY STD. DWG #151
 - 14 6" WIDE APWA STD. 209 TYPE P CURB
 - 15 MONOLITHIC SIDEWALK AND CURB, PER DETAIL "B" THIS SHEET
 - 16 STOP SIGN PER CITY STD. DWG #SS102

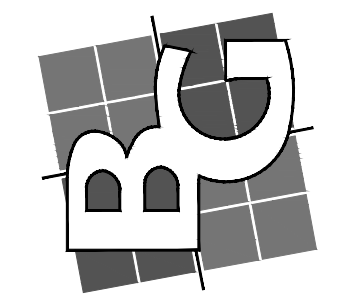


AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY
Call before you Dig
 1-800-662-4111
BLUE STAKES LOCATION CENTER (TYP)



No.	Date	By	Revision

BUSH & GUDGELL, INC.
 Engineers - Planners - Surveyors
 205 East Tabernacle Suite #4
 St. George, Utah 84770
 Phone (435) 673-2337 / Fax (435) 673-3161
 www.bushandgudgell.com



DATE: MAY 2026
 DRAWN: CEW
 APPROVED: WFM
 SCALE: 1"=30'
 JOB NO.: 211305

OWNER / DEVELOPER

ZIONS GATEWAY
 1746 CLIFF POINT DR.
 ST GEORGE, UTAH 84790

RICK ADAMS
 (435)862-6667

ENGINEERING CONTACT

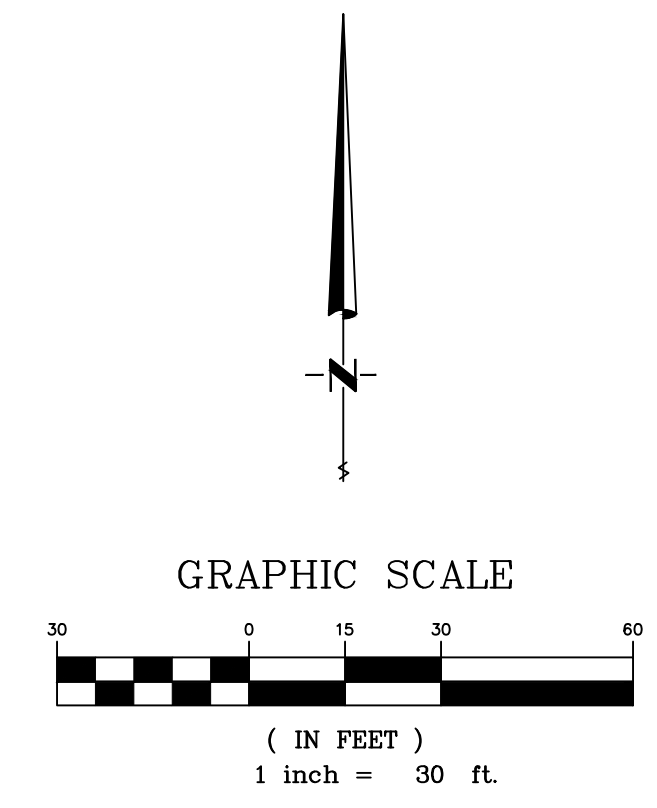
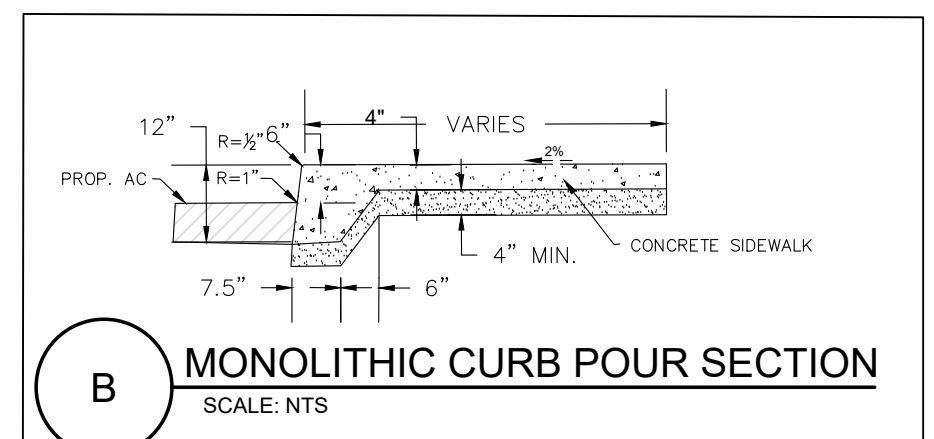
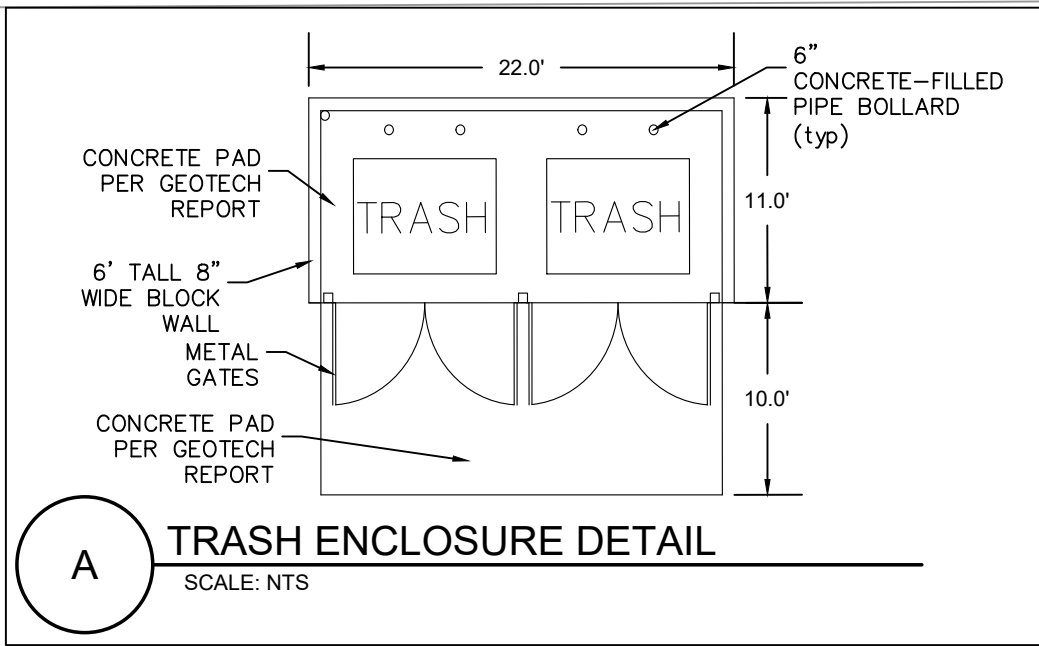
BUSH AND GUDGELL, INC.
 205 EAST TABERNALE #4
 ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
 (435)-673-2337

ONE STOP SUPER
 WASH HURRICANE LLC
 H-3-1-33-3422

STATE HIGHWAY SR-9
 (UDOT PUBLIC RIGHT-OF-WAY)

CONTRACTOR NOTE:
 CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.



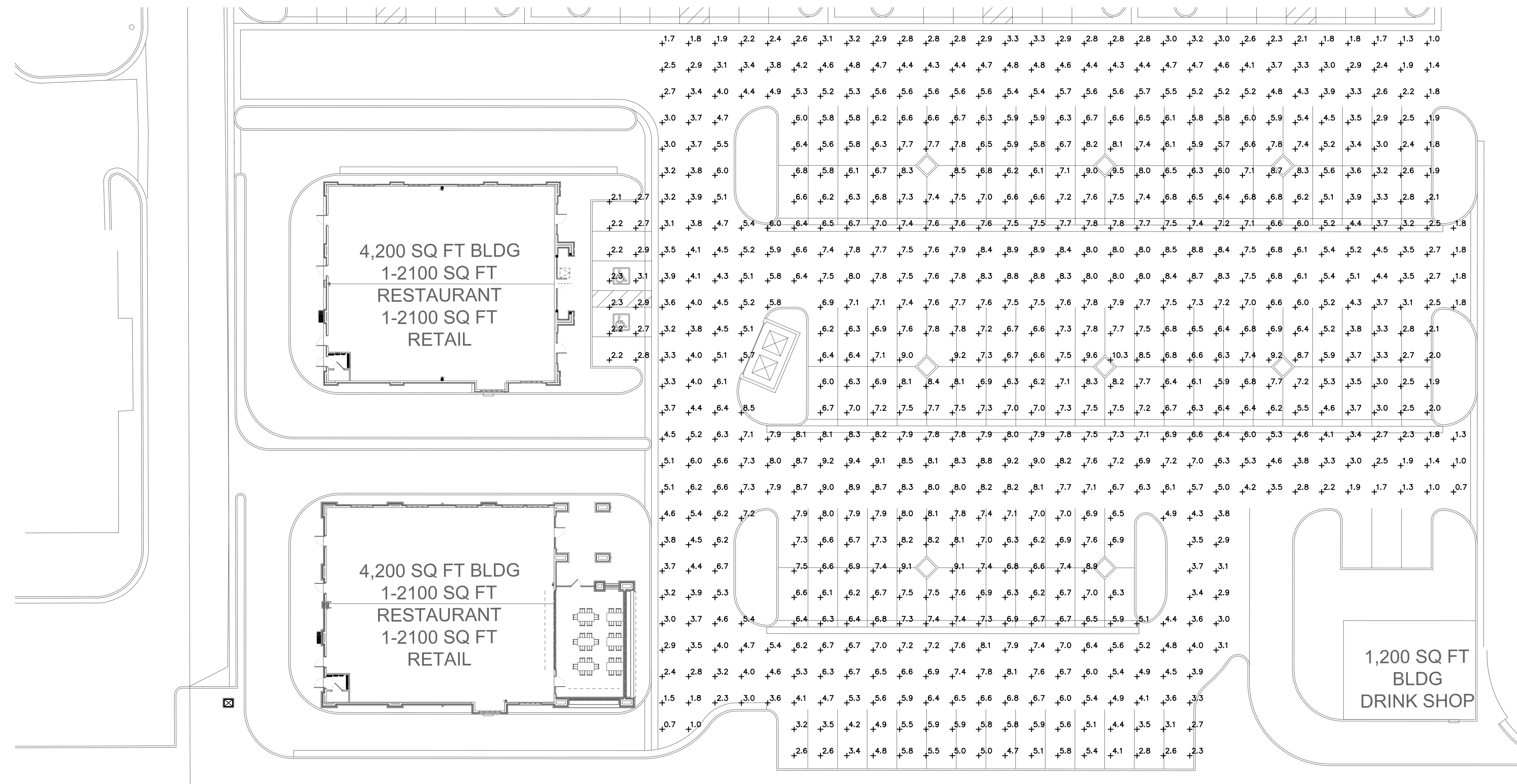
MARK	REVISION	DATE

VISUAL STATISTICS (fc)

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN
PARKING	+	5.6	10.3	0.7	14.7/1

DISCLAIMER

THE PHOTOMETRIC CALCULATION WAS PERFORMED DURING THE DESIGN DEVELOPMENT PROCESS AND THE REFLECTANCE VALUES USED ARE DESIGNER AVERAGES AND ARE CALCULATED USING THE LUMINARIES SELECTED DURING THAT PROCESS. A MORE ACCURATE PHOTOMETRIC CALCULATION CAN BE PERFORMED ONCE THE FIXTURE HAS BEEN SELECTED AND LOCATED DURING CONSTRUCTION.



1,200 SQ FT
BLDG
DRINK SHOP

230 North 1680 East, Building V
St. George, Utah 84790
O: (435) 674-4800
F: (435) 674-2708
www.vbfa.com
VBFA Project #: 21461

For Questions Contact: CLAYTON MASEY

<p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p>	<p>DATE: 10/29/21 PROJECT #: 21-057 PROJ. MAN.: JWS CHECKED BY: <CB></p>
	<p>PROJECT: ZION'S GATEWAY PLAZA 3RD PHASE PART A 25 NORTH 2000 WEST HURRICANE, UTAH</p>
<p>SHEET DESCRIPTION: PHOTOMETRIC SITE PLAN</p>	<p>SHEET: ES102</p>

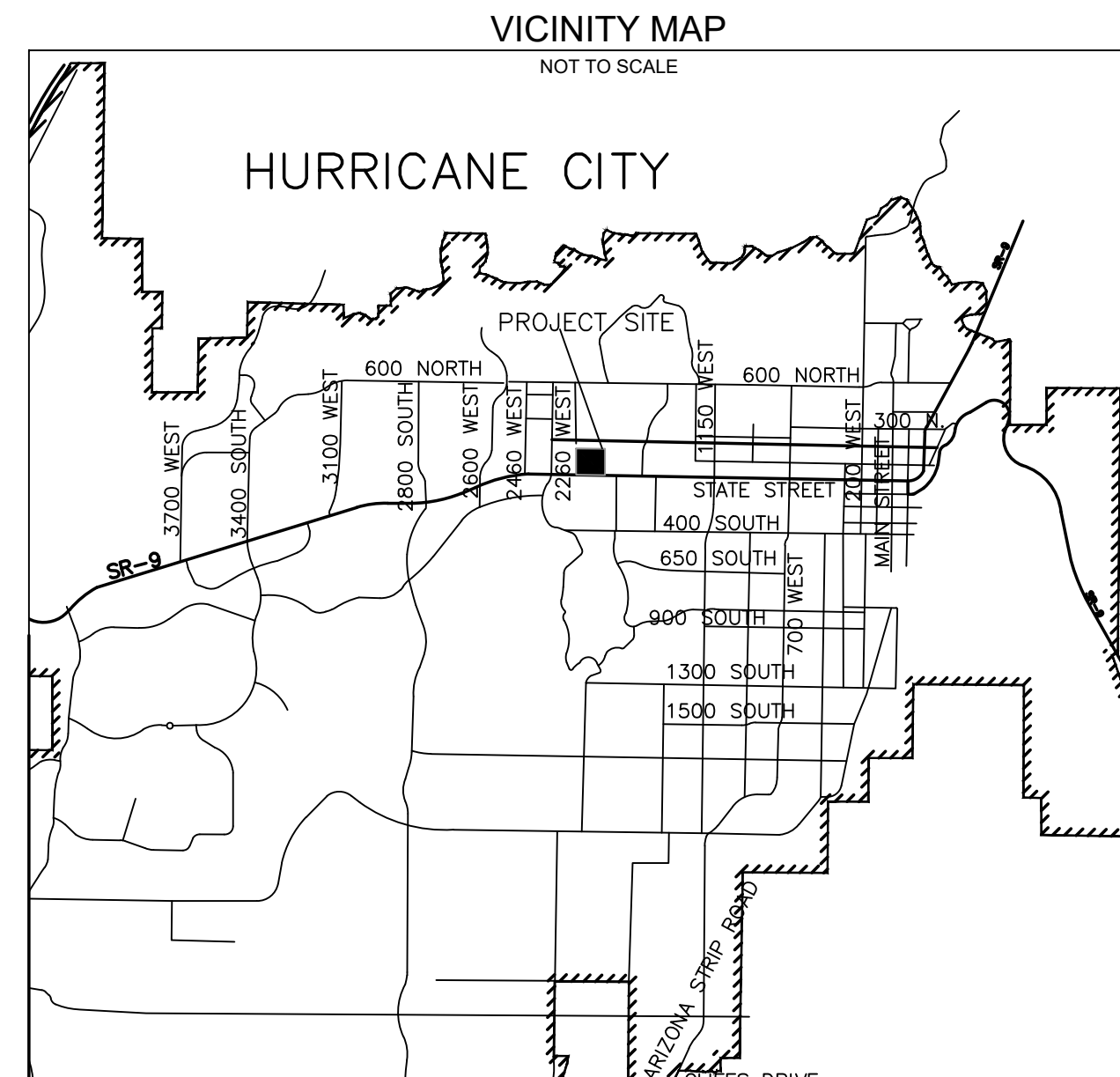
PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'-0"

B&G PROJECT NUMBER 211305

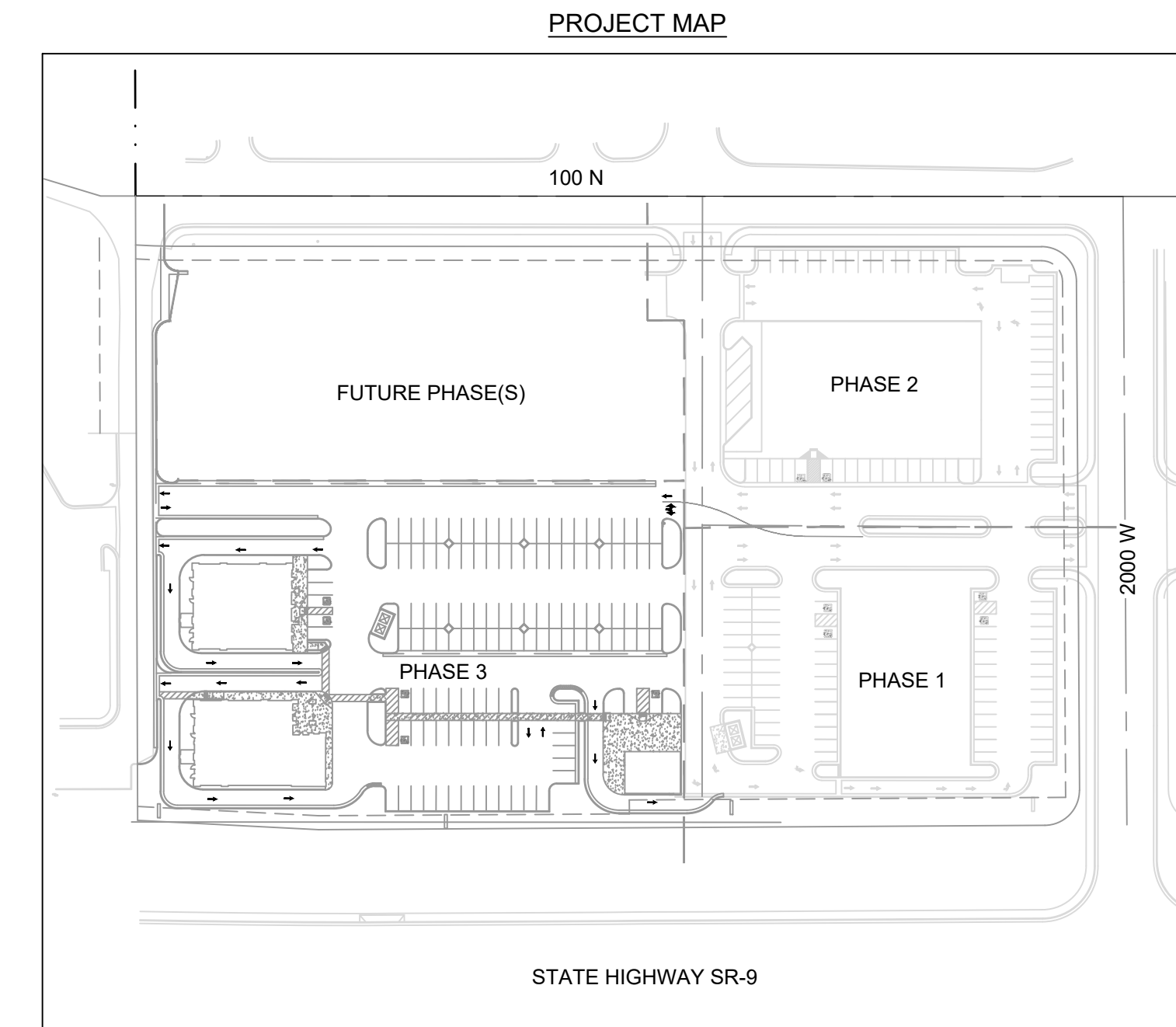
ZIONS GATEWAY, PHASE 3

CONSTRUCTION DRAWINGS LOCATED IN HURRICANE, UTAH

SECTION 33, T 41 S, R 13 W, SLB&M
PARCEL # H-3-1-33-3401



SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE & SIGNAGE PLAN
3	EASEMENTS PLAN
4	GRADING & DRAINAGE PLAN
5	WATER, SEWER & POWER PLAN
6	JUC & GAS PLAN
7	DETAILS
8	DETAILS
9	DETAILS



PROJECT INFORMATION	
CURRENT ZONING	HC
GENERAL PLAN	GENERAL COMMERCIAL
SITE AREA	287,677 TOTAL SQ. FT. (6.60 ACRES)
BUILDING SQUARE FOOTAGE:	
RESTAURANT/DRINK SHOP	- 7,500 SQ. FT.
RETAIL	- 2,100 SQ. FT.
TOTAL BUILDING SQ. FT.	- 9,600 SQ. FT.
LOT COVERAGE:	3.34%
PARKING:	
RESTAURANT	7,500 SQ. FT. = 75 (1 STALL PER 100 SQ. FT.)
RETAIL/OFFICE	2,100 SQ. FT. = 9 (1 STALL PER 250 SQ. FT.)
	TOTAL PARKING REQUIRED = 84
	PARKING PROVIDED = 129
	ADA (132 STALLS) = 5
	TOTAL ADA PARKING = 5
LANDSCAPING	14.59% PROVIDED (14,721 SQ. FT.)
	PERVIOUS AREA: 14,721 SQ. FT.
	IMPERVIOUS AREA: 86,158 SQ. FT.

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH THE CURRENT EDITION OF HURRICANE CITY STANDARDS FOR DESIGN AND CONSTRUCTION, TOGETHER WITH HURRICANE CITY STANDARD DRAWINGS. ANY CONFLICT BETWEEN THESE PLANS AND HURRICANE CITY STANDARDS SHALL BE RESOLVED IN FAVOR OF HURRICANE CITY STANDARDS.
- ALL WORK SHALL BE SUPERVISED BY A PROPERLY LICENSED AND QUALIFIED GENERAL CONTRACTOR.
- CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND MUST BE AUTHORIZED UNDER THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES). OWNERS AND GENERAL CONTRACTORS ARE REQUIRED TO OBTAIN A STORM WATER PERMIT FROM THE STATE OF UTAH.
- THE CONTRACTOR/OWNER SHALL PROVIDE ADEQUATE RESOURCES TO CONTROL DUST ON THE SITE AND TRACKING OF MUD FROM THE SITE. DUST COMPLAINTS WILL RESULT IN SUSPENSION OF WORK UNTIL THE PROBLEM IS CORRECTED. TRACKING OF MUD ONTO ADJACENT STREETS SHALL BE MINIMIZED AND CLEANED UP DAILY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE MUST-CALL MANDATORY INSPECTION LIST PROVIDED BY THE PUBLIC WORKS DEPARTMENT AND TO ARRANGE FOR MATERIAL TESTING AT THE STANDARD INTERVALS AND QUANTITIES REQUIRED AND PROVIDE DOCUMENTATION OF TEST RESULTS.
- PROOFS FOR STREET SIGNS SHALL BE SUBMITTED TO THE GIS COORDINATOR PRIOR TO ORDERING OF SIGNS.
- WORK IN THE PUBLIC WAY REQUIRES AN ENCROACHMENT PERMIT ISSUED BY HURRICANE CITY PUBLIC WORKS.
- A CITY-APPROVED TRAFFIC CONTROL PLAN MUST BE IN PLACE PRIOR TO COMMENCING ANY WORK THAT AFFECTS THE TRAVELLING PUBLIC.
- NO WORK SHALL COMMENCE UNTIL A NOTICE-TO-PROCEED HAS BEEN ISSUED BY HURRICANE CITY PUBLIC WORKS.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:
EARTH MOVING ACTIVITIES:

- APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTH-MOVING ACTIVITIES.
- PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
- APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:

- WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

MAY 2026

BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337



OWNER / DEVELOPER

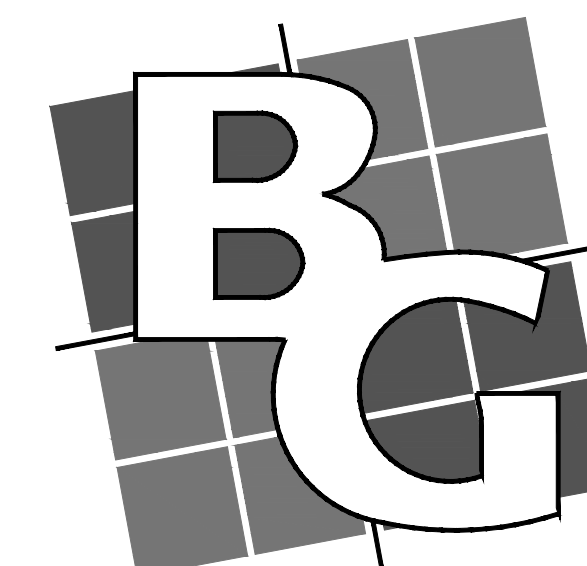
ZIONS GATEWAY
1746 CLIFF POINT DR.
ST GEORGE, UTAH 84790

RICK ADAMS
(435)862-6667

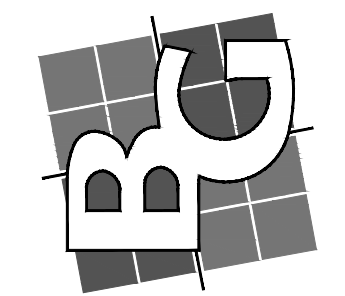
ENGINEERING CONTACT

BUSH AND GUDGELL, INC.
205 EAST TABERNAACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337



BUSH & GUDGELL, INC.
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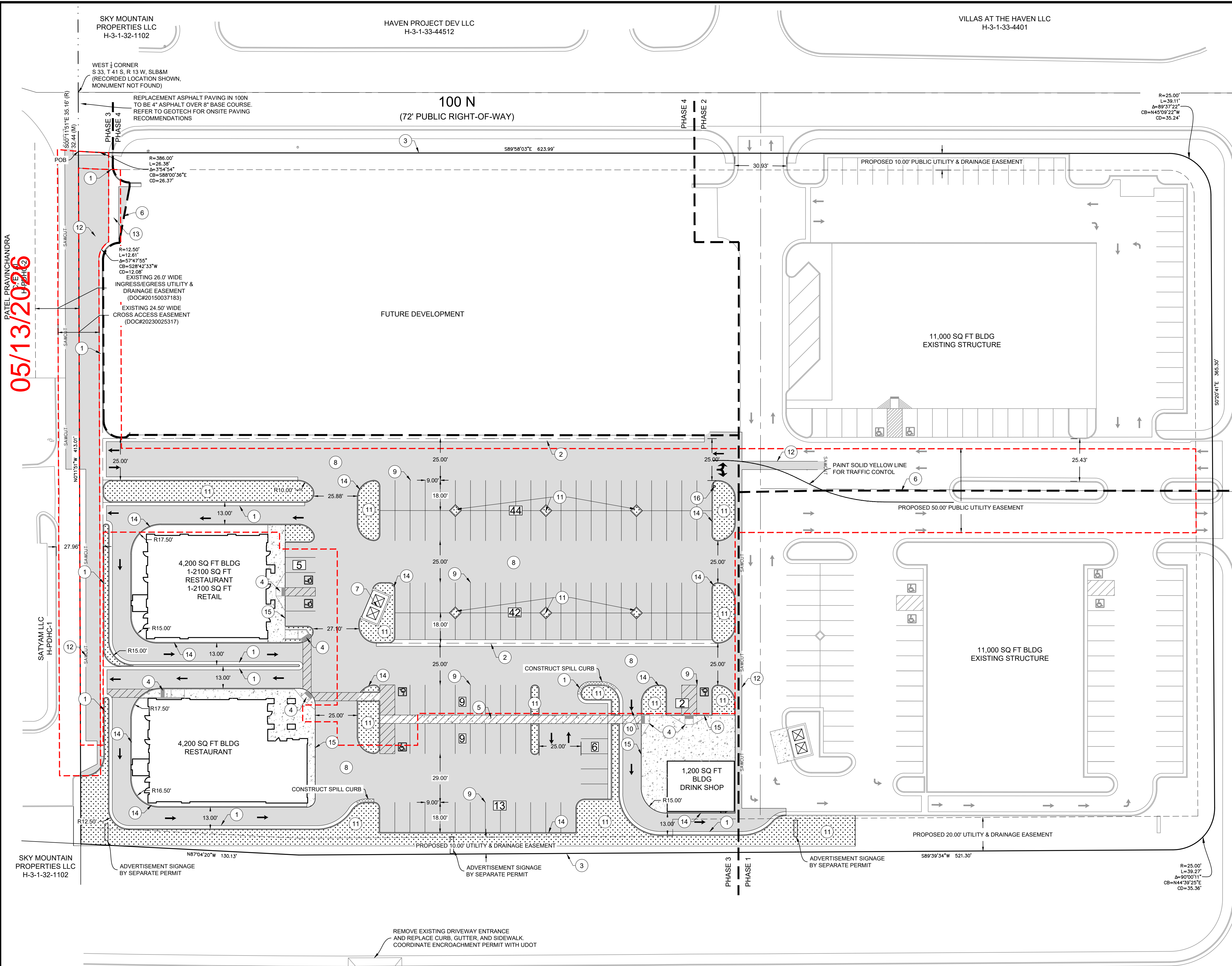
DATE: MAY 2026
DRAWN: CBW
APPROVED: WFM
SCALE: NOTED
JOB NO.: 211305

COVER SHEET
ZIONS GATEWAY PHASE 3
LOCATED IN HURRICANE, UTAH

SHEET 1 OF 9 SHEETS
FILE: 2026 - IMPROVEMENT PLAN

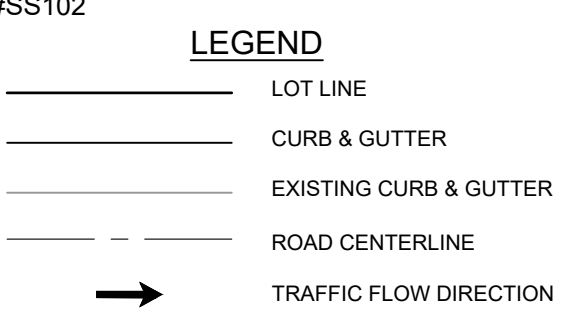
APPROVED
05/13/2026

APPROVED
 05/13/2026
 PATEL PRAVINCHANDRA



- KEYED NOTES:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 STANDARD CURB & GUTTER (TYPE HB30-7) PER CITY STD. DWG #100
 - 2 4' WIDE CONCRETE WATER WAY
 - 3 BOUNDARY / LIMITS OF CONSTRUCTION
 - 4 HANDICAP RAMP PER CITY STD. DWG #121
 - 5 5' WIDE CONCRETE SIDEWALK PER CITY STD. DWG #120
 - 6 PHASE LINE
 - 7 TRASH ENCLOSURE PER DETAIL "A" THIS SHEET
 - 8 NEW ASPHALT PER GEOTECH RECOMMENDATIONS
 - 9 PAINT NEW PARKING STRIPING PER CITY OF HURRICANE STANDARDS. (TYP.)
 - 10 DRIVE THROUGH LANE PAINT
 - 11 LANDSCAPE
 - 12 SAWCUT LINE
 - 13 6" WIDE CROSS GUTTER PER CITY STD. DWG #151
 - 14 6" WIDE APWA STD. 209 TYPE P CURB
 - 15 MONOLITHIC SIDEWALK AND CURB, PER DETAIL "B" THIS SHEET
 - 16 STOP SIGN PER CITY STD. DWG #SS102

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY
Call before you Dig
 1-800-662-4111
BLUE STAKES LOCATION CENTER (TYP)



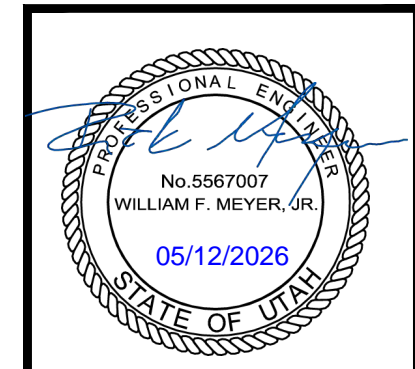
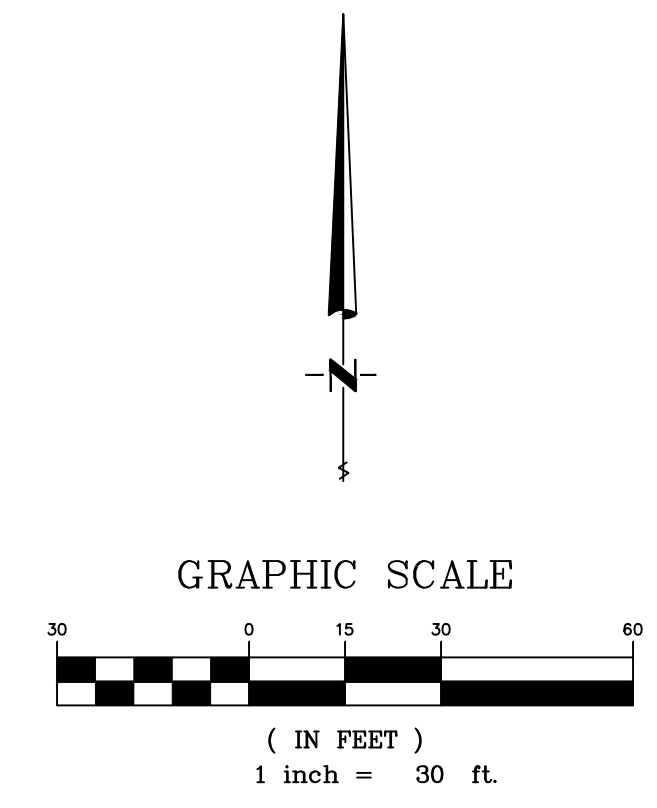
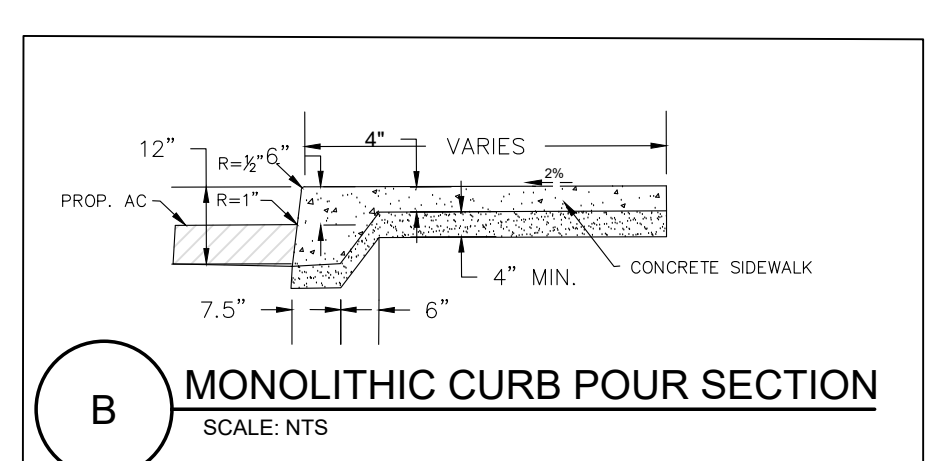
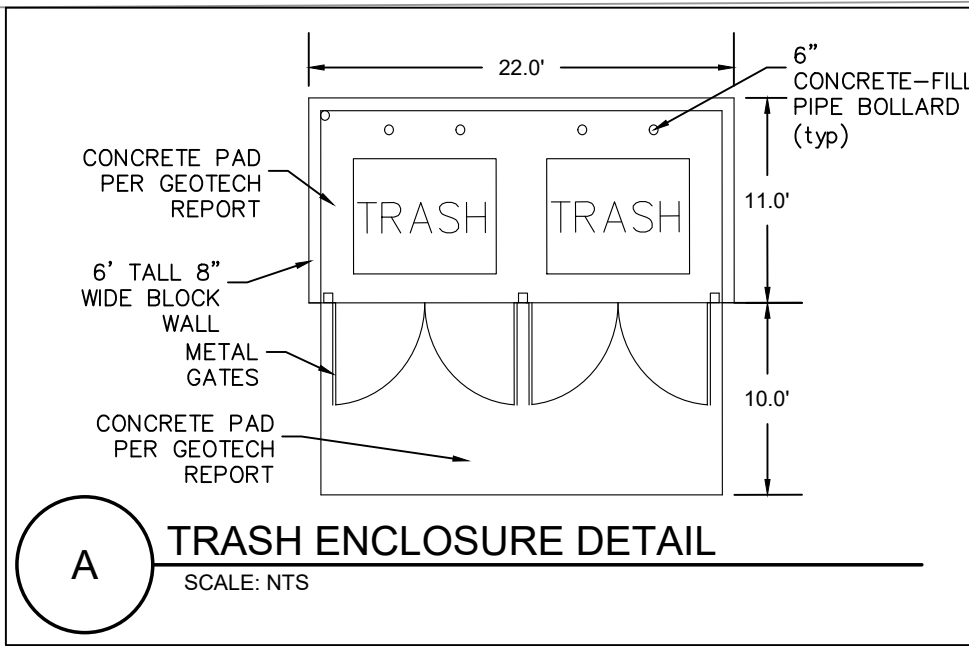
ONE STOP SUPER WASH HURRICANE LLC
H-3-1-33-3422

OWNER / DEVELOPER
 ZIONS GATEWAY
 1746 CLIFF POINT DR.
 ST GEORGE, UTAH 84790

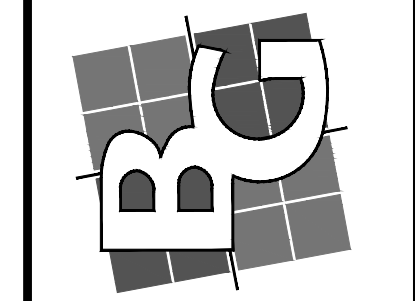
ENGINEERING CONTACT
 BUSH AND GUDGELL, INC.
 205 EAST TABERNAACLE #4
 ST GEORGE, UT 84770
 RICK MEYER — PROJECT MANAGER
 (435) 673-2337

STATE HIGHWAY SR-9
 (UDOT PUBLIC RIGHT-OF-WAY)

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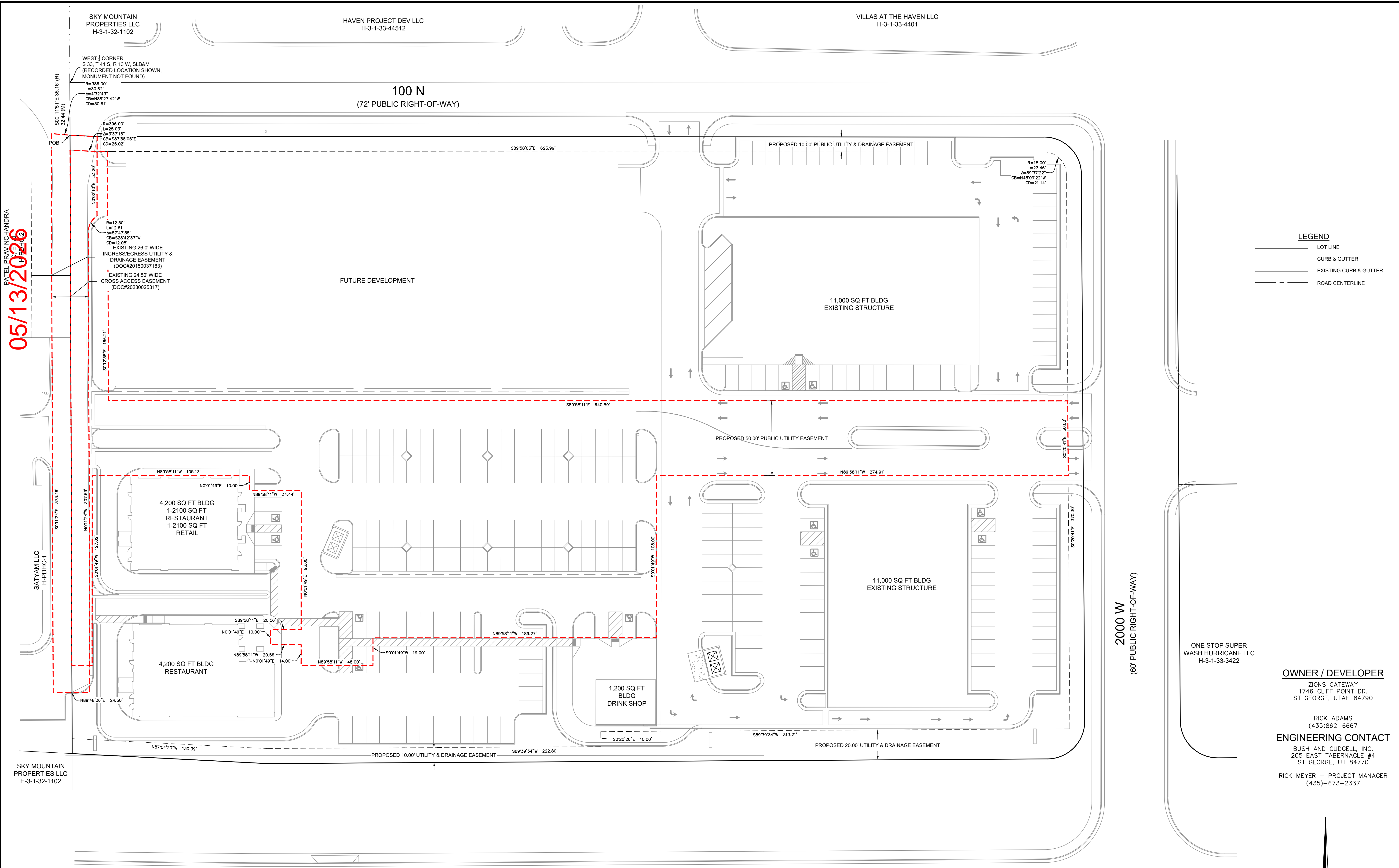
BUSH & GUDGELL, INC.
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 St. George, Utah 84770
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 www.bushandgudgell.com



DATE: MAY 2026
 DRAWN: CEW
 APPROVED: WFM
 SCALE: 1"=30'
 JOB NO.: 211305

SITE & SIGNAGE PLAN
 ZIONS GATEWAY PHASE 3
 LOCATED IN HURRICANE, UTAH

M. K. Kocis
APPROVED
05/13/2026



LEGEND

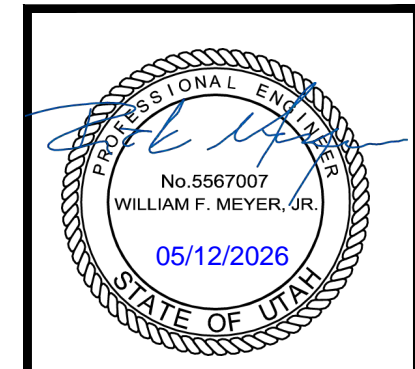
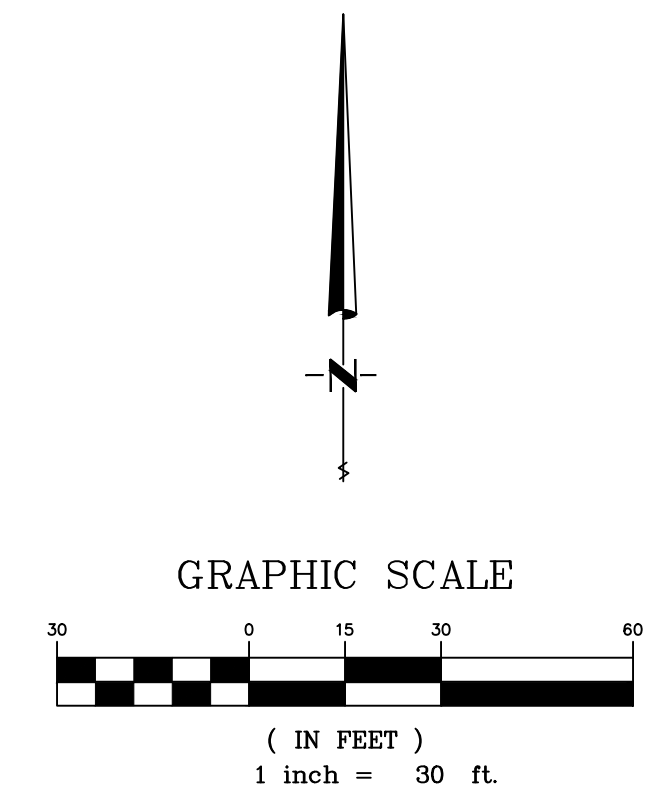
	LOT LINE
	CURB & GUTTER
	EXISTING CURB & GUTTER
	ROAD CENTERLINE

OWNER / DEVELOPER
 ZIONS GATEWAY
 1746 CLIFF POINT DR.
 ST GEORGE, UTAH 84790

RICK ADAMS
 (435)862-6667

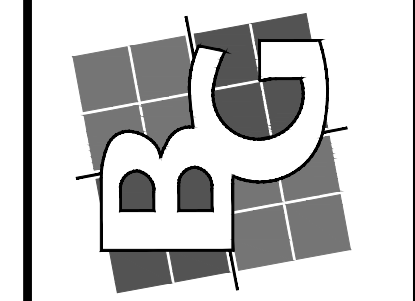
ENGINEERING CONTACT
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 205 EAST TABERNAACLE #4
 ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
 (435)-673-2337



No.	Date	By	Revision

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 Engineers - Planners - Surveyors
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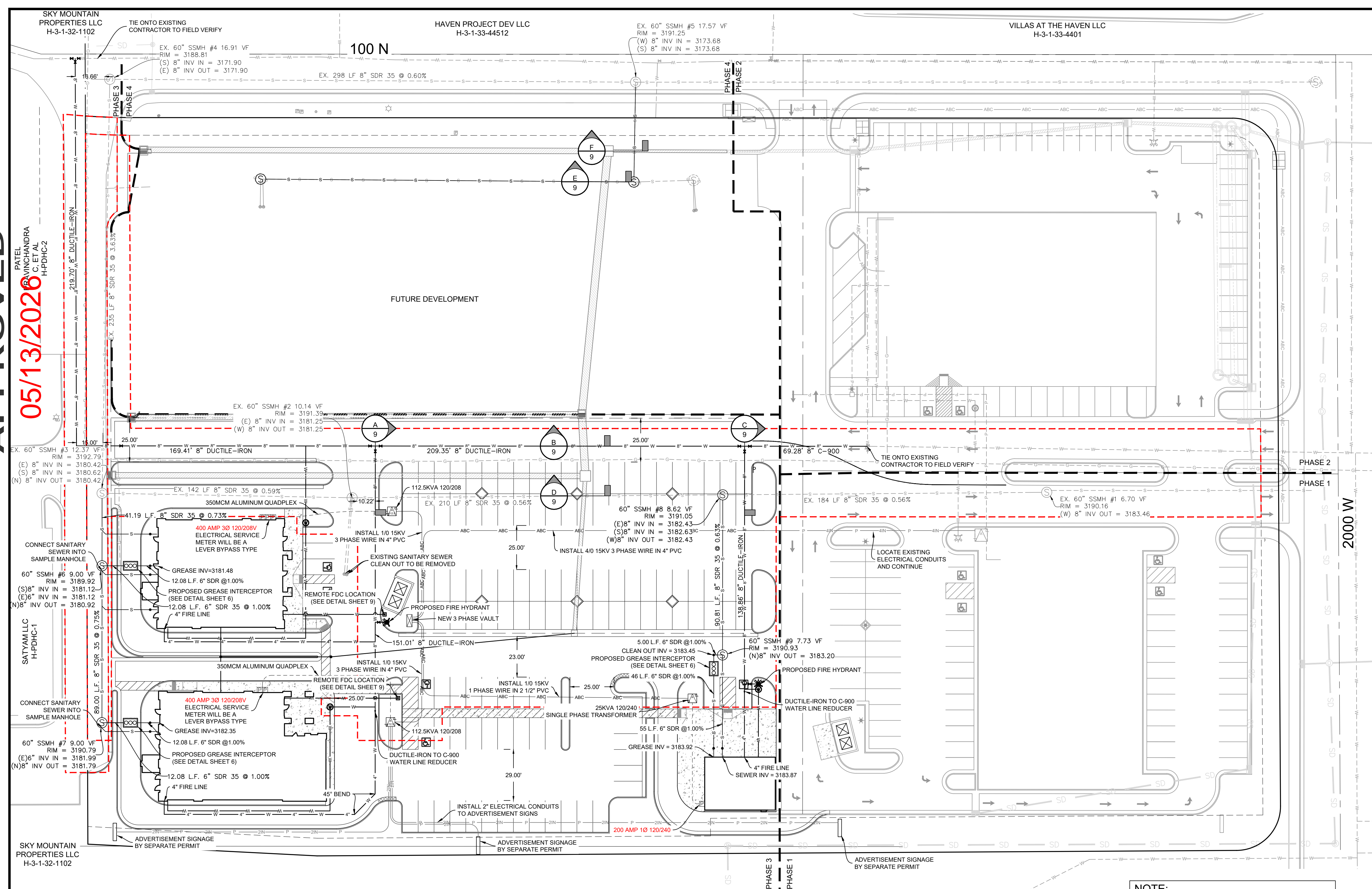


DATE: MAY 2026
 DRAWN: CEW
 APPROVED: WFM
 SCALE: 1"=30'
 JOB NO.: 211305

EASEMENTS PLAN
 ZIONS GATEWAY PHASE 3
 LOCATED IN HURRICANE, UTAH

SHEET **3** OF **9**
 SHEETS

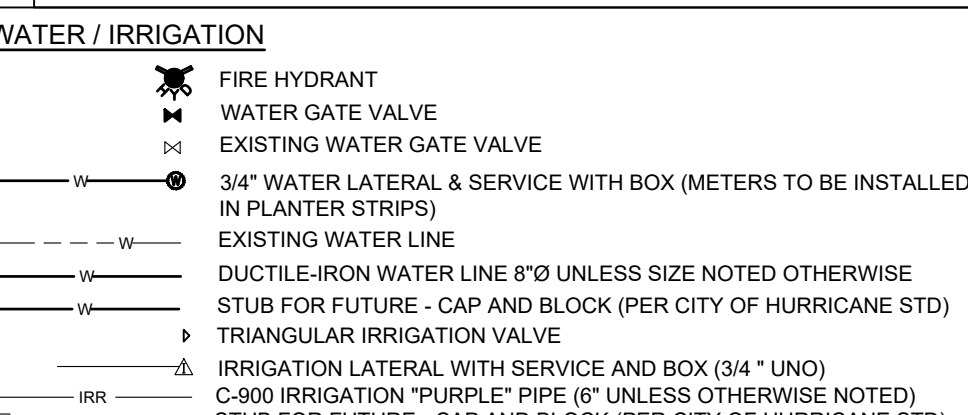
APPROVED
05/13/2026
PATEL
VINCHANDRA
C. ET AL
HPDHC-2



- ### HURRICANE CITY POWER NOTES
- DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATED ON PRINT.
 - ONLY A PRE-APPROVED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
 - PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. 435-835-5536.
 - LINE ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF TO BE TO HURRICANE POWER SPECS.
 - EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
 - NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
 - ALL CONDUITS TO BE FOAMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
 - ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
 - THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH. ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
 - DEVELOPER WILL BE BILLED A TERMINATION FEE OF \$102.00 DOLLARS PER PRIMARY ELBOW TERMINATIONS.
 - HURRICANE POWER HAS CHANGED OUR STREETLIGHTS SPEC. TO LED'S. SEE HURRICANE POWER FOR NEW SPEC.
 - ALL UNDERGROUND POWER LINES WILL NEED TO BE ALONGSIDE A PERMANENT ROADWAY AND THE POWER LINE NEEDS TO BE INSTALLED ON THE WEST AND NORTH SIDE OF THE ROAD.
 - IMPACT FEES TO BE COLLECTED BY BUILDING DEPT. IMPACT FEES TO BE CHARGED BY SERVICE MAIN BREAKER SIZE.
 - MAKE SURE ALL UTILITIES HAVE PROPER SPACING TO ACCOMMODATE ALL REQUIREMENTS.
 - HURRICANE NOW REQUIRES A RED HANDED LOCKABLE DISCONNECT AFTER THE METER TO SHED LOAD ON THE BUILDING.
- NOTE: SEE SHEET 9 FOR HURRICANE POWER STANDARD DETAILS

- ### TDS, CATV/BROADBAND NOTES:
- THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
 - TDS WILL PLACE CONDUITS IN ALL OPEN/JUNCTION TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST THREE (3) WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE WORK.
 - CONTACT TDS PRIOR TO CONSTRUCTING BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
 - RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
 - ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

- ### INFOWEST, CATV/FIBER OPTIC NOTES:
- DEVELOPER TO PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT.
 - ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
 - INFOWEST WILL PROVIDE ALL CONDUITS. CALL 435-272-3559 OR EMAIL JUC@INFOWEST.COM FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH.
 - FOR COMMERCIAL PROJECTS WITH AN MDOFCOMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF THE BUILDING.
 - ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TRIBLEY 435-272-3559 OR INFO@INFOWEST.COM
 - RELOCATION OF NEW OR EXISTING INFOWEST FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.



- ### HURRICANE CITY WATER NOTES
- ALL WATERLINE WORKS MUST BE INSTALLED BY A LICENSED AND INSURED CONTRACTOR THAT IS APPROVED BY HURRICANE CITY.
 - ALL CONSTRUCTION SHALL CONFORM TO THE "HURRICANE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND THE "INTERNATIONAL BUILDING CODE" LATEST EDITION AS ADMINISTERED BY HURRICANE CITY.
 - CONTRACTOR SHALL POthOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
 - THE PIPABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACK FLOW PER THE "INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
 - ALL BACK FLOW ASSEMBLY INSTALLATION AND TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE HURRICANE CITY BACK FLOW ORDINANCE (TITLE 8 CHAPTER 3).
 - THRUST RESTRAINT ON THE NEW PIPELINE WILL BE SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK OR RESTRAIN GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE. NO CONCRETE THRUST BLOCKS ARE ALLOWED WITHOUT WATER DEPARTMENT APPROVAL.
 - ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
 - CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES ON UN-USED STUB LINES THAT WILL BE ABANDONED.
 - ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE HURRICANE CITY WATER SERVICES DEPARTMENT.
 - ALL NEW FIRE HYDRANTS SHALL BE INSTALLED AT THE CORRECT HEIGHT. EXTENSIONS WILL NOT BE ALLOWED.
 - INTERRUPTION OF EXISTING WATER SERVICES WHILE MAKING CONNECTIONS TO THE EXISTING WATER MAINS SHALL NOT BE ALLOWED WITHOUT SPECIAL APPROVAL OF THE CITY. A MINIMUM OF 48 HOURS NOTICE TO THE CITY SHALL BE REQUIRED BEFORE MAKING CONNECTIONS. CONNECTIONS TO THE EXISTING INFRASTRUCTURE SHALL BE DONE DURING THE TIME OF THE LEAST INCONVENIENCE TO CUSTOMERS OF THE EXISTING SYSTEM. INTERRUPTIONS OF THE SERVICE SHALL BE LIMITED TO LESS THAN FOUR (4) HOURS PER 24 HOURS PERIOD. CONTRACTOR SHALL NOTIFY ALL CUSTOMERS WHO WILL BE AFFECTED BY SERVICE INTERRUPTION AT LEAST 24 HOURS PRIOR TO THE INTERRUPTIONS OF SERVICE.
 - TEMPORARY CONSTRUCTION WATER MAY BE OBTAINED FROM AN EXISTING FIRE HYDRANT BY MAKING APPLICATION AT THE HURRICANE CITY WATER SERVICES DEPARTMENT OFFICE. UNAUTHORIZED CONNECTIONS TO THE CITY'S WATER SYSTEM IS A VIOLATION AND SUBJECT TO LEGAL ACTION.
 - THE EXISTENCE AND LOCATION OF WATER FACILITIES SHOWN ON THE CONSTRUCTION DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF THE DESIGN ENGINEER'S KNOWLEDGE, THE EXISTING WATER FACILITIES AREA AS SHOWN ON THE PLANS. HURRICANE CITY SHALL NOT BE HELD RESPONSIBLE FOR ANY ERROR IN THE LOCATION AND ELEVATION OF THE EXISTING WATER FACILITIES.
 - GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL BE BROUGHT UP AT EACH WATER VALVE BOX AND HYDRANT.

- ### FIRE NOTES
- CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE PRIOR TO SIGN OFF FOR BUILDING PERMIT.
 - FIRE HYDRANT MUST PRODUCE A MINIMUM OF 1000GPM. (2021 IFC APPENDIX B)
 - HYDRANT SPACING PER 2021 IFC APPENDIX C
 - BURNING OF CONSTRUCTION MATERIAL IS PROHIBITED
 - HYDRANTS MUST BE CHARGED AND WORKING BEFORE COMBUSTIBLE MATERIAL CAN BE DELIVERED.
 - KNOX BOX REQUIRED ON ALL COMMERCIAL BUILDINGS.
 - FDC MUST BE REMOTE. OUT OF THE COLLAPSE ZONE OF THE BUILDING AND WITHIN 50' OF A FIRE HYDRANT AND EQUIPPED WITH KNOX CAPS.
 - UNDERGROUND FLUSH MUST BE WITNESSED BY HVFSSD
 - FIRE HYDRANTS MUST MAINTAIN 3' CLEARANCE AROUND HYDRANT. NO FENCES OR SHRUBS SHALL BE WITHIN 3'.
 - BUILDINGS BUILT IN ACCORDANCE WITH 2021 IFC 903 MAY REQUIRE SUPPRESSION.
 - GATES WILL REQUIRE KNOCK OPENERS OR LOCKS.

STATE HIGHWAY SR-9

LEGEND

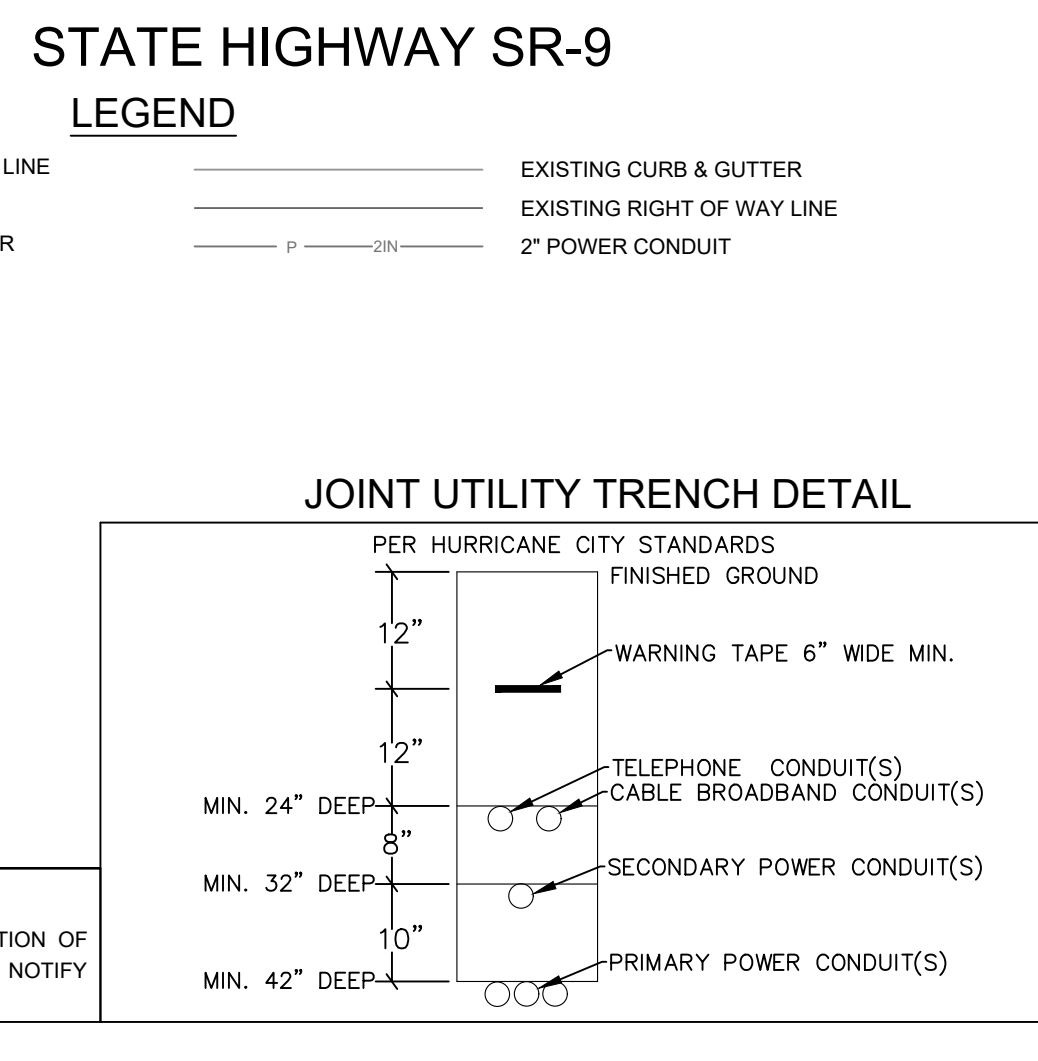
—	PROPOSED RIGHT OF WAY LINE	—	EXISTING CURB & GUTTER
—	CENTER LINE	—	EXISTING RIGHT OF WAY LINE
—	PROPOSED CURB & GUTTER	—	2" POWER CONDUIT

OWNER / DEVELOPER
ZIONS GATEWAY
1746 CLIFF POINT DR.
ST GEORGE, UTAH 84790

ENGINEERING CONTACT
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(435)862-6667
BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337

CONTRACTOR NOTE:
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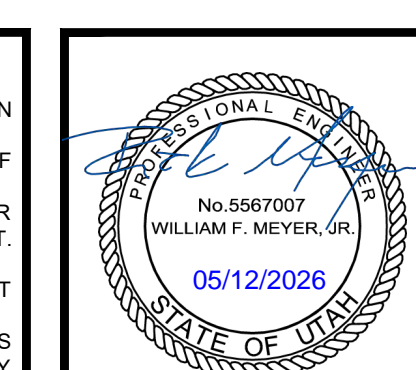


- ### NOTE:
- SEE SHEET 7 & 8 FOR ASH CREEK SEPTIC CONSTRUCTION DETAILS.
- #### SEWER
- SEWER CLEAN OUT
 - SEWER MANHOLE (SIZE AS NOTED ON PLAN)
 - 4" PVC SEWER LATERAL
 - EXISTING SEWER LINE
 - 8" SD 35 PVC SEWER LINE
 - SD FOR FUTURE - CAP AND BLOCK (PER CITY OF HURRICANE STANDARD)
- ANY SEWERS NOT IN PUBLIC STREETS SHALL SHOW RECORDED EASEMENTS.
 - NO SEWER UNDER 9" DEEP UNLESS APPROVED BY ASH CREEK SEWER DISTRICT.
 - BUILDINGS MAY REQUIRE INTERCEPTORS AT A LATER DATE.
 - ALL SEWER MANHOLES SHALL HAVE "ASH CREEK" LOGO LIDS FOR FINAL INSPECTION.
 - 10' MAXIMUM SPACE BETWEEN SEWER LATERAL CLEANOUTS.
 - ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF HURRICANE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY ASH CREEK SEWER DISTRICT.
 - SEWER IS TO MEET THE CURRENT ASH CREEK SPECIAL SERVICE DISTRICT (DISTRICT) CONSTRUCTION STANDARD.
 - PRIOR TO COMPLETION OF THE PROJECT PROVIDE A COPY OF THE GEOTECHNICAL REPORT AND THE COMPACTION TEST RESULTS TO THE DISTRICT.
 - PRIOR TO COMPLETION OF THE PROJECT PROVIDE A PDF AND 2X3" PLAN SHEET DRAWING OF THE RECORD TO THE DISTRICT. THE DRAWING OF RECORD SHOULD INCLUDE A DISTANCE FROM THE NEAR SIDE PROPERTY LINE TO THE SEWER LATERAL MARKER, ALSO INCLUDE ANY CHANGES TO SEWER MAIN LINE SLOPES AND DEPTHS.
 - THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN AND TEST THE SEWER LINES AFTER ALL UTILITIES HAVE BEEN INSTALLED BUT PRIOR TO ASPHALT PLACEMENT. THE FOLLOWING TESTS WILL NEED TO BE COMPLETED BY THE CONTRACTOR: MANDREL TEST, AIR TEST AND CLOSED-CIRCUIT CAMERA INSPECTION. CAMERA INSPECTION IF PROVIDED BY THE DISTRICT CAN BE SCHEDULED WITH THE DISTRICT REPRESENTATIVE. TUESDAYS OR THURSDAYS ARE GENERALLY WHEN THE DISTRICT CAN PERFORM THIS CAMERA WORK.
 - DURING CONSTRUCTION ALL SEWER LINES WILL NEED TO BE CAPPED OR SEALED TO PROTECT THE SEWER SYSTEM FROM FLOODING OR RAIN EVENTS.

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY

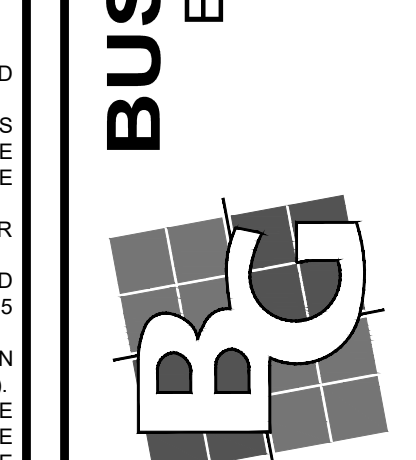
Call before you Dig
1-800-662-4111
BLUE STAKES LOCATION CENTER (2020)

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.



No.	Date	By	Revision

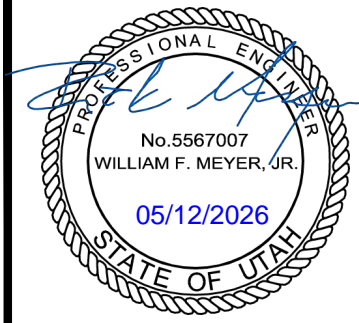
BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: MAY 2026
DRAWN: CEW
APPROVED: WFM
SCALE: 1"=30'
JOB NO.: 211305

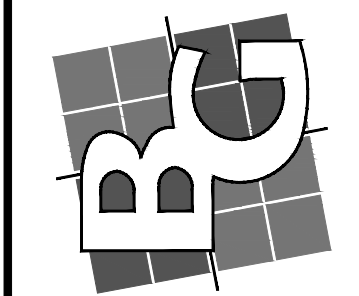
WATER, SEWER & POWER PLAN
ZIONS GATEWAY PHASE 3
LOCATED IN HURRICANE, UTAH

SHEET 5 OF 9 SHEETS
FILE: 2026 - IMPROVEMENT PLANS



No.	Date	By	Revision

BUSH & GUDGELL, INC.
 Engineers - Planners - Surveyors
 205 East Tabernacle Suite #4
 St. George, Utah 84770
 Phone (435) 673-2337 / Fax (435) 673-3161
 www.bushandgudgell.com



DATE: MAY 2026
 DRAWN: CBW
 APPROVED: WFM
 SCALE: 1"=30'
 JOB NO.: 211305

JUC & GAS PLAN
 ZIONS GATEWAY PHASE 3
 LOCATED IN HURRICANE, UTAH

SHEET 6 OF 9 SHEETS
 FILE: 2106 - IMPROV PLAN

SKY MOUNTAIN PROPERTIES LLC
 H-3-1-32-1102

HAVEN PROJECT DEV LLC
 H-3-1-33-44512

VILLAS AT THE HAVEN LLC
 H-3-1-33-4401

100 N

PATEL PRAVINCHANDRA
 C. ET AL
 H-PDHC-2

SATYAM LLC
 H-PDHC-1

SKY MOUNTAIN PROPERTIES LLC
 H-3-1-32-1102

FUTURE DEVELOPMENT

LOCATE AND POT HOLE EXISTING GAS LINE BEFORE STARTING CONSTRUCTION ON OTHER UTILITIES. NOTIFY ENGINEER OF POSSIBLE CONFLICTS.

- TDS, CATV/BROADBAND NOTES:**
1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
 2. TDS WILL PLACE CONDUITS IN ALL OPEN/Joint TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST THREE (3) WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE WORK.
 3. CONTACT TDS PRIOR TO CONSTRUCTING BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
 4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
 5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.
- INFOWEST, CATV/FIBER OPTIC NOTES:**
1. DEVELOPER TO PROVIDE ALL REQUIRED TRENCHING WITHIN THE PROJECT.
 2. ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
 3. INFOWEST WILL PROVIDE ALL CONDUITS. CALL 435-272-3559 OR EMAIL JUC@INFOWEST.COM FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH.
 4. FOR COMMERCIAL PROJECTS WITH AN MDF/COMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF THE BUILDING.
 5. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLAY 435-272-3559 OR JUC@INFOWEST.COM
 6. RELOCATION OF NEW OR EXISTING INFOWEST FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.

- CENTURYLINK TELEPHONE**
1. DEVELOPER TO PLACER CONDUIT IN ALL JUC TRENCH AND STUB UP AT ALL POWER LOCATIONS CONTACT CENTURYLINK ENGINEER FOR PRINT IF NEEDED.
 2. CENTURYLINK WILL PROVIDE ALL CONDUIT AND DELIVER TO JOB SITE. CALL 435-632-6553 SEVEN (7) DAYS PRIOR TO REQUIREING CONDUIT TO SCHEDULE DELIVERY.
 3. CONTRACTOR TO INSTALL CONDUIT AND PLACE PULL STRINGS IN ALL CONDUIT TO VERIFY CONDUIT INTEGRITY.
 4. ALL CONDUIT IS 2" UNLESS OTHERWISE NOTED.
 5. ANY QUESTIONS TO JUC APPROVED PLANS PLEASE CONTACT CENTURYLINK ENGINEER ZACH MATHEWS AT 435-673-9639.
 6. ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE TO OWNER/DEVELOPER. CENTURYLINK ENGINEER MUST BE CONTACTED A MINIMUM OF FOUR (4) WEEKS BEFORE RELOCATION IS REQUIRED.
 7. DEVELOPER IS RESPONSIBLE TO PROVIDE ALL STREET NAMES AND ADDRESSES WITHIN THREE (3) WEEKS OF UTILITY PLAN APPROVAL. FAILURE TO PROVIDE ADDRESSES WILL RESULT IN A DELAY OF SERVICE TO PROJECT.

STATE HIGHWAY SR-9

OWNER / DEVELOPER

ZIONS GATEWAY
 1746 CLIFF POINT DR.
 ST GEORGE, UTAH 84790

RICK ADAMS
 (435)862-6667

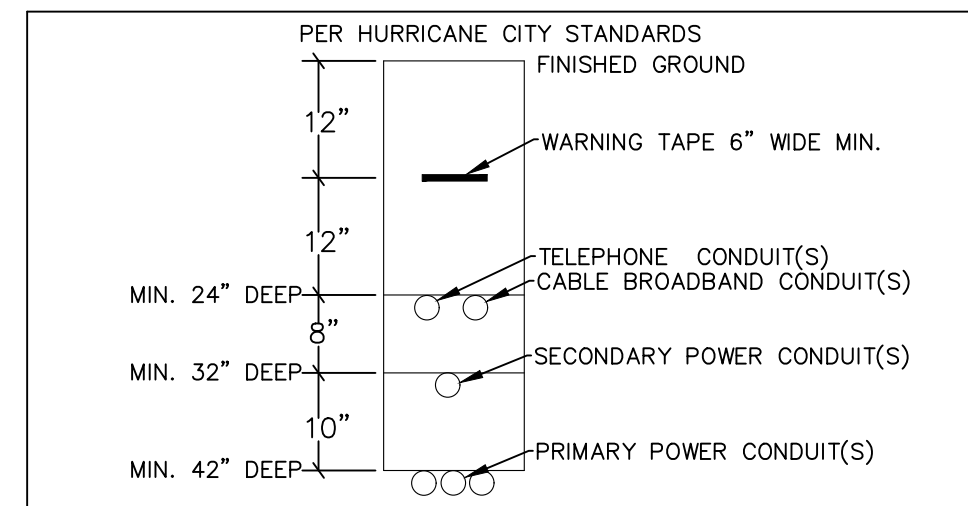
ENGINEERING CONTACT

BUSH AND GUDGELL, INC.
 205 EAST TABERNALE #4
 ST. GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
 (435)-673-2337

CONTRACTOR NOTE:
 CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

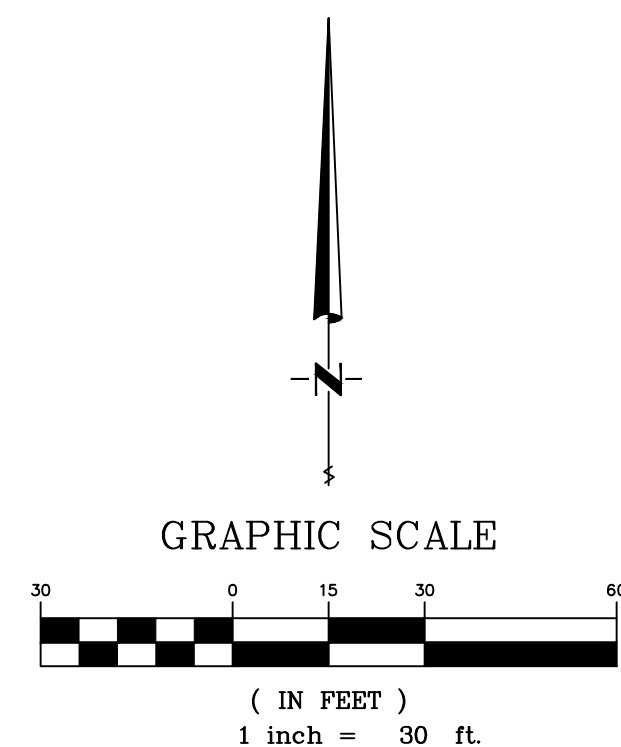
JOINT UTILITY TRENCH DETAIL



AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY
Call before you Dig
 1-800-662-4111
BLUE STAKES LOCATED CENTER (STAKE)

LEGEND

—	PROPOSED RIGHT OF WAY LINE	—	EXISTING CURB & GUTTER
- - -	CENTER LINE	- - -	EXISTING RIGHT OF WAY LINE
—	PROPOSED CURB & GUTTER		



APPROVED
05/13/2026

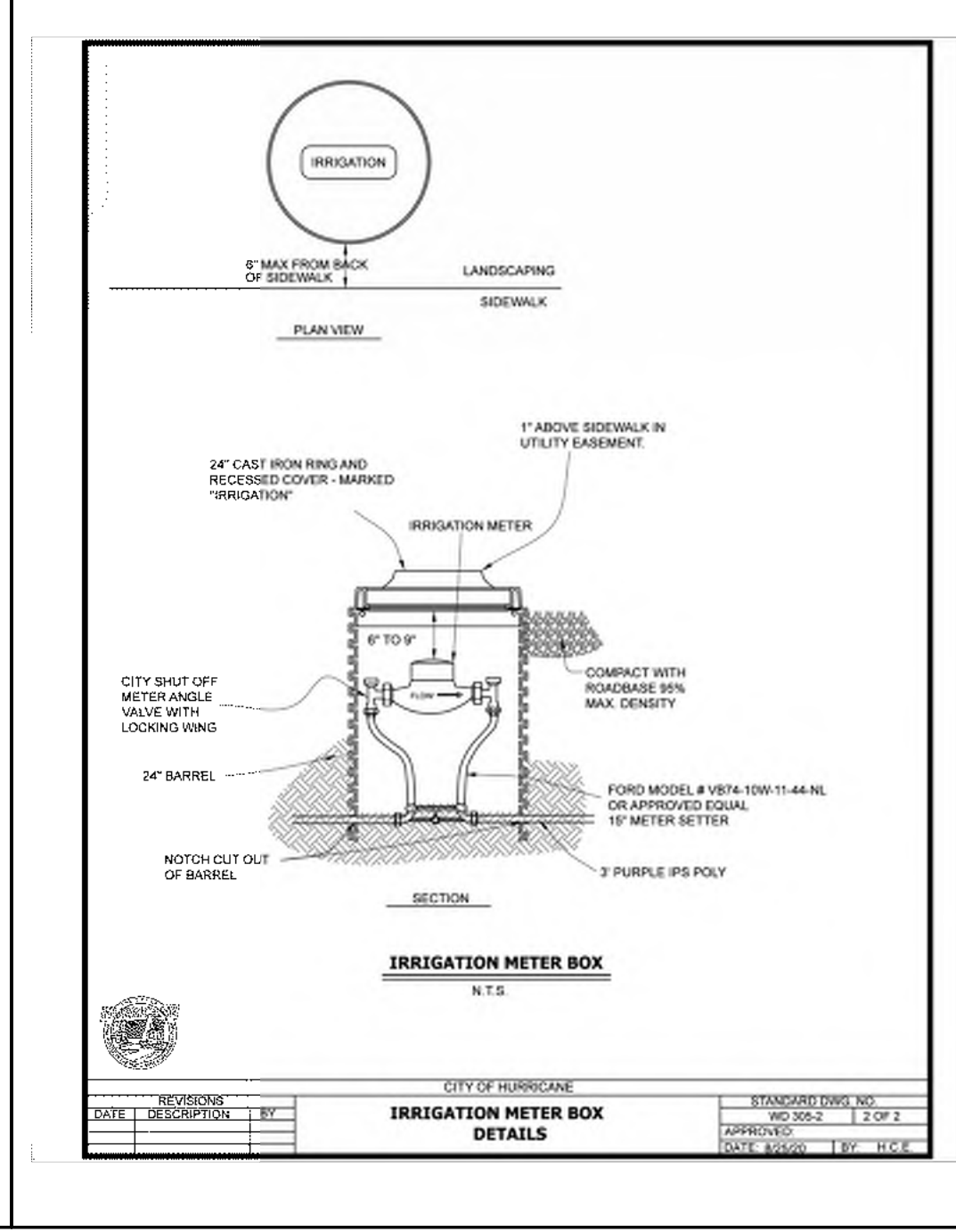
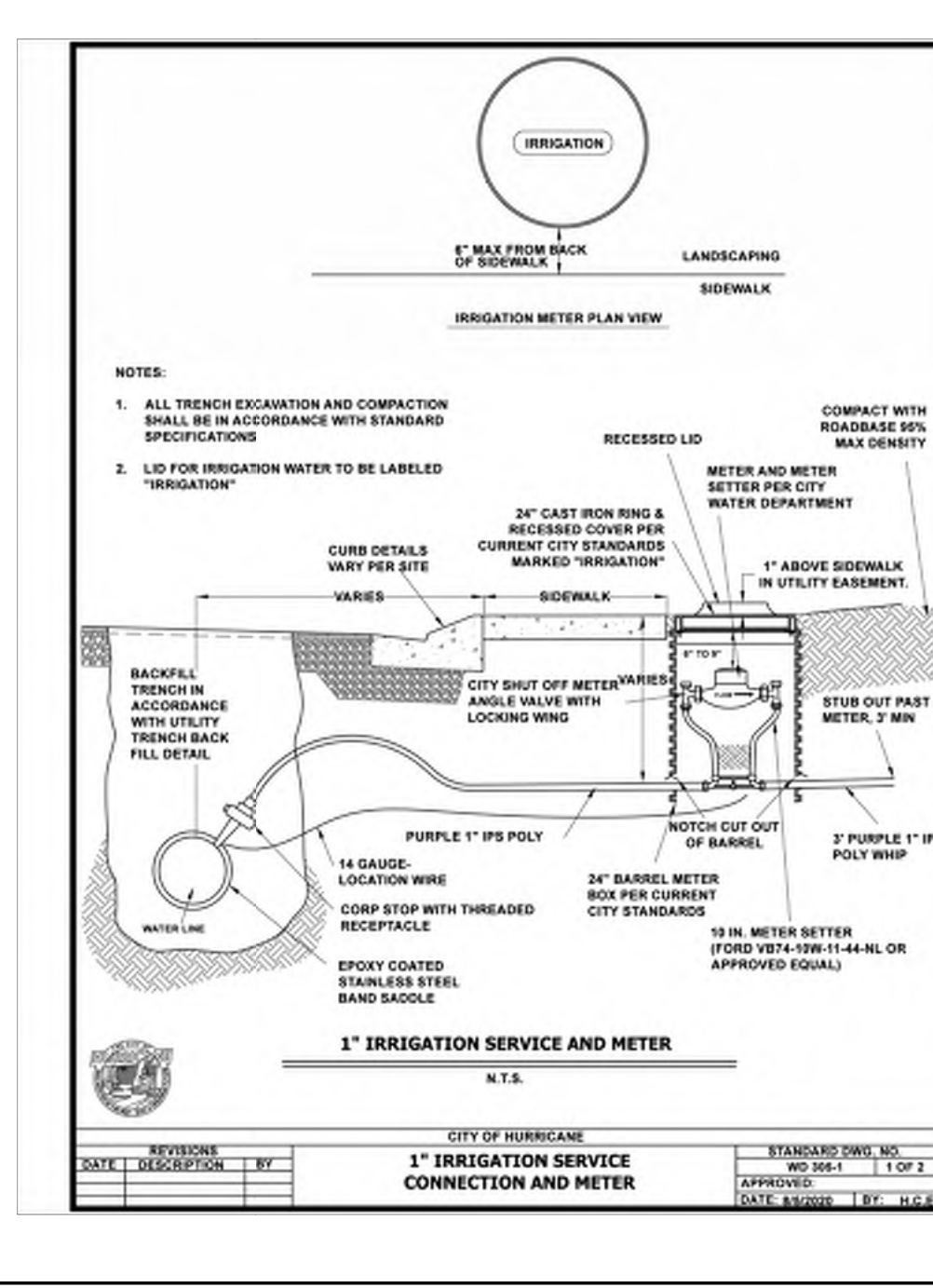
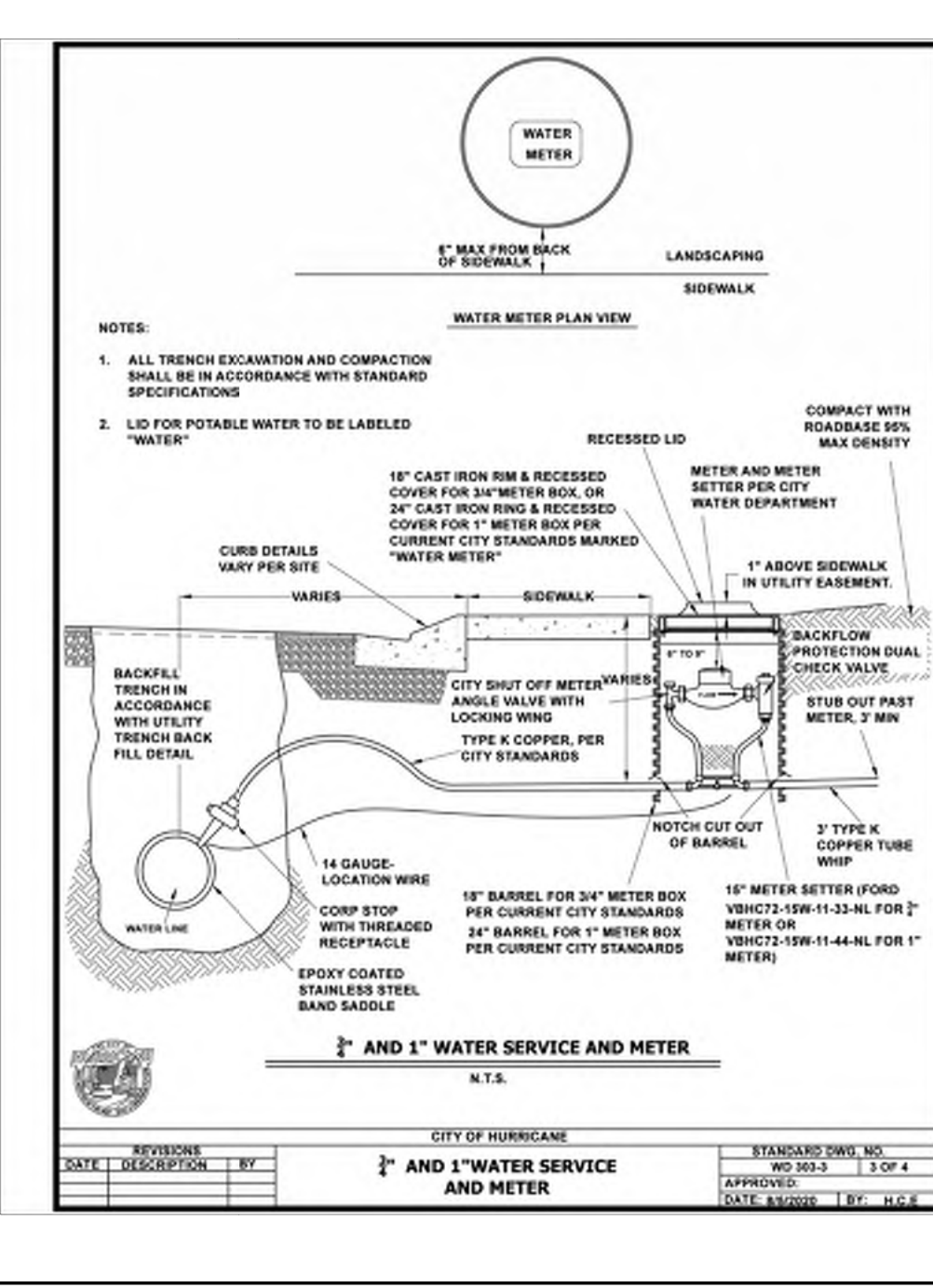
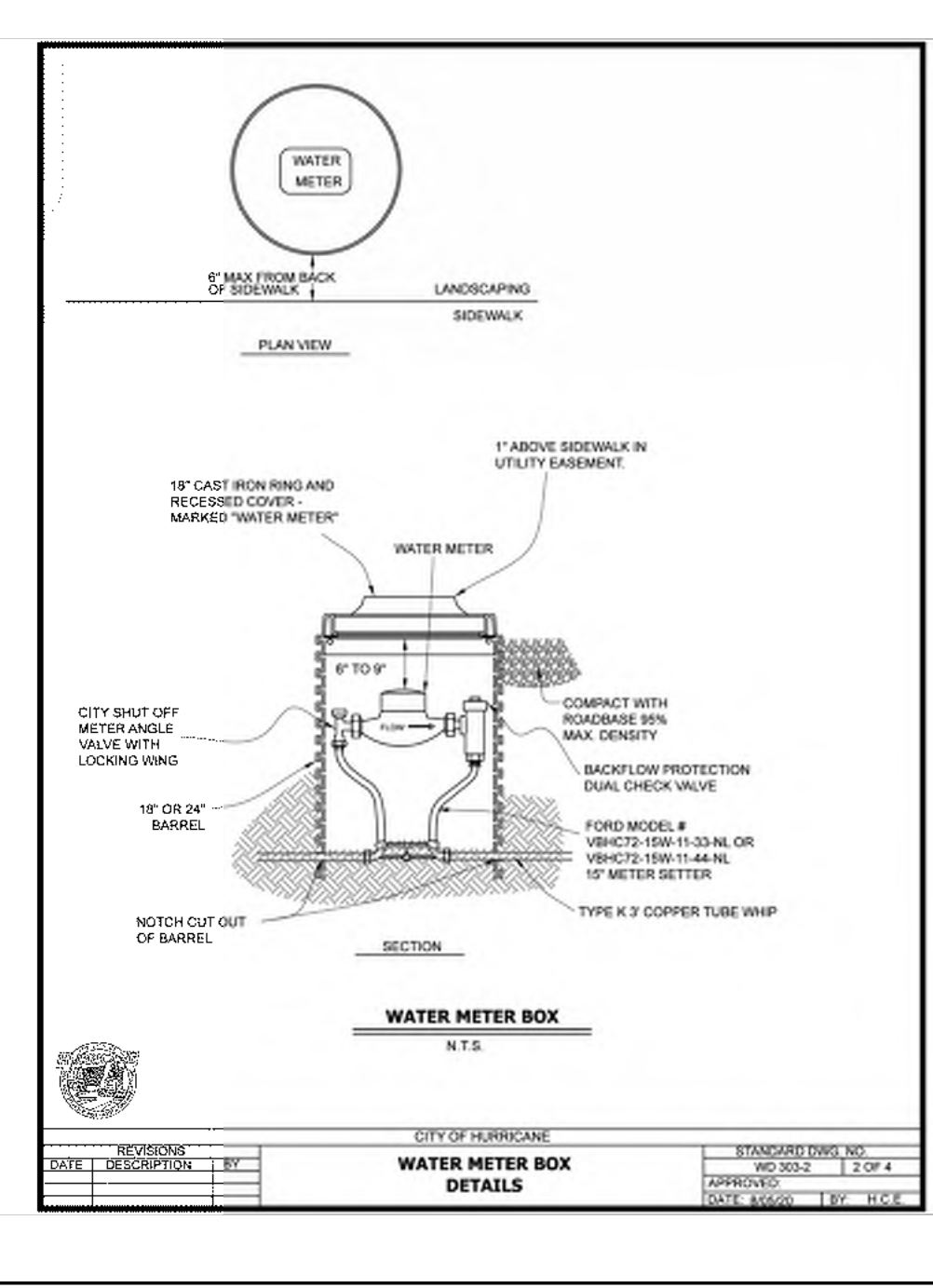
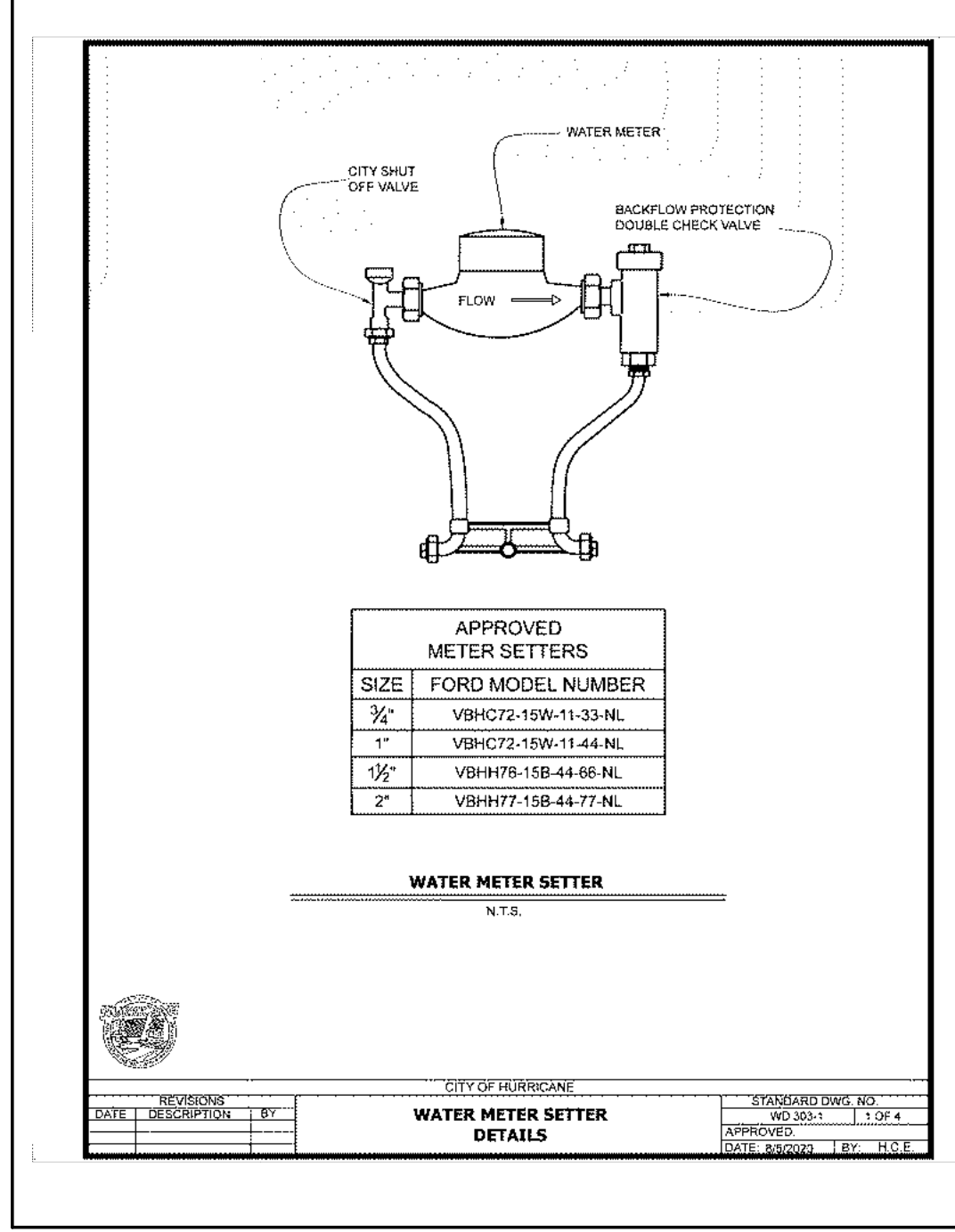
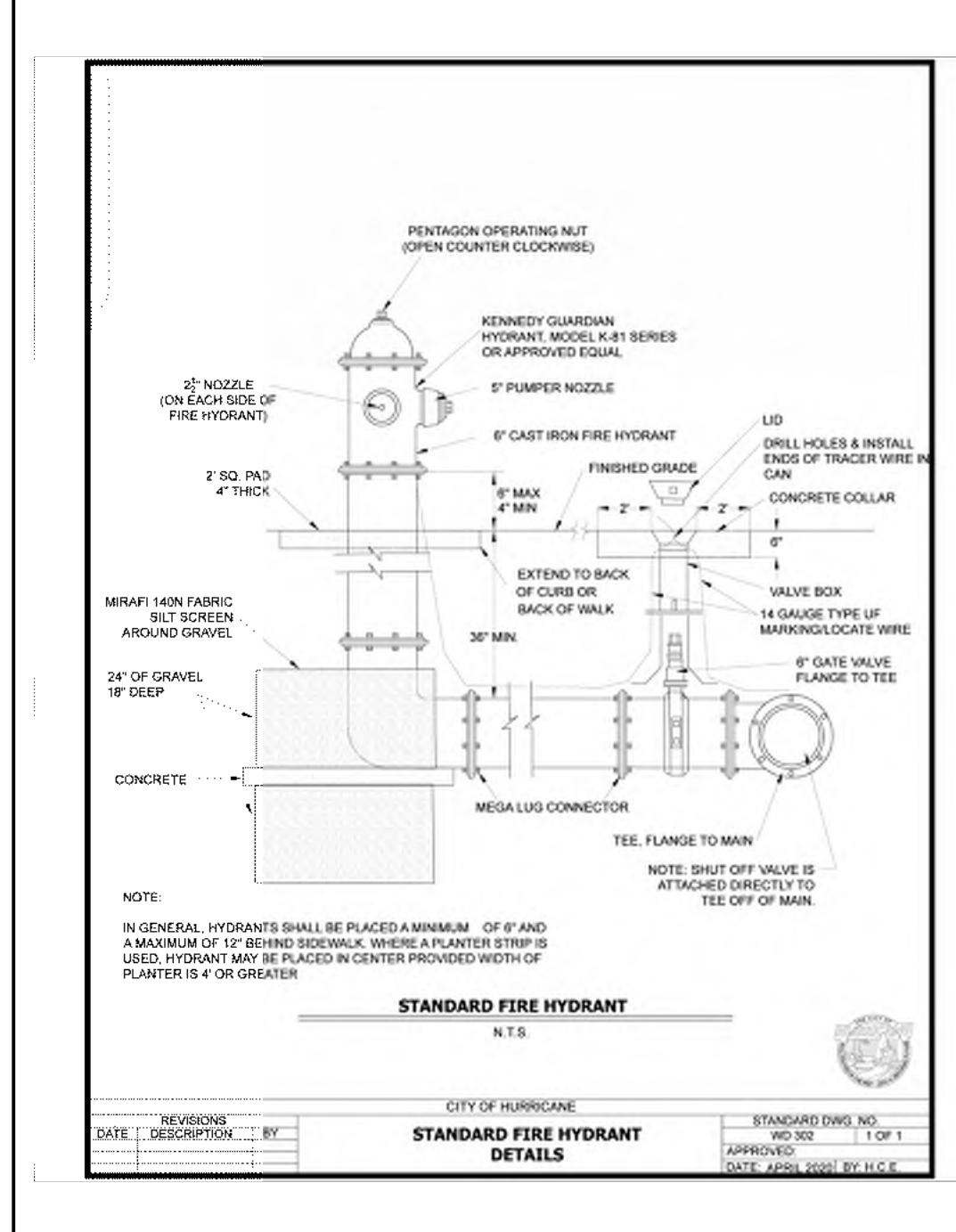
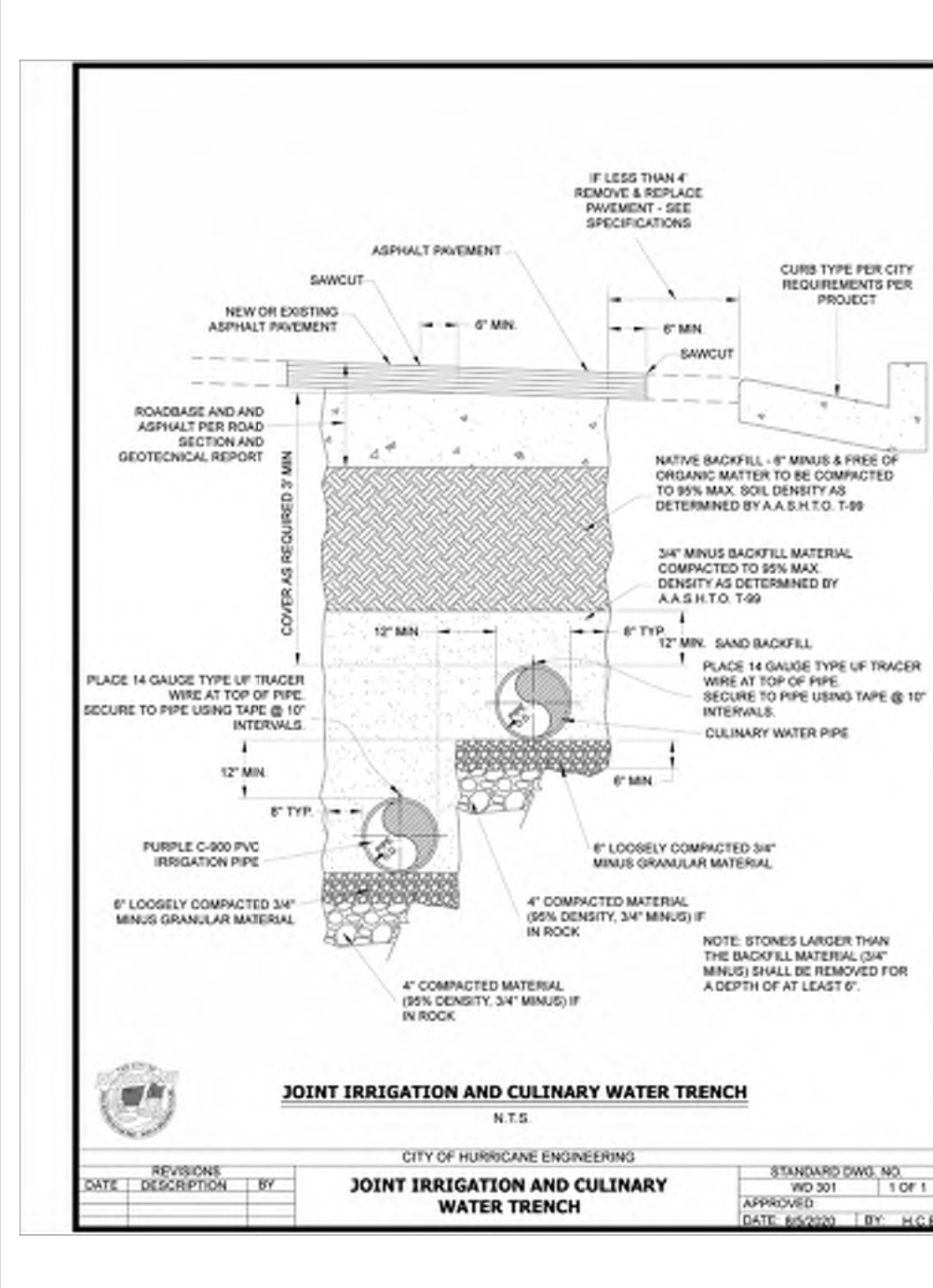
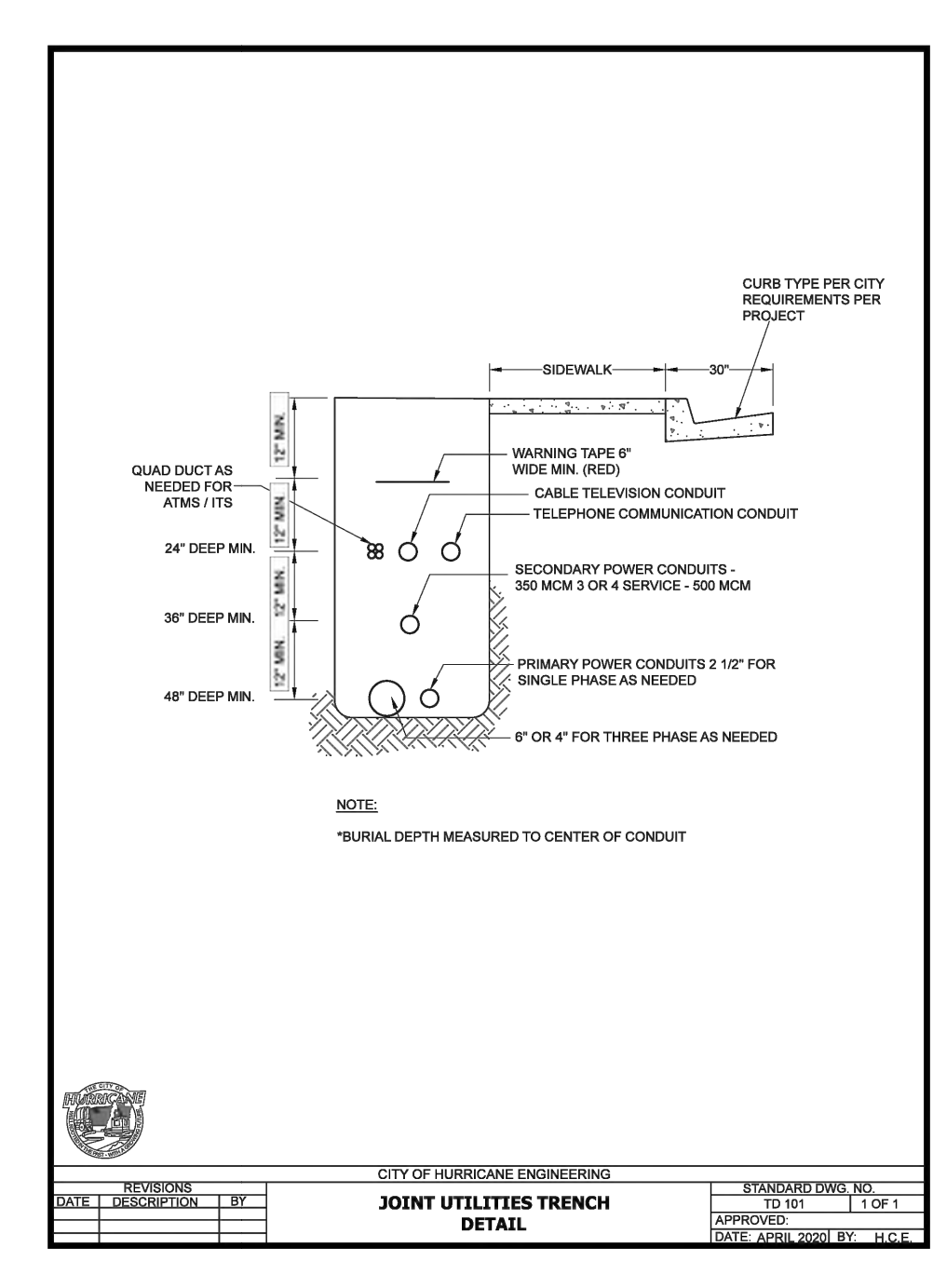
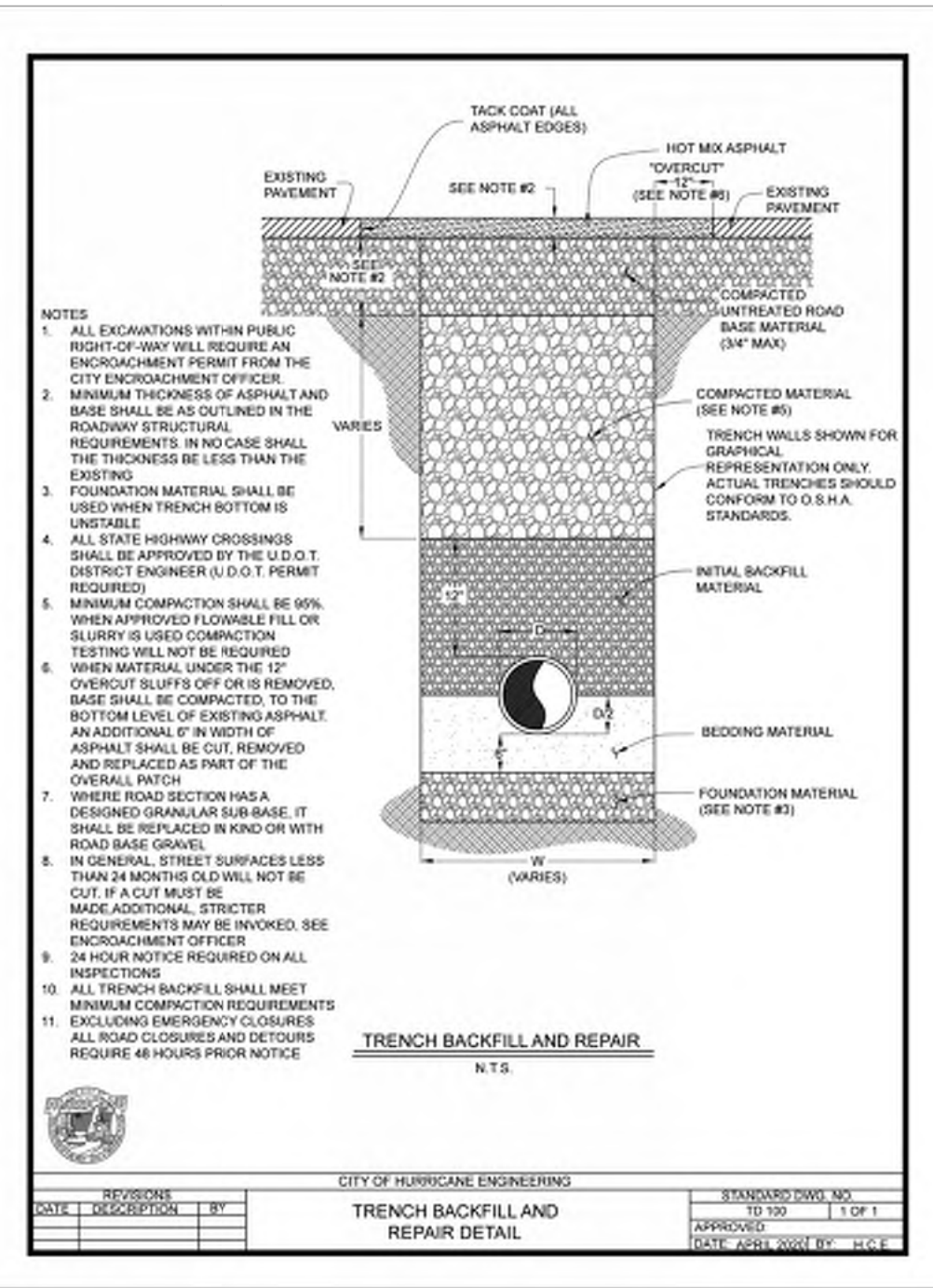
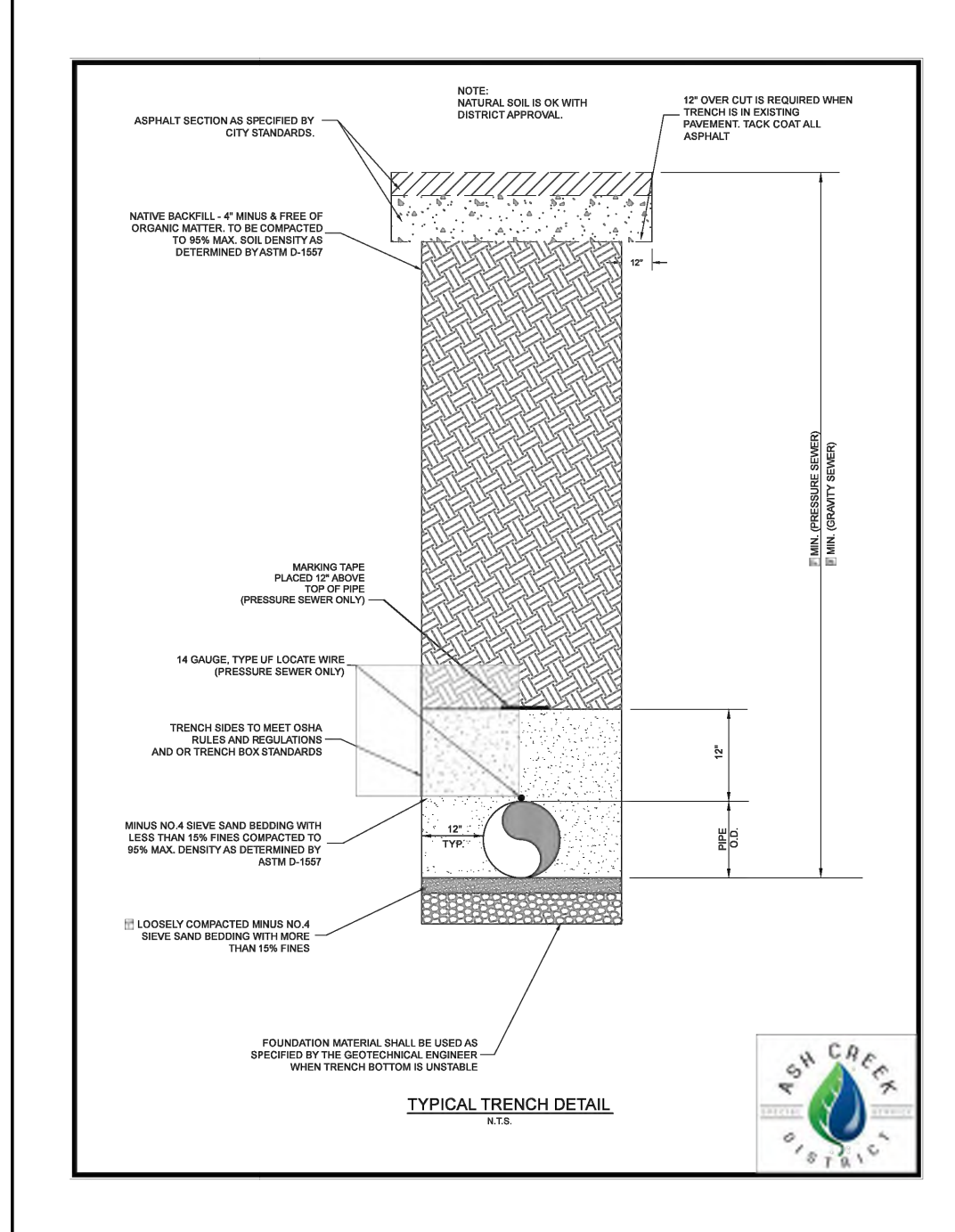
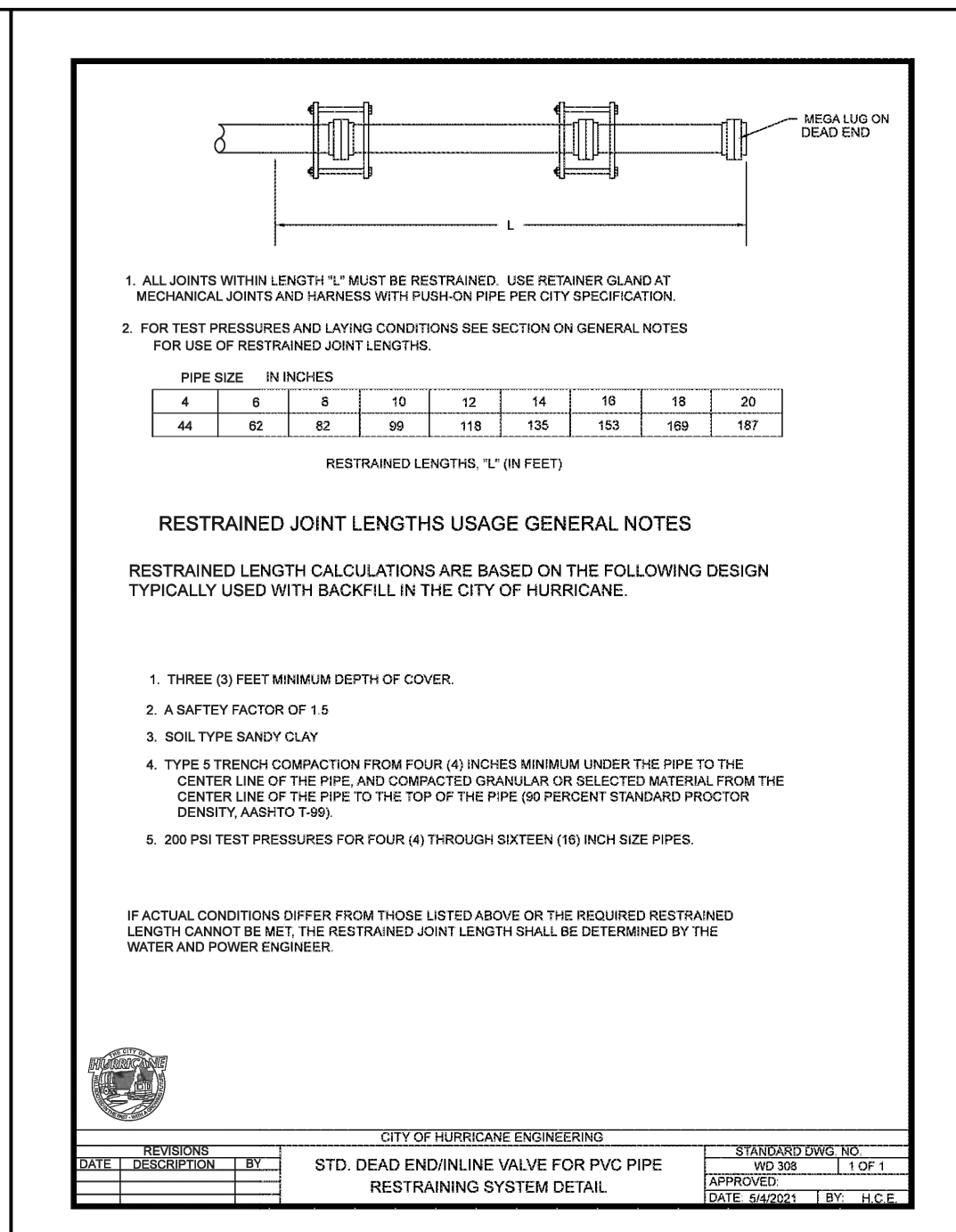
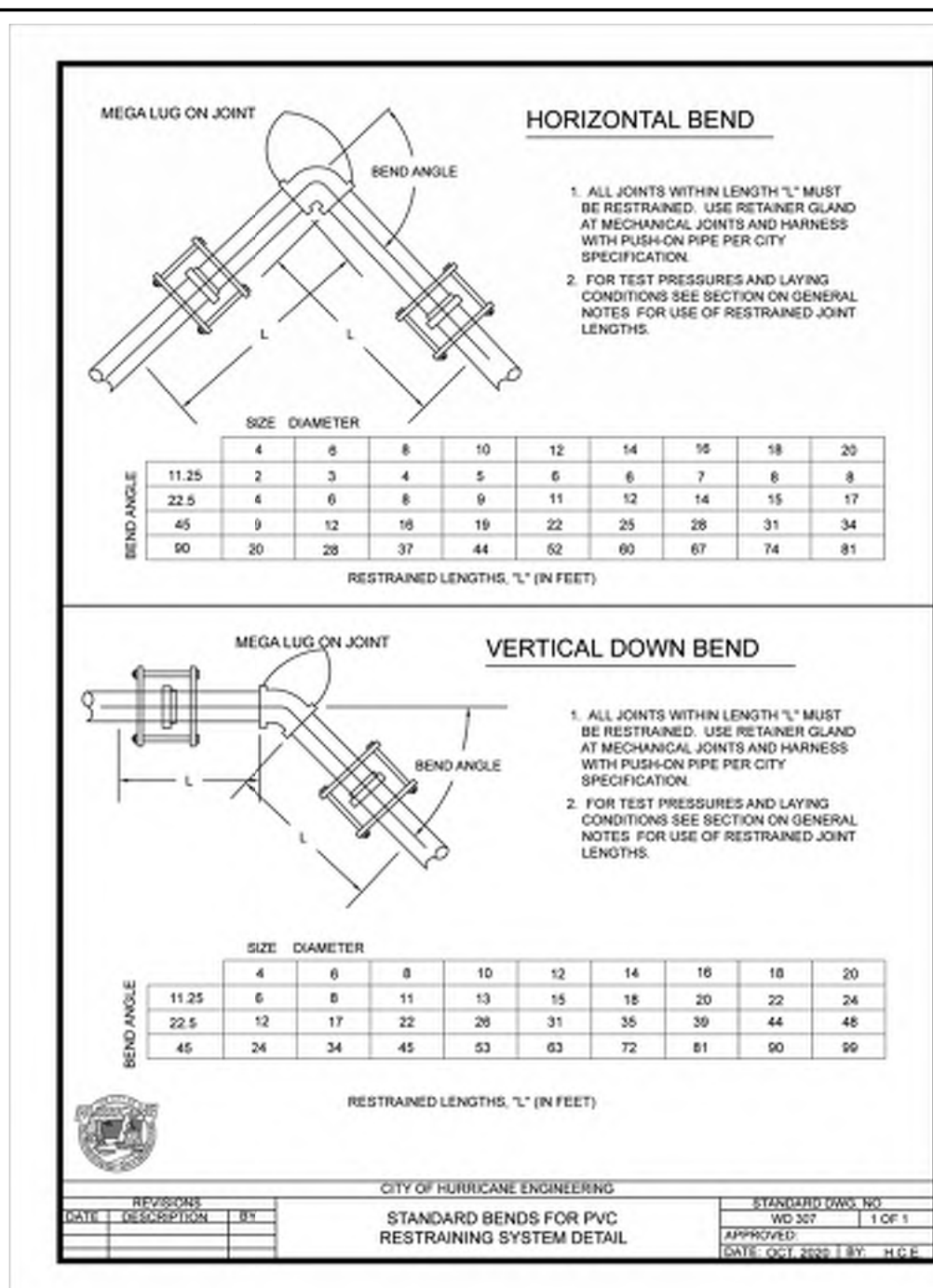
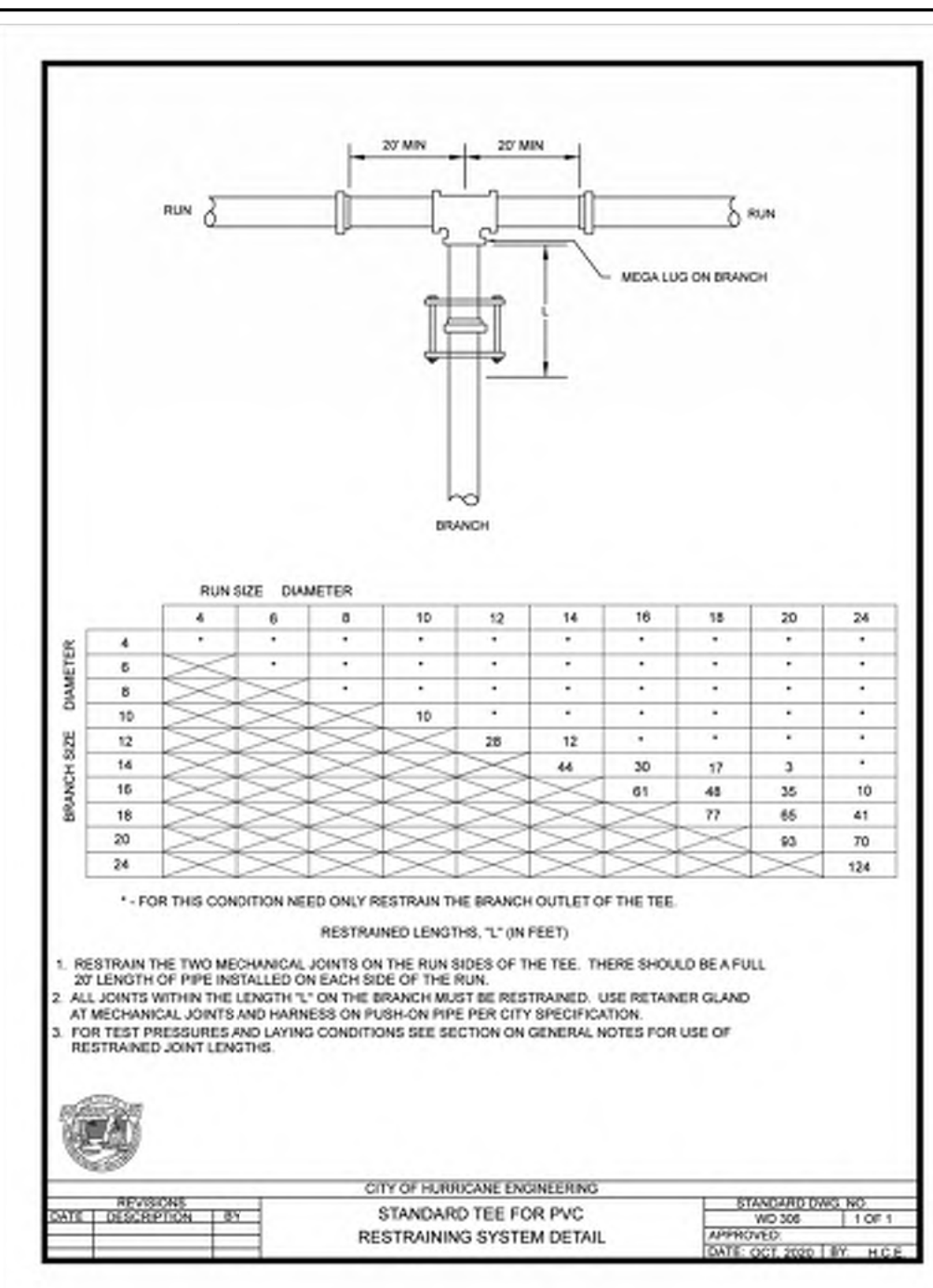
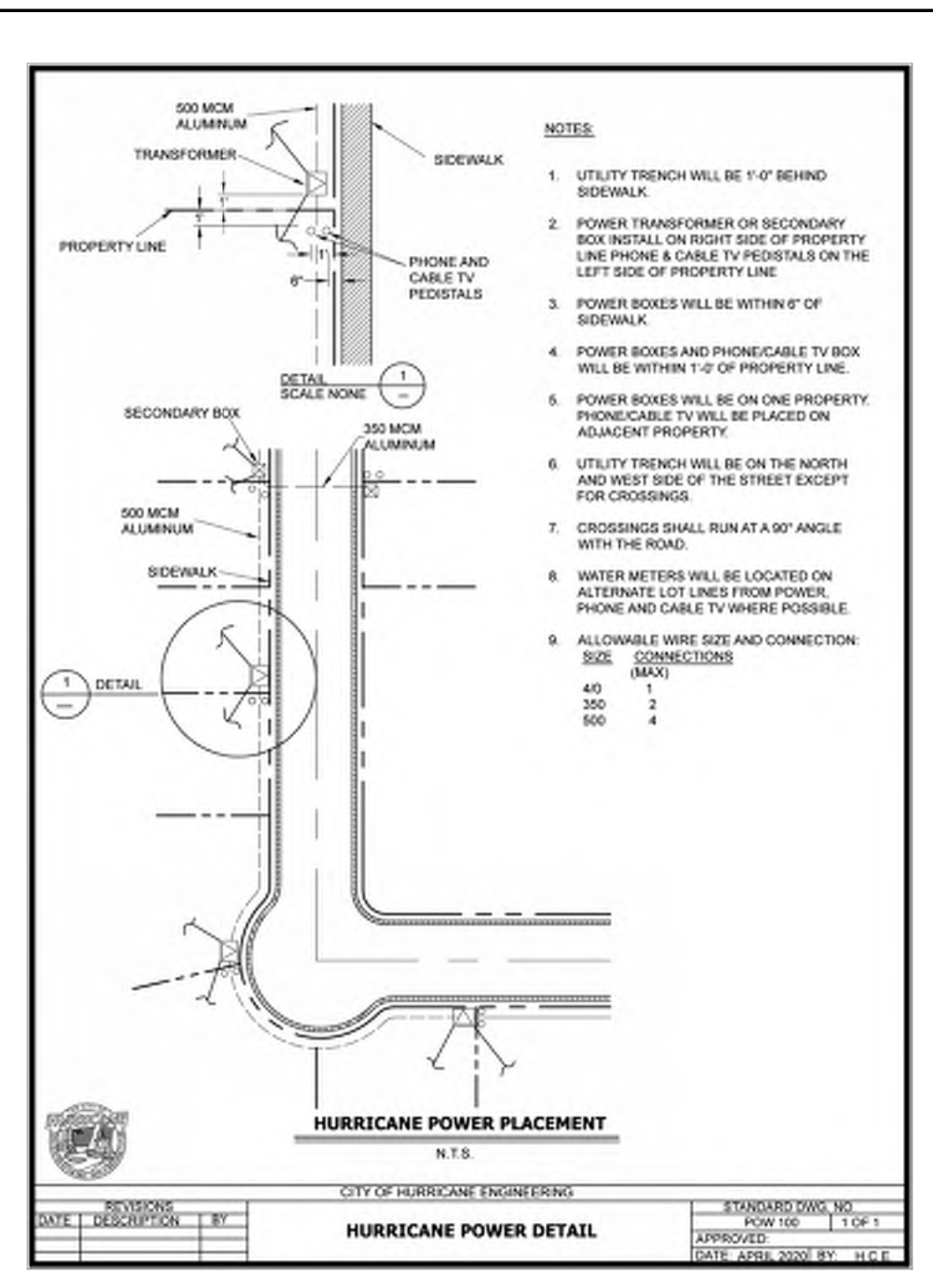
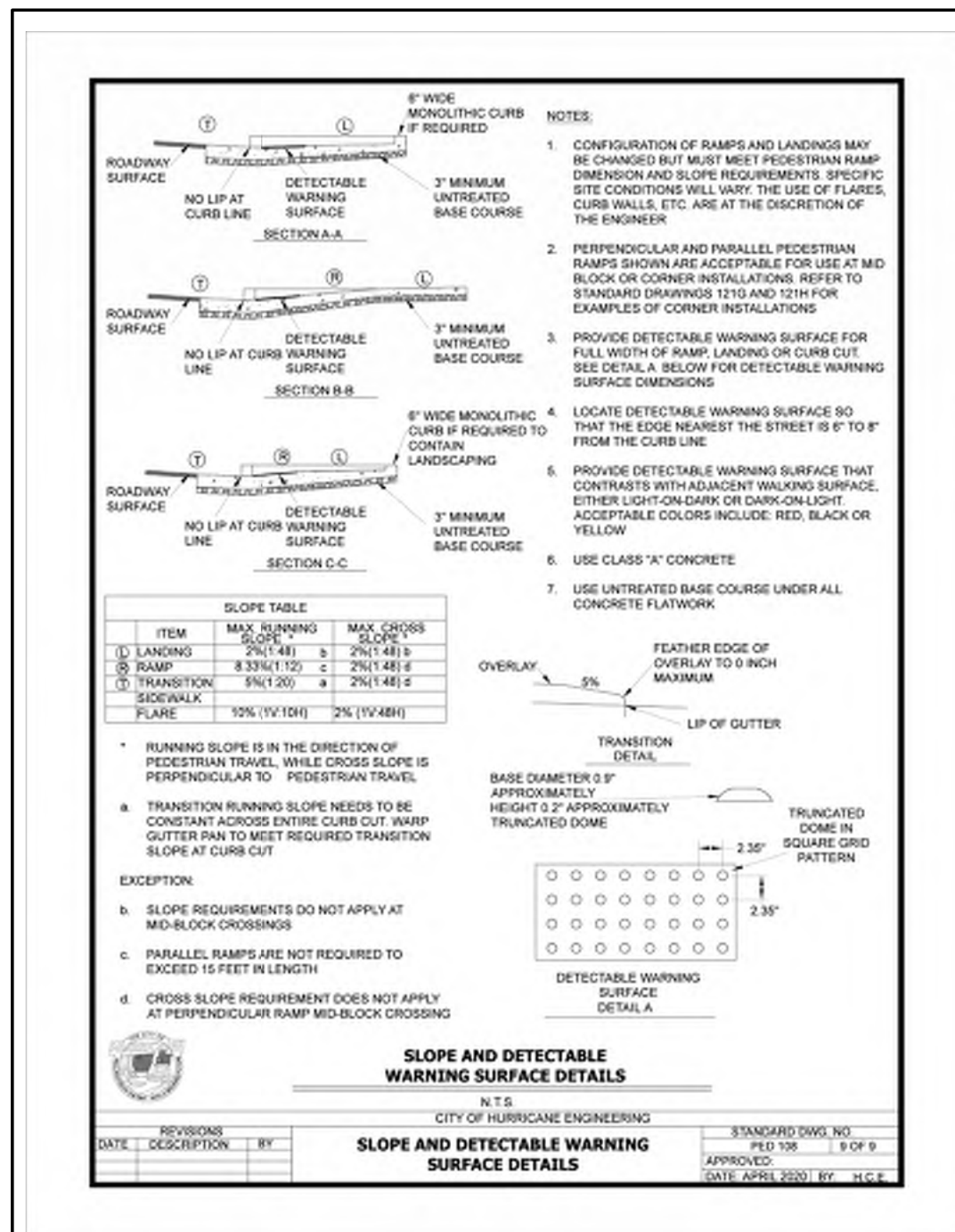
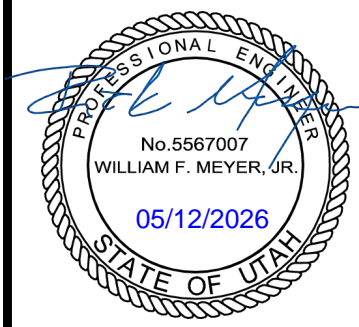
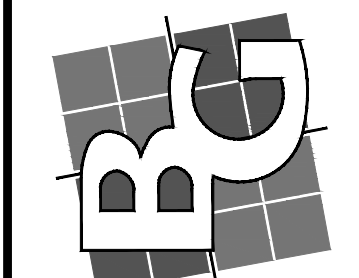


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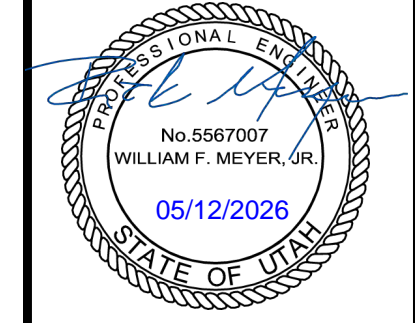
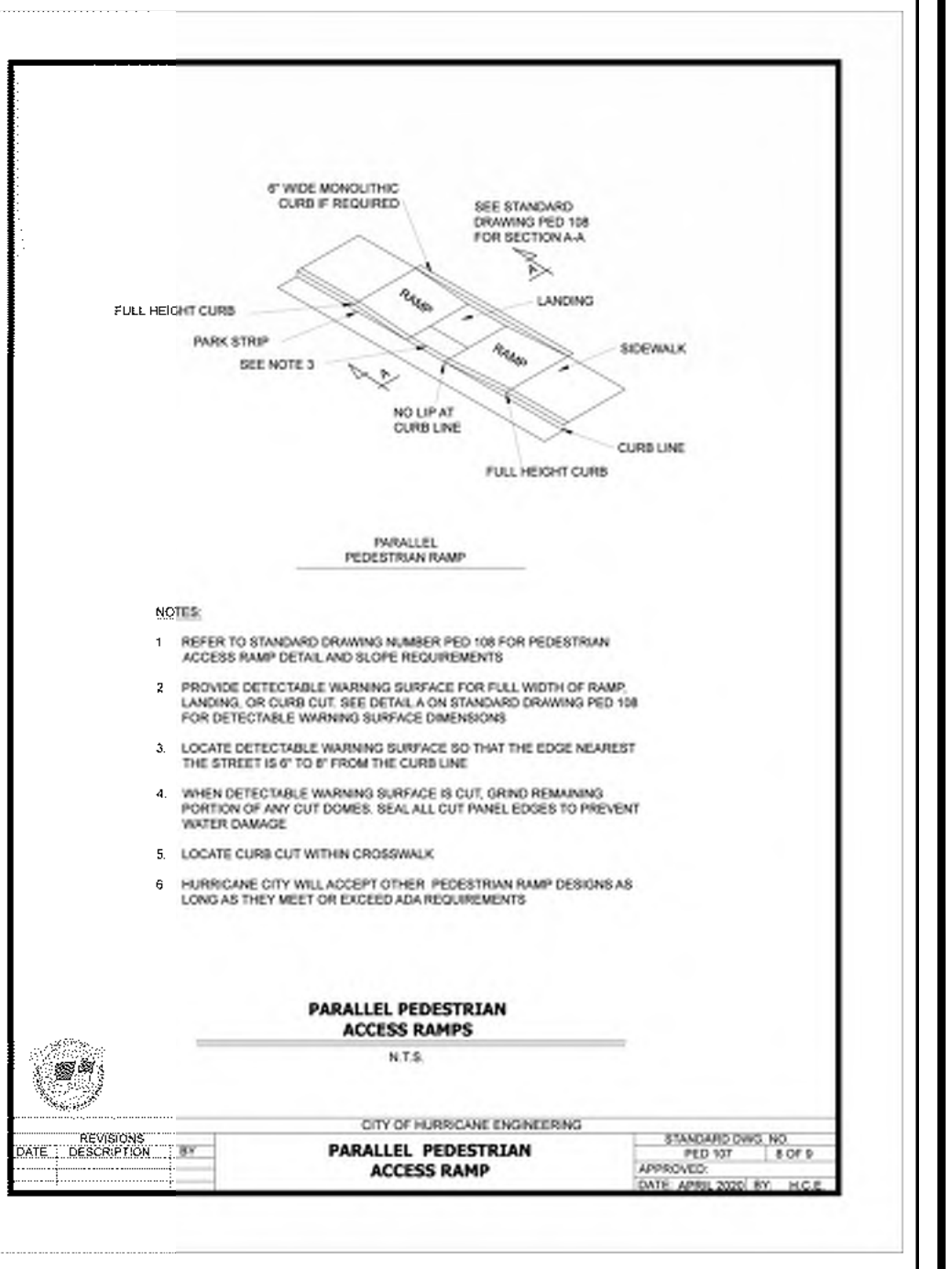
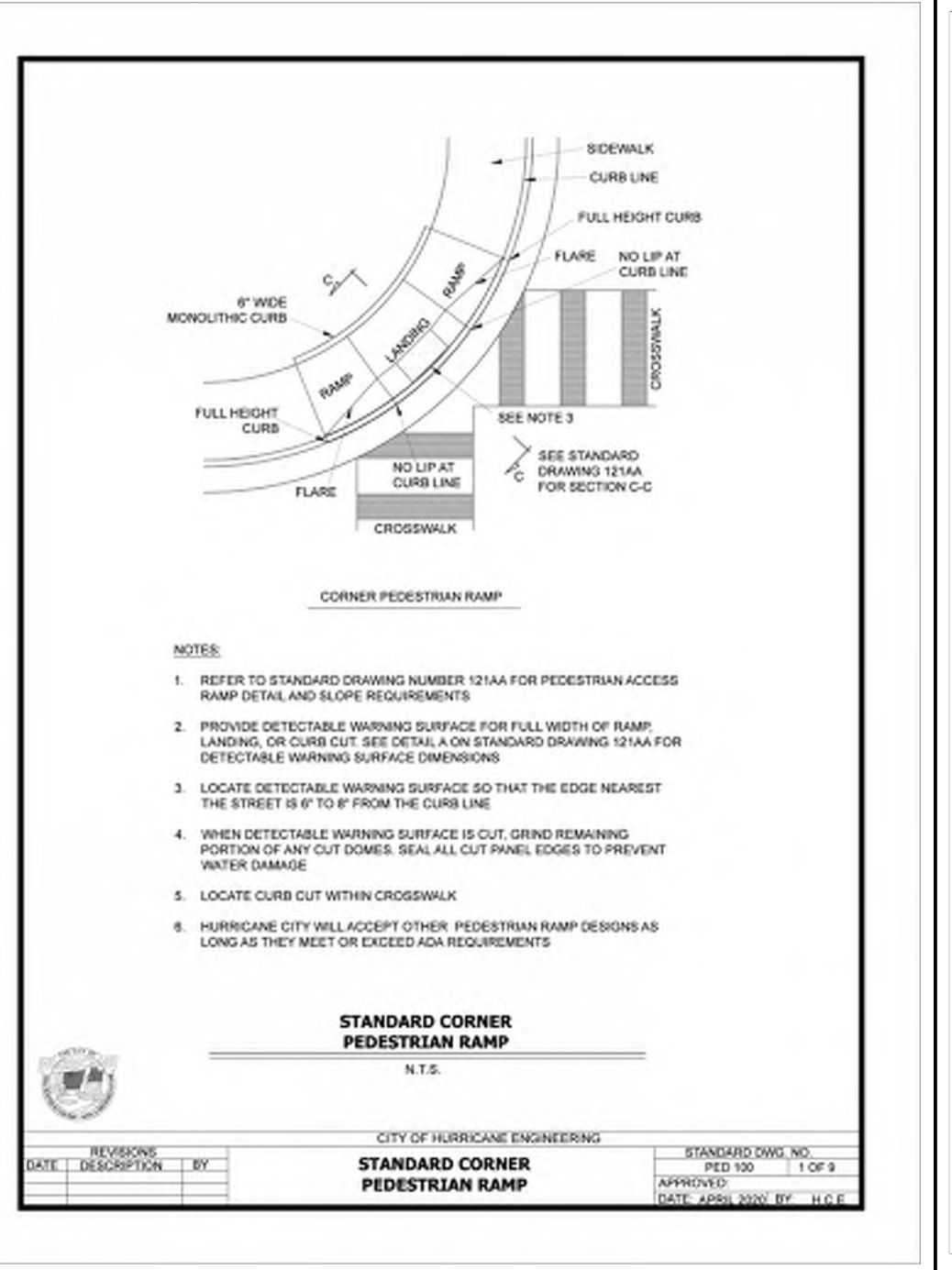
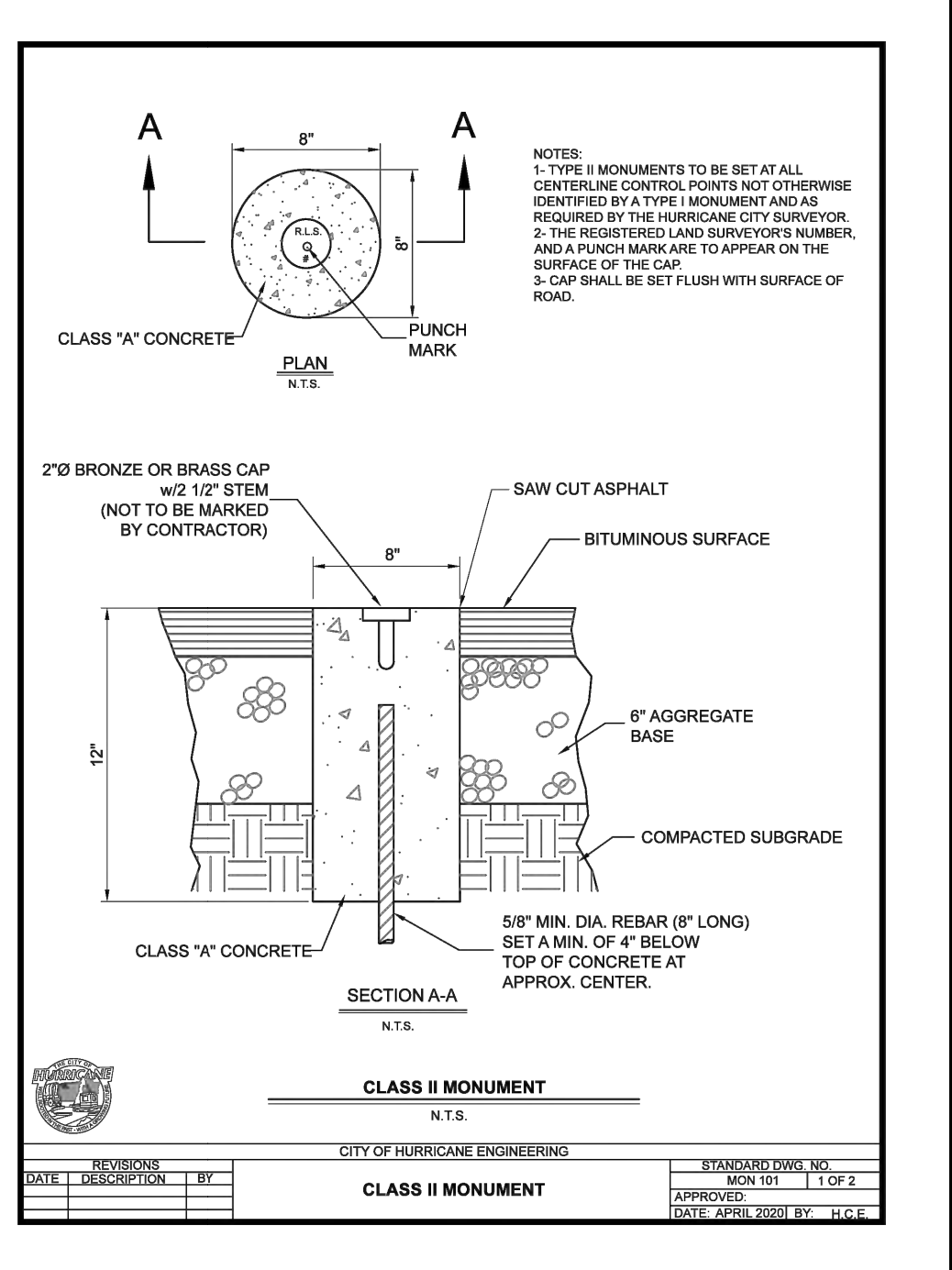
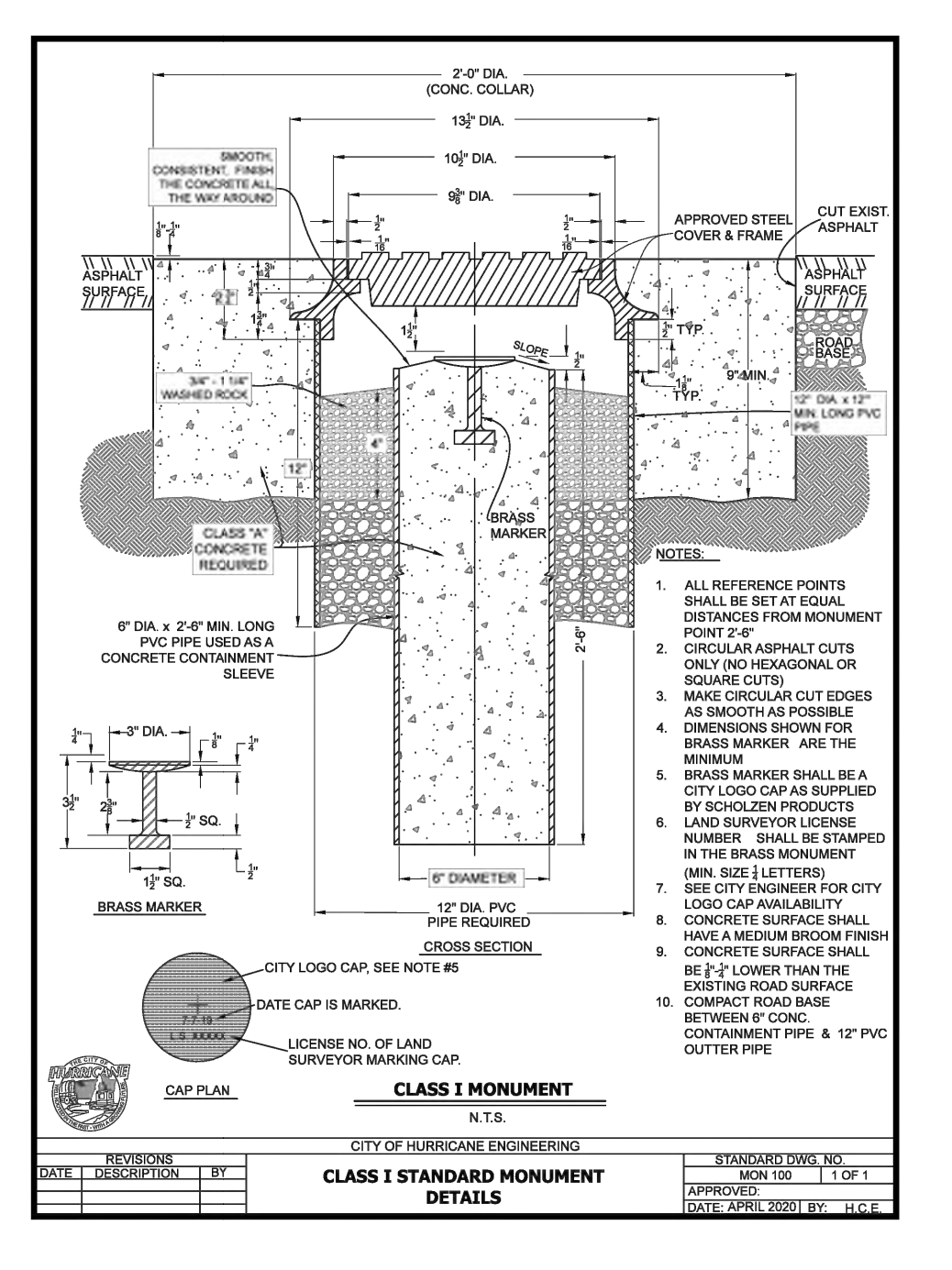
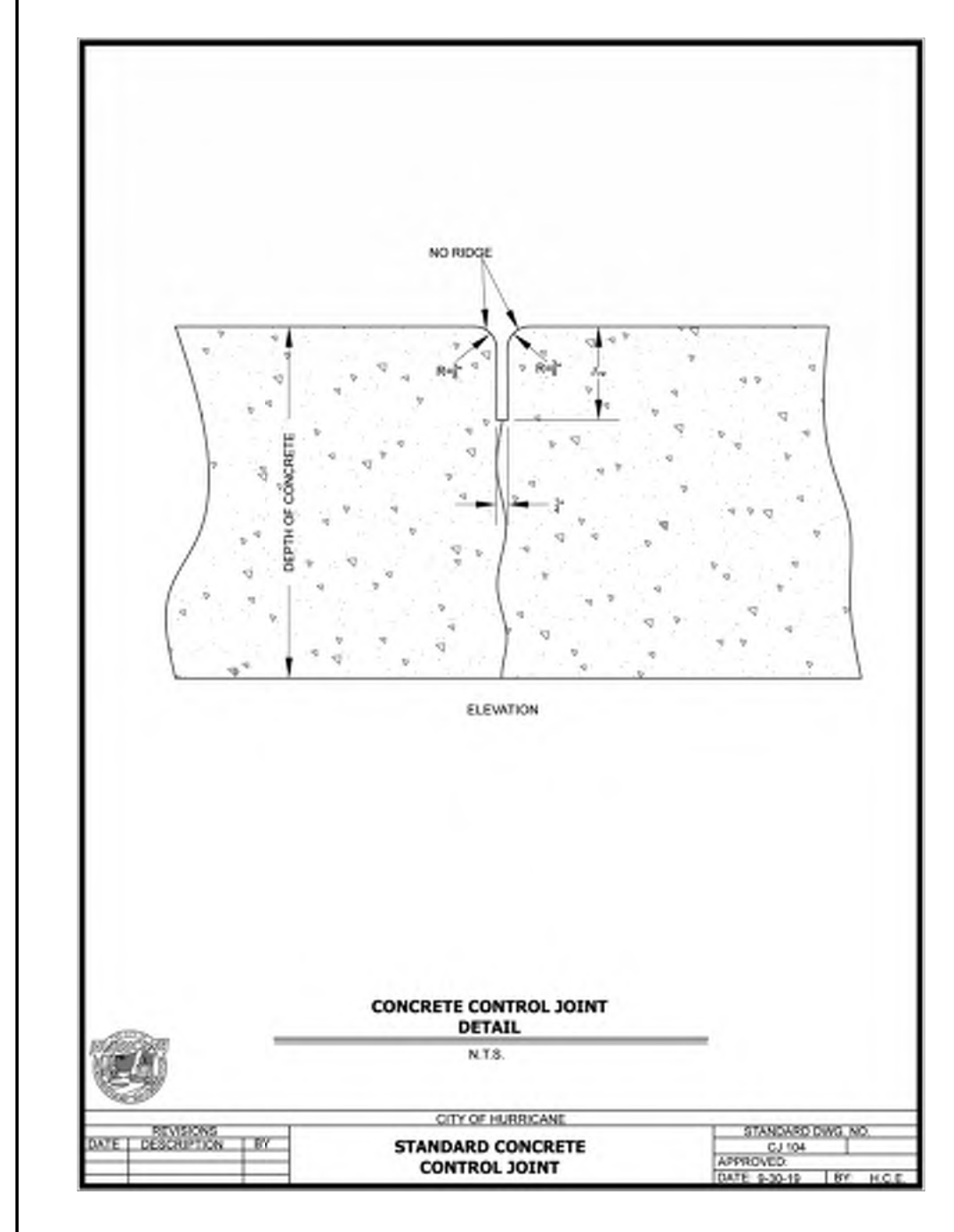
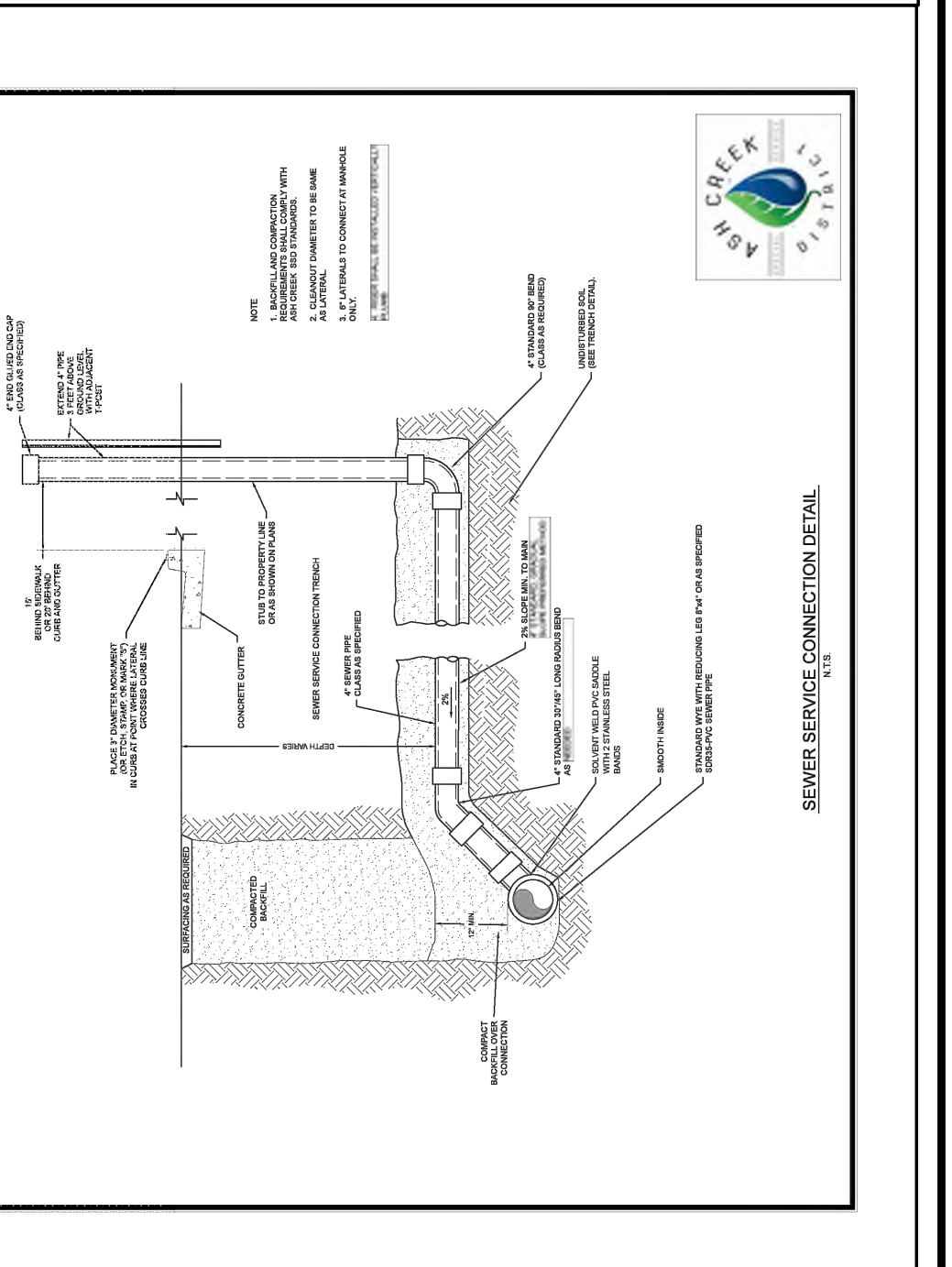
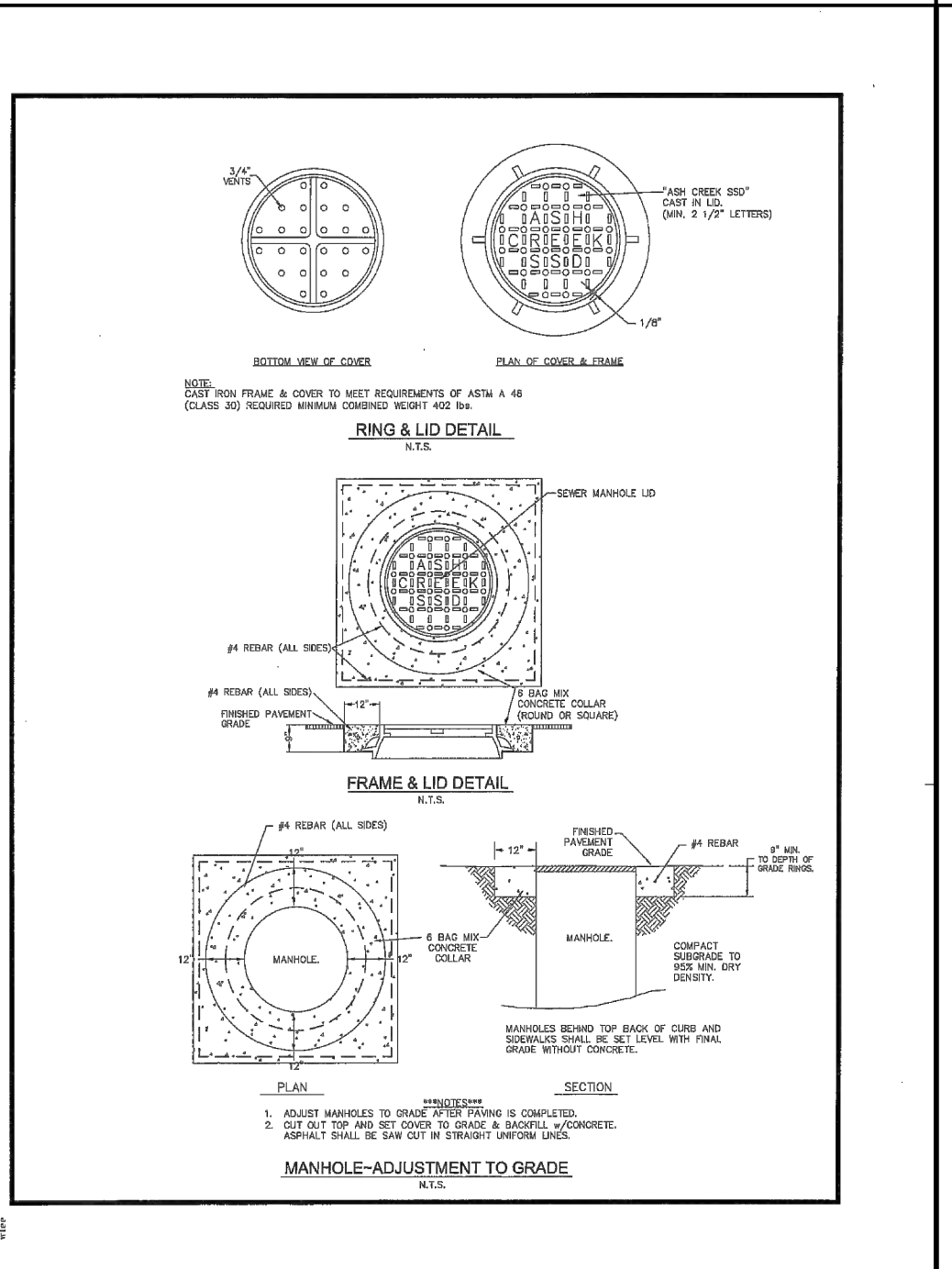
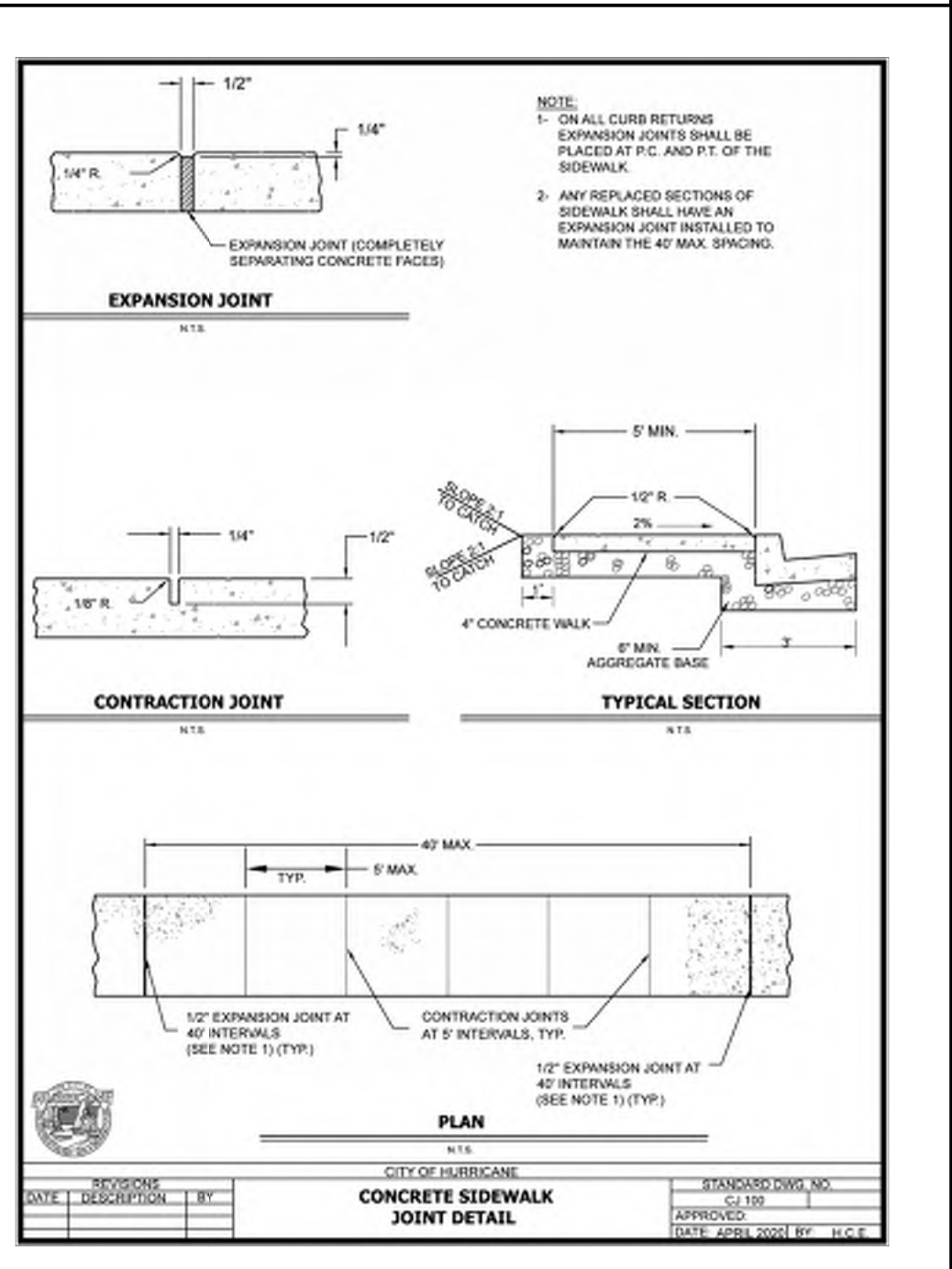
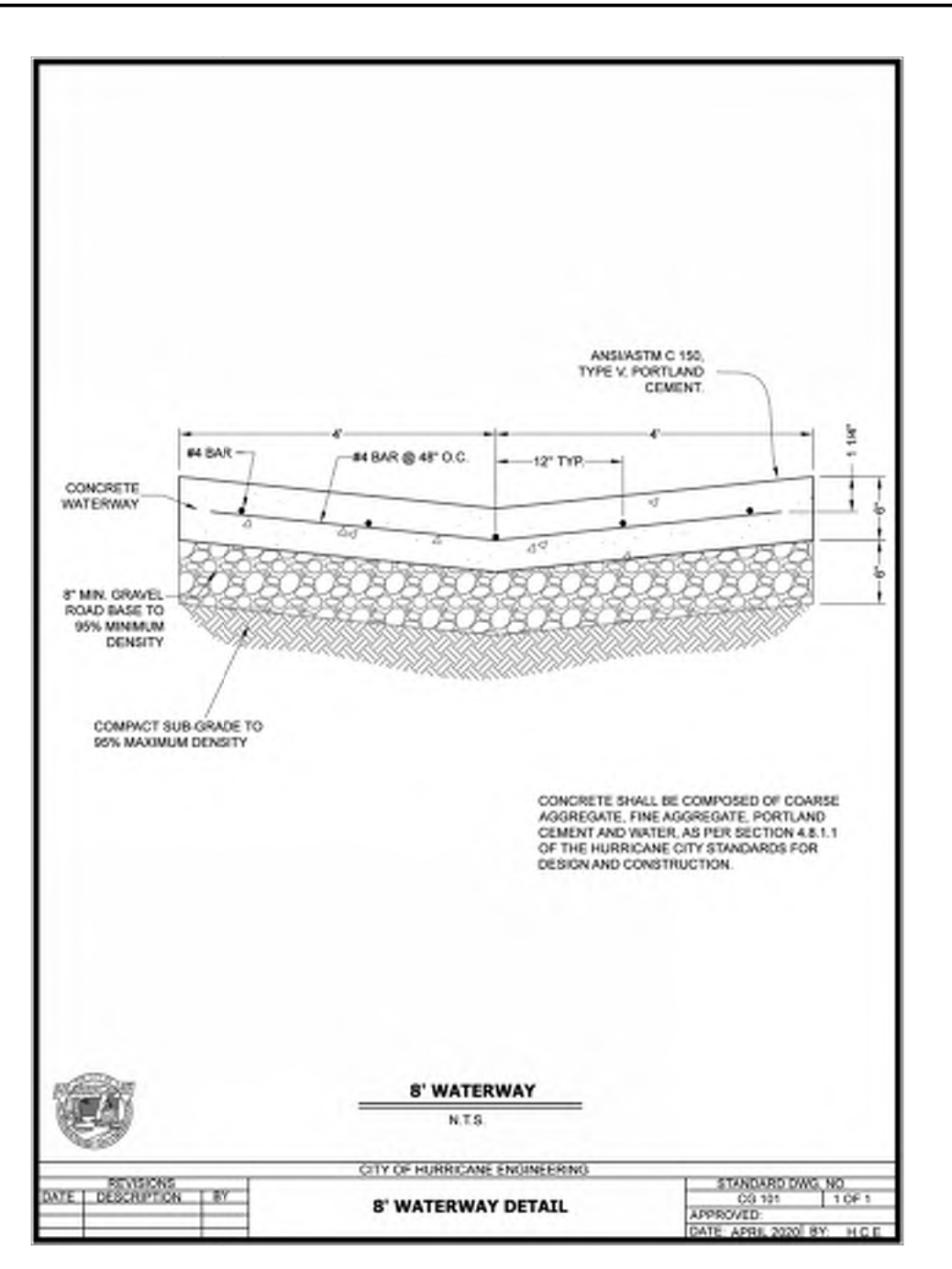
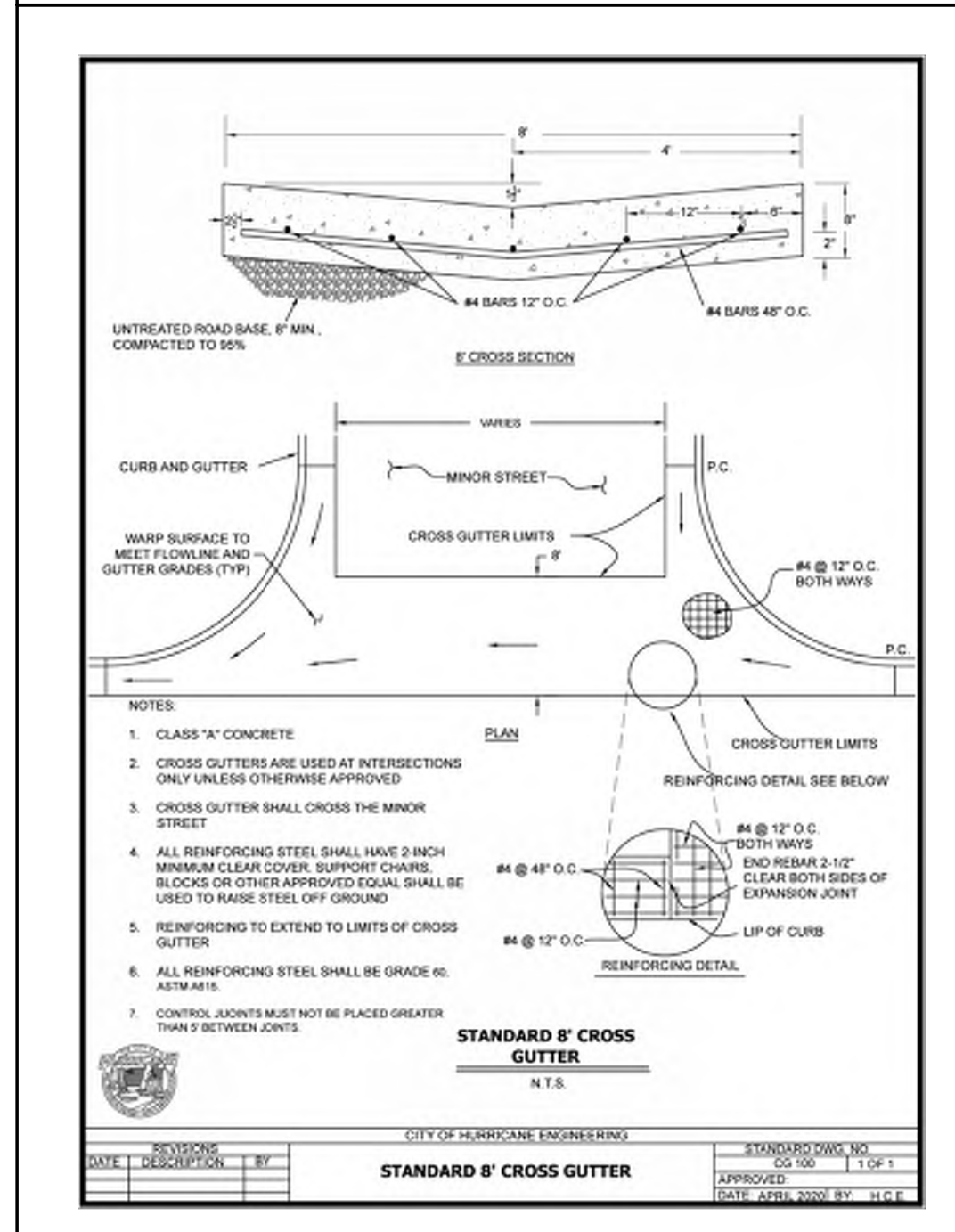
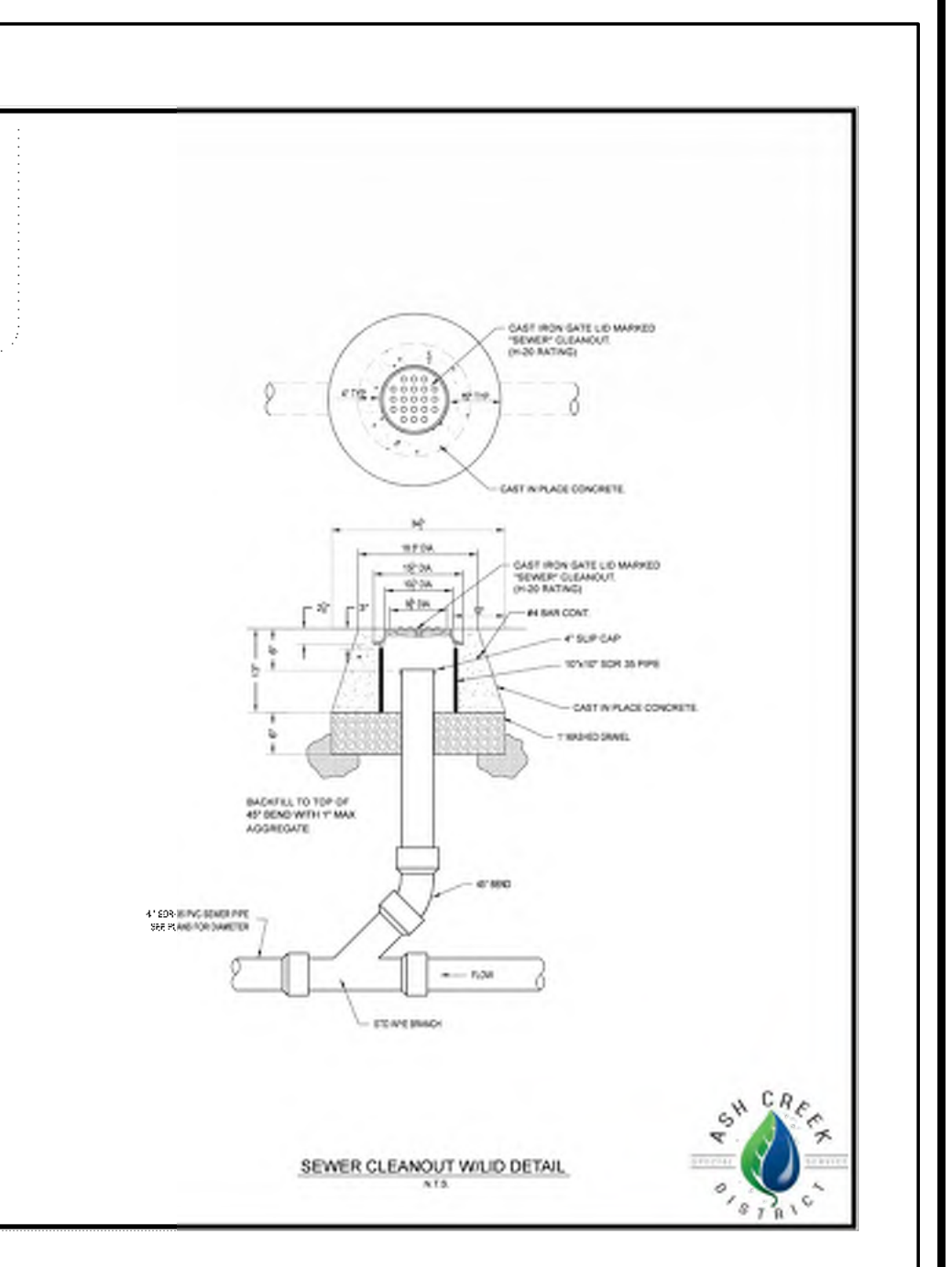
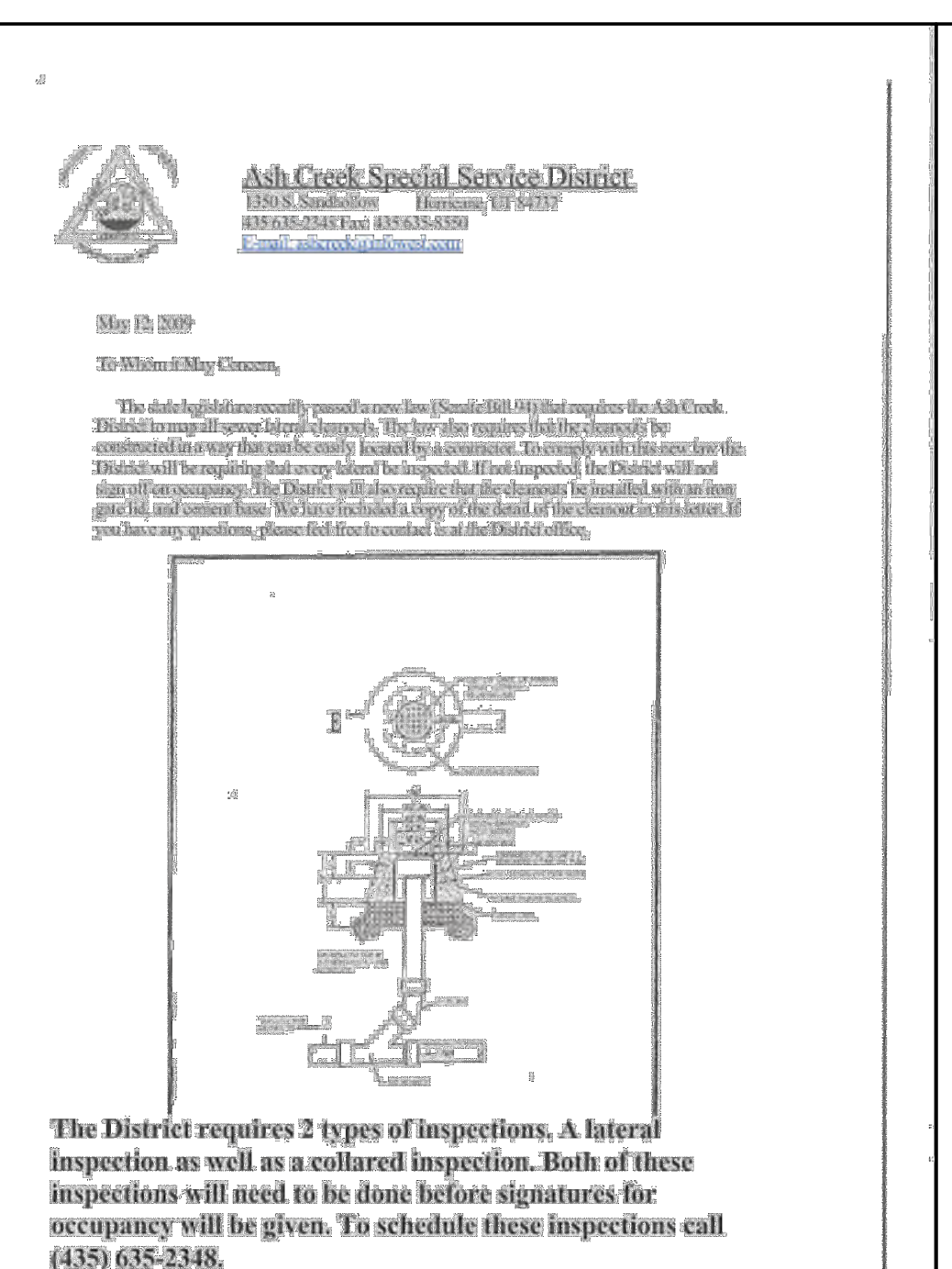
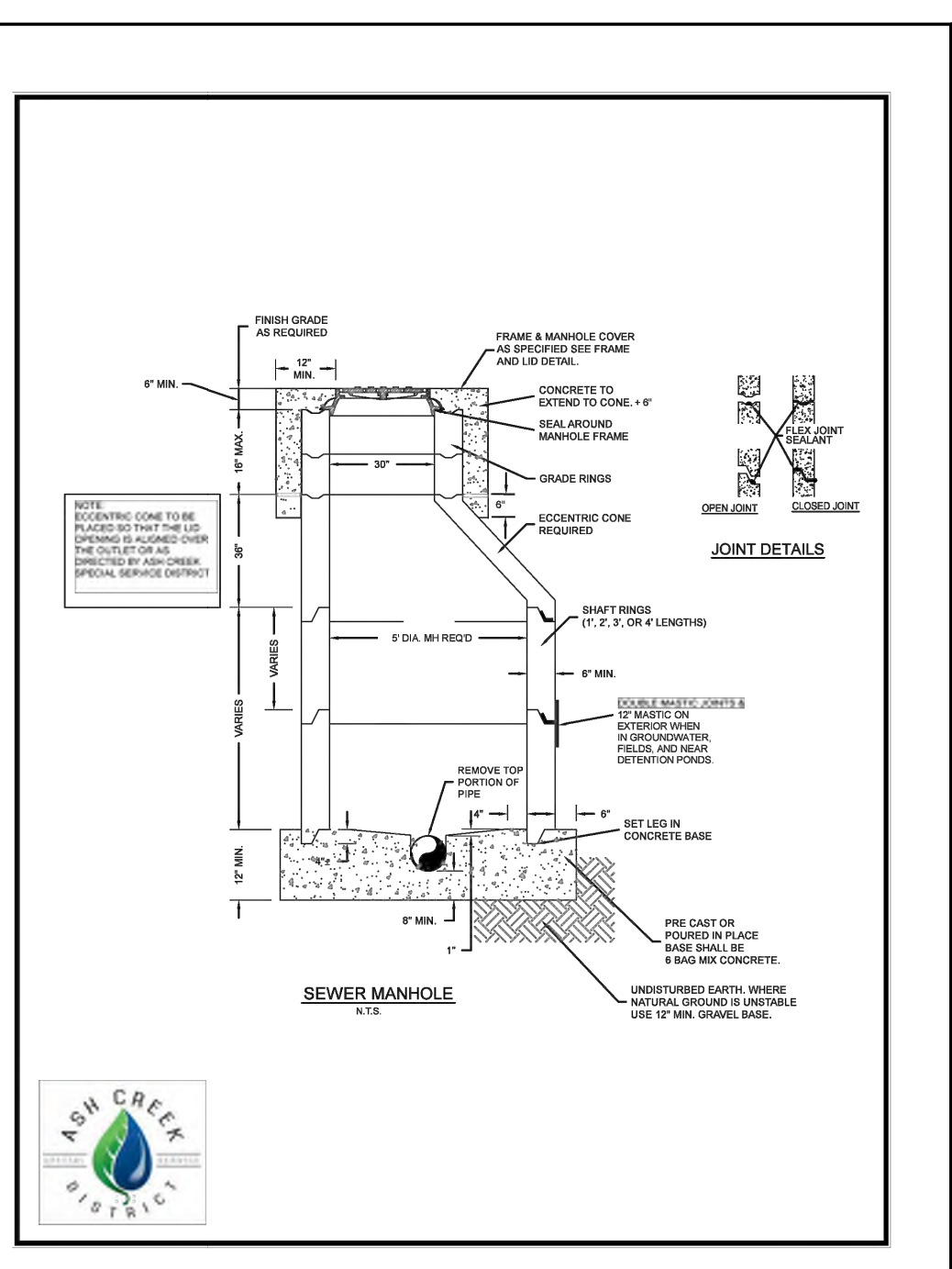
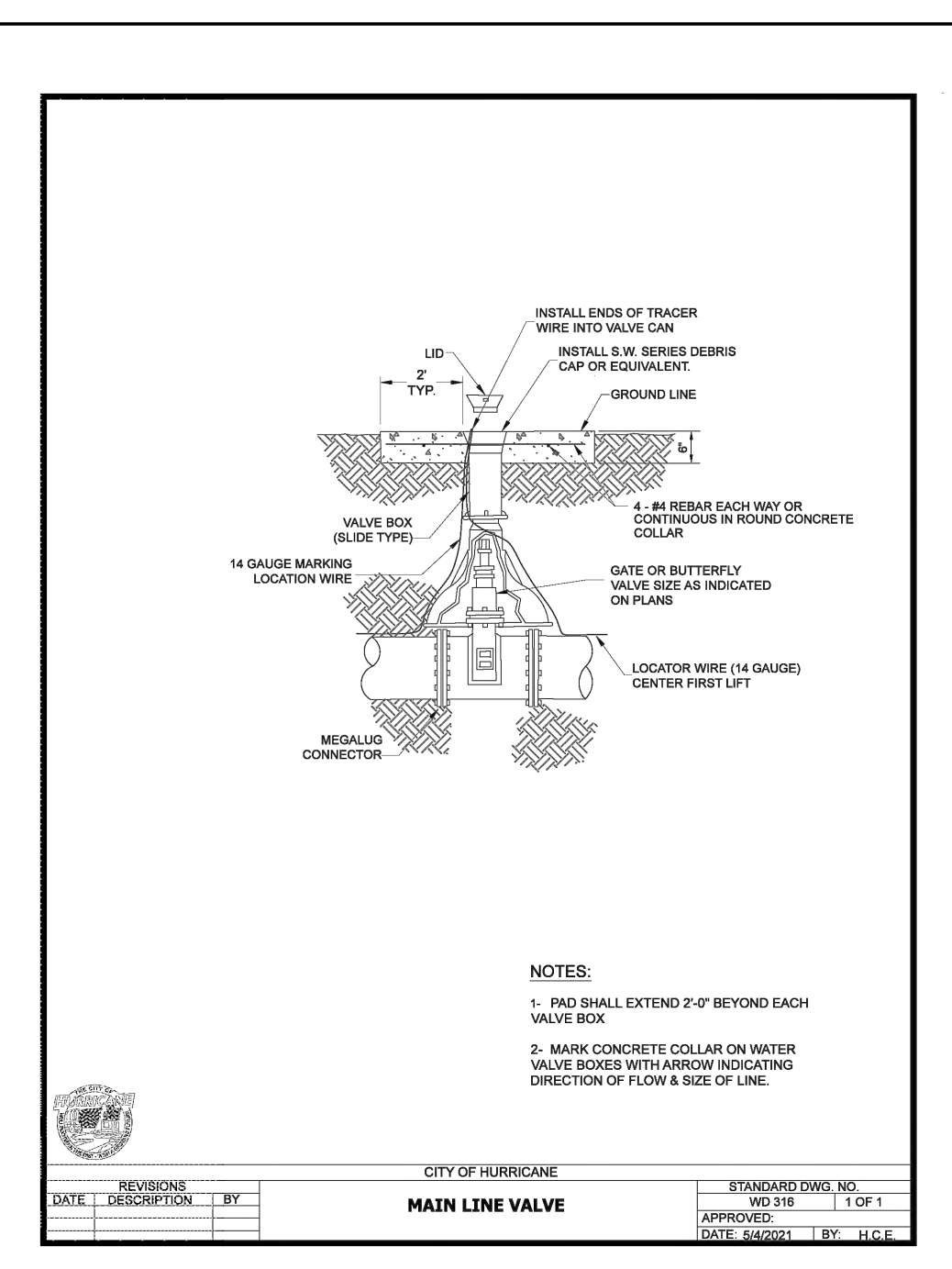
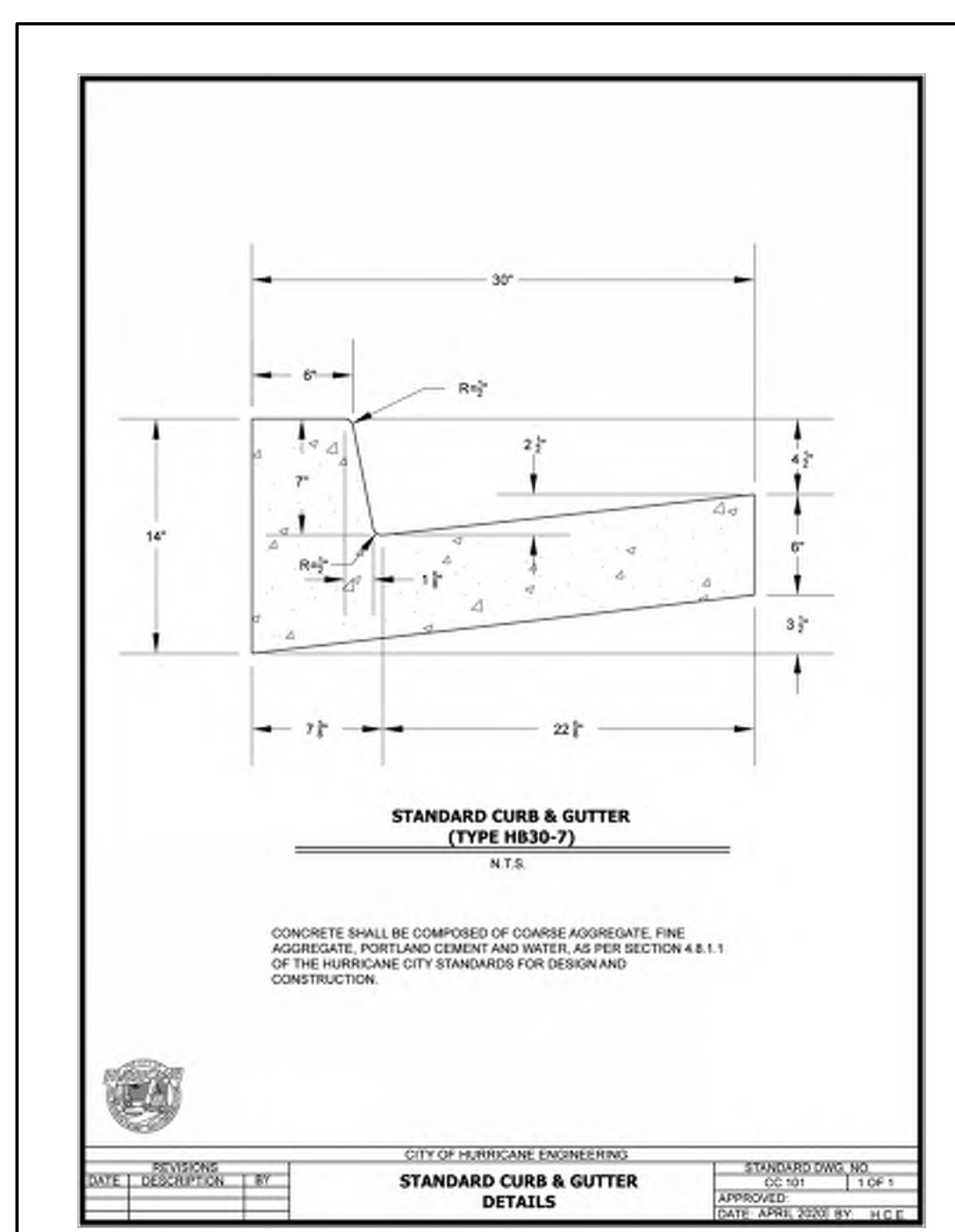
BUSH & GUDGELL, INC.
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Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: MAY 2026
DRAWN: CEW
APPROVED: WFM
SCALE: 1/4\"/>

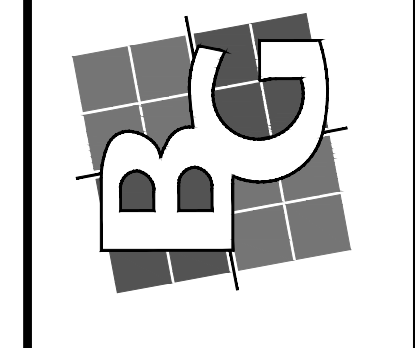
DETAILS
ZIONS GATEWAY PHASE 3
LOCATED IN HURRICANE, UTAH

Approved
 05/13/2026
 Mike Kocich



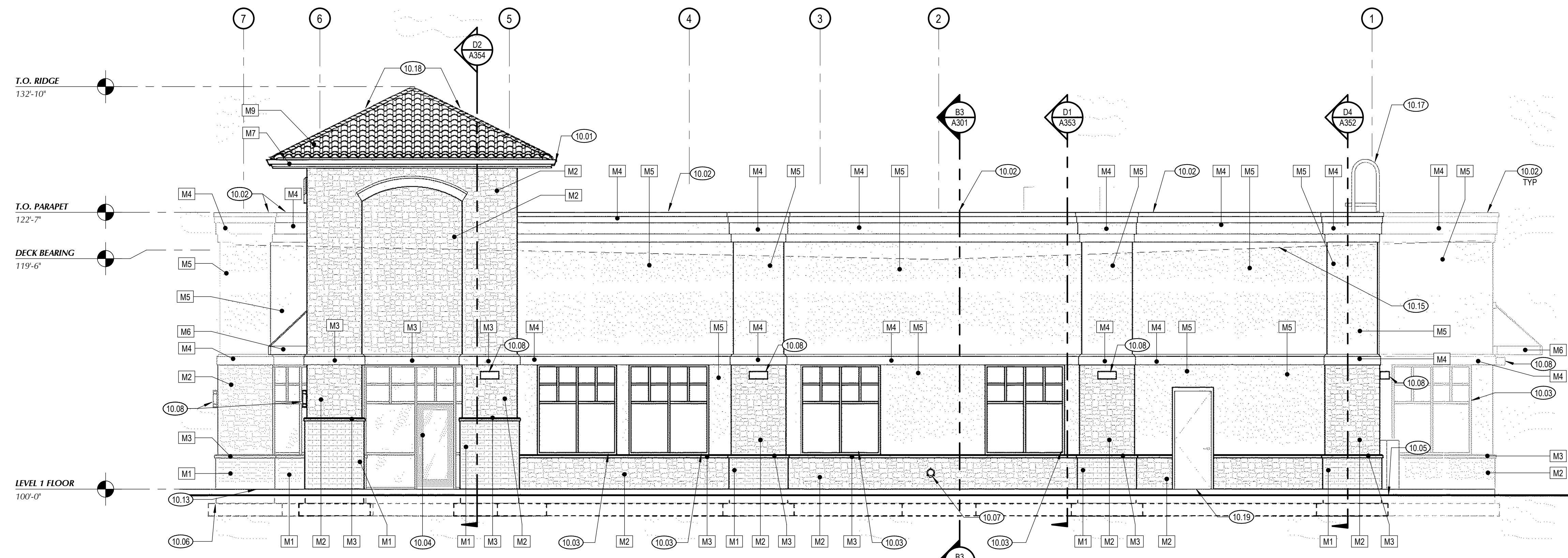
No.	Date	By	Revision

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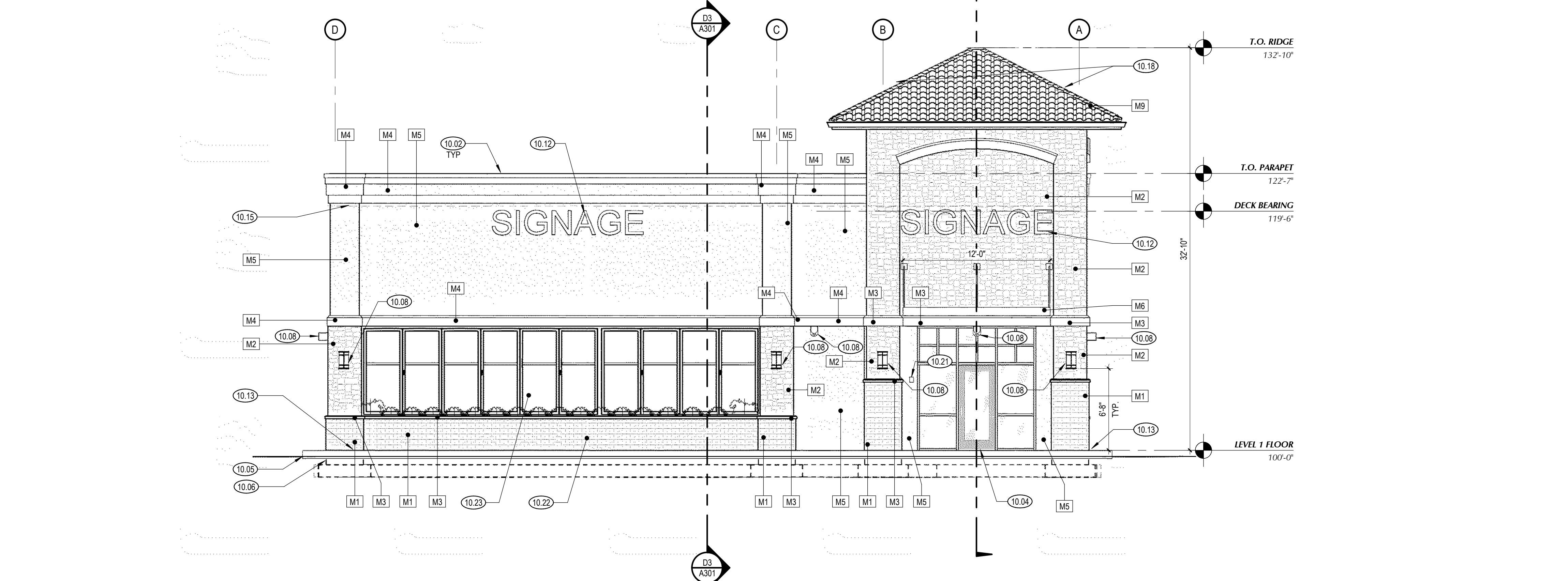


DATE: MAY 2026
 DRAWN: CEW
 APPROVED: WFM
 SCALE: N/A
 JOB NO.: 211305

DETAILS
ZIONS GATEWAY PHASE 3
LOCATED IN HURRICANE, UTAH



A3 NORTH ELEVATION
A201 | SCALE: 3/16" = 1'-0"



C4 EAST ELEVATION
A201 | SCALE: 3/16" = 1'-0"

MARK	REVISION	DATE

SHEET NOTES

- 10.01 PRE-FINISHED METAL GUTTER AROUND FRONT SIDE OF ROOF FEATURE TO DRAIN ONTO ROOF BELOW. SEE ROOF PLAN.
- 10.02 PRE-FINISHED STANDING SEAM METAL CAP. SEE DETAIL A4/A701. VERIFY COLOR WITH ARCHITECT.
- 10.03 PRE-FINISHED ALUMINUM STOREFRONT WINDOW SYSTEM. SEE WINDOW TYPES ON SHEET A601. COLOR: CLEAR ANODIZED ALUMINUM (VERIFY WITH ARCHITECT).
- 10.04 PRE-FINISHED ALUMINUM STOREFRONT ENTRY SYSTEM. SEE DOOR SCHEDULE AND TYPES ON SHEET A601. COLOR: CLEAR ANODIZED ALUMINUM (VERIFY WITH ARCHITECT). VERIFY DOOR LOCATION WITH OWNER.
- 10.05 FINISHED GRADE LINE 6" MINIMUM BELOW TOP OF CONCRETE FOUNDATION WALL. SLOPE FINISHED GRADE AWAY FROM THE BUILDING 8 INCHES IN THE FIRST 10 FEET. SEE CIVIL.
- 10.06 CONCRETE FOUNDATION WALL SHALL RECEIVE SANDPLASTER FINISH EXTENDING 8" BELOW GRADE LEVEL.
- 10.07 OVERFLOW ROOF DRAIN SCUPPER. SEE DETAIL B5 ON A701 AND PLUMBING DRAWINGS.
- 10.08 LIGHT FIXTURE. SEE ELECTRICAL.
- 10.12 SIGNAGE FOR TENANT SPACE. TO BE DONE UNDER A SEPARATE PERMIT. PROVIDE POWER AND CONDUIT TO THIS LOCATION FOR EACH SIGN. SEE ELECTRICAL DRAWINGS. COORDINATE WITH OWNER OR TENANT FOR ANY BLOCKING THAT IS REQUIRED FOR SIGNAGE ATTACHMENT.
- 10.13 CONCRETE SIDEWALK SLAB. SEE CIVIL DRAWINGS. SLOPE AWAY FROM BUILDING.
- 10.15 DASH LINE HERE INDICATES TOP OF ROOF BEHIND PARAPET WALL.
- 10.17 STEEL ACCESS LADDER WITH DOOR AND LOCK. PAINTED. SEE DETAIL D5/A701.
- 10.18 ROOF RIDGE VENT TO ALLOW FOR PROPER VENTILATION. SEE REQUIRED VENTILATION IN CODE ANALYSIS.
- 10.19 HOLLOW METAL PAINTED MAN DOOR. SEE DOOR SCHEDULE.
- 10.21 PROVIDE KNOX BOX AT THIS LOCATION. GENERAL CONTRACTOR TO VERIFY TYPE, LOCATION, AND HEIGHT WITH LOCAL FIRE MARSHAL.
- 10.22 PLANTER WALL. SEE DETAIL D3/A355.
- 10.23 NANAWALL OPENING GLASS WALL SYSTEM. SEE GLAZING ELEVATIONS.

EXTERIOR MATERIAL LEGEND

- M1** BRICK VENEER. VERIFY COLOR WITH ARCHITECT.
- M2** CULTURED STONE VENEER. VERIFY COLOR WITH ARCHITECT.
- M3** PRE-CAST CONCRETE SILL. VERIFY COLOR WITH ARCHITECT.
- M4** LIGHT EIFS TRIM. VERIFY COLOR WITH ARCHITECT.
- M5** EIFS SYSTEM. VERIFY COLOR WITH ARCHITECT.
- M6** PAINTED STEEL CANOPY. SEE DETAIL D3/A501. SEE STRUCTURAL. VERIFY COLOR WITH ARCHITECT.
- M7** PRE-FINISHED FASCIA AND SOFFIT. VERIFY COLOR WITH ARCHITECT. SEE WALL SECTIONS.
- M8** PRE-FINISHED METAL CAP. SEE DETAIL A4/A701. VERIFY COLOR WITH ARCHITECT.
- M9** BARTILE ROOF TILE. VERIFY TYPE AND COLOR WITH ARCHITECT.
- M10** 5/8" TYPE 'X' GYPSUM BOARD. VERIFY COLOR WITH ARCHITECT.

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE SANDPLASTER FINISH. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- D. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- E. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE SCUPPER. SEE DETAIL B5/A701.
- F. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- H. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- I. THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL FOLLOW THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT STRICTLY. THE ARCHITECTURAL AND ENGINEERING PLANS AND SPECIFICATIONS MAY, IN SOME CASES, SPECIFY ABOVE THE MINIMUM REQUIREMENT IN THE GEOTECHNICAL REPORT. IN WHICH CASE, THE GENERAL CONTRACTOR SHALL MEET THE HIGHER STANDARD.
- J. CONTRACTOR TO COORDINATE WITH OWNER AND CIVIL TO INSTALL HEIGHT BAR CLEARANCE STRUCTURE. COORDINATE SIZE, LOCATION, AND STYLE WITH CIVIL AND OWNER.

<p>333 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p>	DATE: 02/28/2023 PROJECT #: 21-057 PROJ. MAN.: MWS CHECKED BY: JWS
	<p>PROJECT: ZION'S GATEWAY PLAZA 3RD PHASE PART A</p> <p>25 NORTH 2000 WEST HURRICANE, UTAH</p>
SHEET DESCRIPTION: EXTERIOR ELEVATIONS	SHEET: A201

MARK	REVISION	DATE

SHEET NOTES

- 10.02 PRE-FINISHED STANDING SEAM METAL CAP. SEE DETAIL A4/A701. VERIFY COLOR WITH ARCHITECT.
- 10.03 PRE-FINISHED ALUMINUM STOREFRONT WINDOW SYSTEM. SEE WINDOW TYPES ON SHEET A601. COLOR: CLEAR ANODIZED ALUMINUM (VERIFY WITH ARCHITECT).
- 10.04 PRE-FINISHED ALUMINUM STOREFRONT ENTRY SYSTEM. SEE DOOR SCHEDULE AND TYPES ON SHEET A601. COLOR: CLEAR ANODIZED ALUMINUM (VERIFY WITH ARCHITECT). VERIFY DOOR LOCATION WITH OWNER.
- 10.05 FINISHED GRADE LINE 6" MINIMUM BELOW TOP OF CONCRETE FOUNDATION WALL. SLOPE FINISHED GRADE AWAY FROM THE BUILDING 8 INCHES IN THE FIRST 10 FEET. SEE CIVIL.
- 10.06 CONCRETE FOUNDATION WALL SHALL RECEIVE SANDPLASTER FINISH EXTENDING 8" BELOW GRADE LEVEL.
- 10.07 OVERFLOW ROOF DRAIN SCUPPER. SEE DETAIL BS ON A701 AND PLUMBING DRAWINGS.
- 10.08 LIGHT FIXTURE. SEE ELECTRICAL.
- 10.10 GAS METER LOCATION. COORDINATE WITH UTILITY COMPANY AND MECHANICAL. VERIFY CLEARANCES AND REQUIRED DISTANCES FROM OTHER ITEMS.
- 10.11 PROVIDE BUILDING NUMBER AT THIS LOCATION. VERIFY NUMBER WITH CITY. VERIFY COLOR WITH ARCHITECT.
- 10.13 CONCRETE SIDEWALK SLAB. SEE CIVIL DRAWINGS. SLOPE AWAY FROM BUILDING.
- 10.15 DASH LINE HERE INDICATES TOP OF ROOF BEHIND PARAPET WALL.
- 10.16 THIS WINDOW SHALL BE OPERABLE TO ALLOW FOR DRIVE UP. SEE WINDOW SCHEDULE. VERIFY WINDOW SILL HEIGHT WITH OWNER. TOP OF WINDOW SHALL MATCH THE ADJACENT TOP OF WINDOW HEIGHT.
- 10.17 STEEL ACCESS LADDER WITH DOOR AND LOCK, PAINTED. SEE DETAIL D5/A701.
- 10.19 HOLLOW METAL PAINTED MAN DOOR. SEE DOOR SCHEDULE.
- 10.20 ELECTRICAL METER BOX, PAINTED. SEE ELECTRICAL DRAWINGS. VERIFY CLEARANCES AND REQUIRED DISTANCES FROM OTHER ITEMS.
- 10.22 PLANTER WALL. SEE DETAIL D3/A355.
- 10.23 NANAWALL OPENING GLASS WALL SYSTEM. SEE GLAZING ELEVATIONS.
- 10.24 ELECTRIC METER LOCATION. SEE ELECTRICAL DRAWINGS.
- 10.26 ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS.

EXTERIOR MATERIAL LEGEND

- M1** BRICK VENEER. VERIFY COLOR WITH ARCHITECT.
- M2** CULTURED STONE VENEER. VERIFY COLOR WITH ARCHITECT.
- M3** PRE-CAST CONCRETE SILL. VERIFY COLOR WITH ARCHITECT.
- M4** LIGHT EIFS TRIM. VERIFY COLOR WITH ARCHITECT.
- M5** EIFS SYSTEM. VERIFY COLOR WITH ARCHITECT.
- M6** PAINTED STEEL CANOPY. SEE DETAIL D3/A501. SEE STRUCTURAL. VERIFY COLOR WITH ARCHITECT.
- M7** PRE-FINISHED FASCIA AND SOFFIT. VERIFY COLOR WITH ARCHITECT. SEE WALL SECTIONS.
- M8** PRE-FINISHED METAL CAP. SEE DETAIL A4/A701. VERIFY COLOR WITH ARCHITECT.
- M9** BARTILE ROOF TILE. VERIFY TYPE AND COLOR WITH ARCHITECT.
- M10** 5/8" TYPE 'X' GYPSUM BOARD. VERIFY COLOR WITH ARCHITECT.

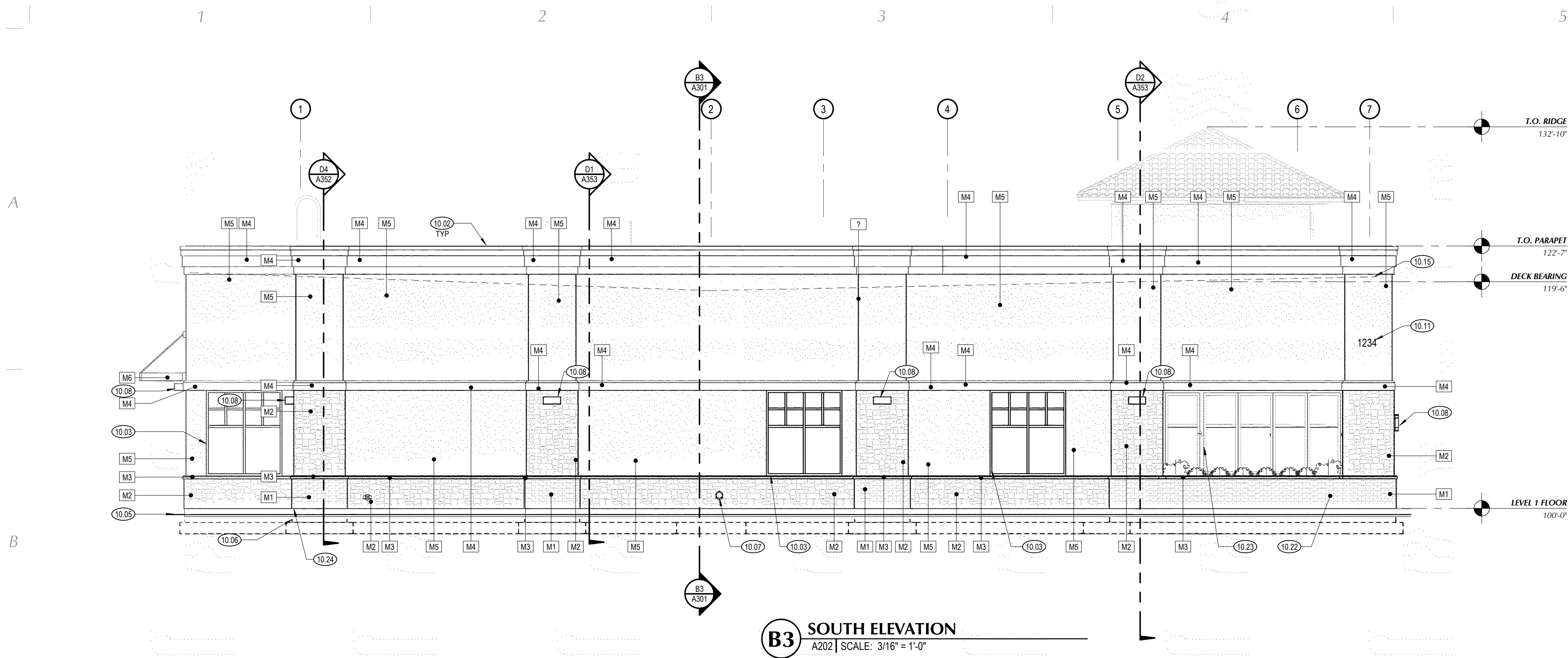
GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE SANDPLASTER FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE SCUPPER. SEE DETAIL BS/A701.
- G. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- H. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- I. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- J. THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL FOLLOW THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT STRICTLY. THE ARCHITECTURAL AND ENGINEERING PLANS AND SPECIFICATIONS MAY, IN SOME CASES, SPECIFY ABOVE THE MINIMUM REQUIREMENT IN THE GEOTECHNICAL REPORT, IN WHICH CASE, THE GENERAL CONTRACTOR SHALL MEET THE HIGHER STANDARD.
- K. CONTRACTOR TO COORDINATE WITH OWNER AND CIVIL TO INSTALL HEIGHT BAR CLEARANCE STRUCTURE. COORDINATE SIZE, LOCATION, AND STYLE WITH CIVIL AND OWNER.

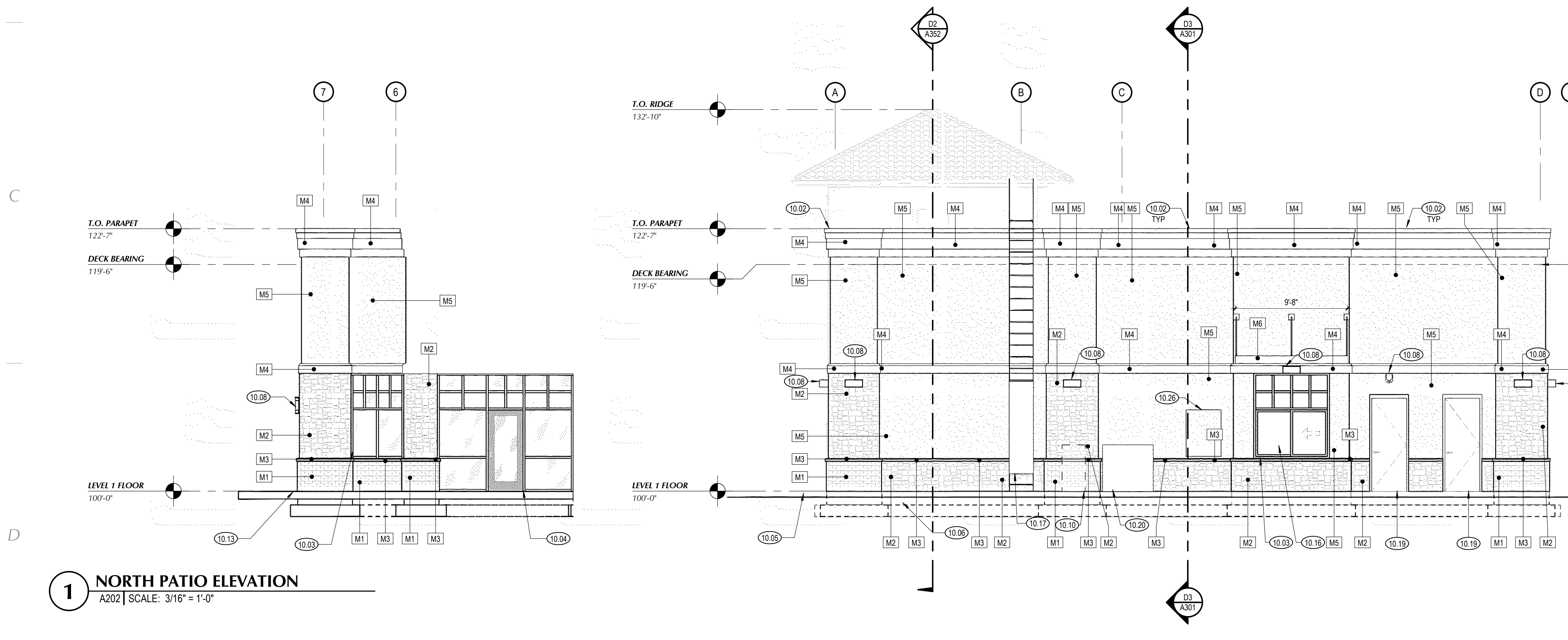
<p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p>	DATE: 02/28/2023
	PROJECT #: 21-057
	PROJ. MAN.: MWS CHECKED BY: JWS

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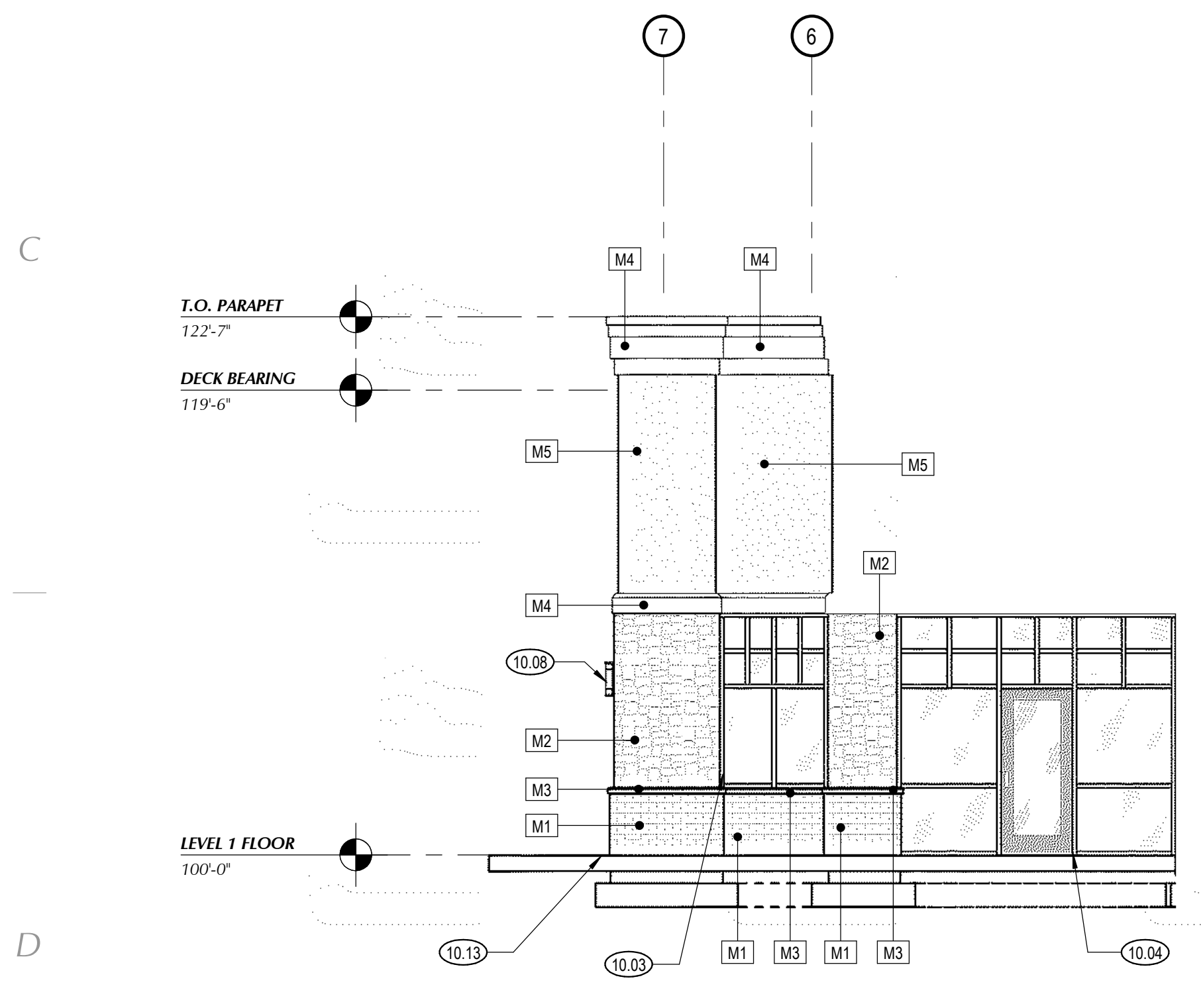
PROJECT: ZION'S GATEWAY PLAZA 3RD PHASE PART A 25 NORTH 2000 WEST HURRICANE, UTAH	
SHEET DESCRIPTION: EXTERIOR ELEVATIONS	SHEET: A202



B3 SOUTH ELEVATION
A202 | SCALE: 3/16" = 1'-0"



D3 WEST ELEVATION
A202 | SCALE: 3/16" = 1'-0"



1 NORTH PATIO ELEVATION
A202 | SCALE: 3/16" = 1'-0"

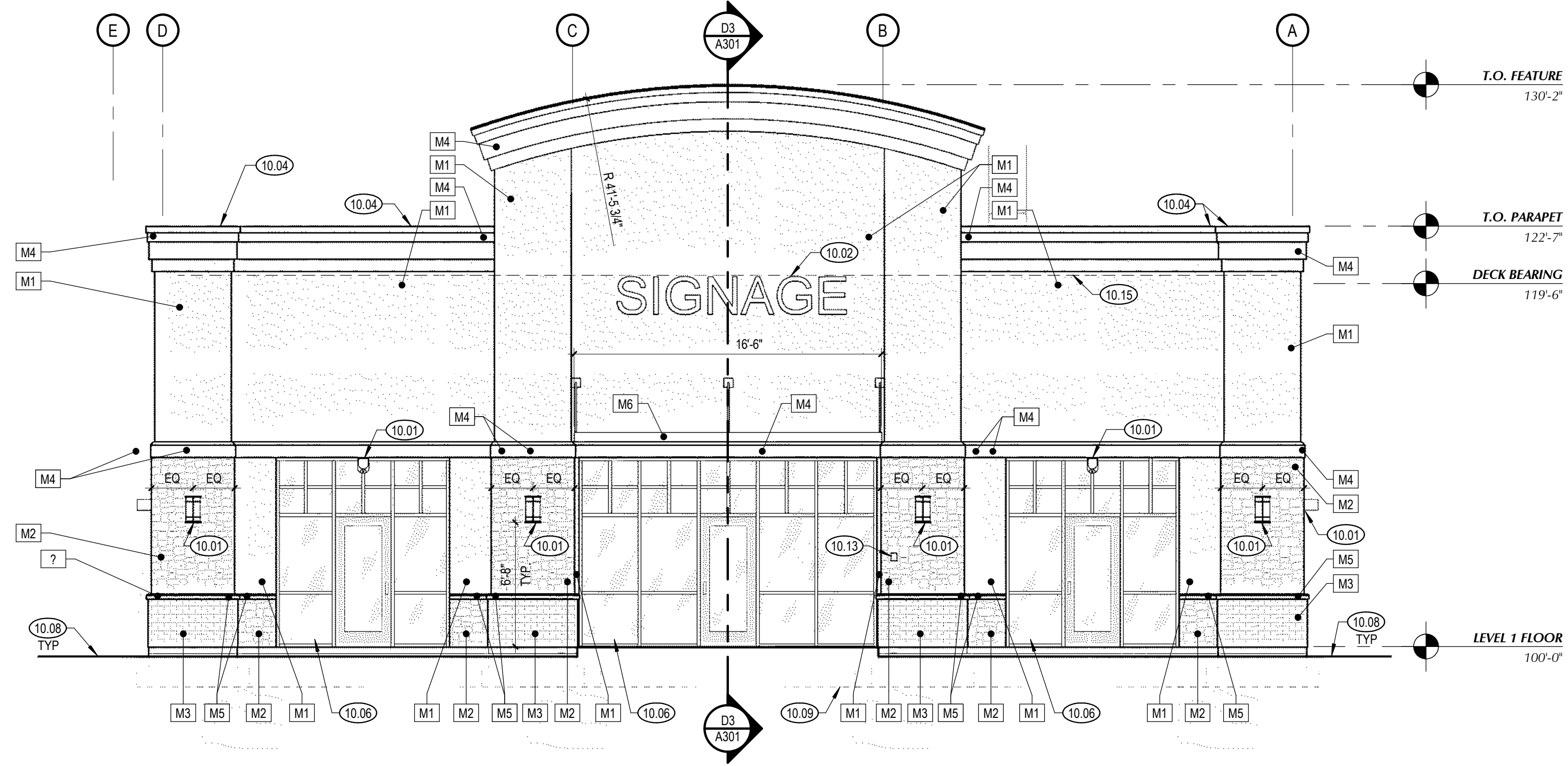
C:\Users\jacobf\Documents\Zions Gateway Plaza 3rd phase_jacobf\FBFB.vit 2/28/2023 10:29:53 AM

PERMIT SET

MARK	REVISION	DATE

SHEET NOTES

- 10.01 LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 10.02 SIGNAGE BY OWNER / TENANT. TO BE DONE UNDER A SEPARATE PERMIT. PROVIDE POWER AND CONDUIT TO THIS LOCATION FOR SIGNAGE. COORDINATE WITH OWNER / TENANT FOR ANY REQUIRED BLOCKING FOR SIGNAGE ATTACHMENT.
- 10.04 PREFINISHED STANDING SEAM METAL COPING. SEE DETAIL D2/A701. COLOR TO MATCH STOREFRONT.
- 10.06 PREFINISHED ALUMINUM STOREFRONT SYSTEM WITH THERMAL BREAKS. SEE GLAZING ELEVATIONS (A601) FOR FINISH.
- 10.07 STEEL ROOF ACCESS LADDER WITH LOCKING HINGED COVER. SEE D5/A701.
- 10.08 SLOPE GRADE AWAY FROM BUILDING. SEE CIVIL DRAWINGS.
- 10.09 DASHED LINES HERE INDICATE FOUNDATION. SEE FOOTING AND FOUNDATION PLAN AND STRUCTURAL DRAWINGS. BOTTOM OF FOOTING SHALL BE PLACED BELOW FROST DEPTH. VERIFY WITH LOCAL JURISDICTION.
- 10.13 PROVIDE FIRE DEPARTMENT APPROVED, RECESSED KNOX BOX. VERIFY LOCATION WITH LOCAL FIRE MARSHAL.
- 10.15 DASHED LINE HERE INDICATES TOP OF ROOF BEHIND PARAPET WALL.



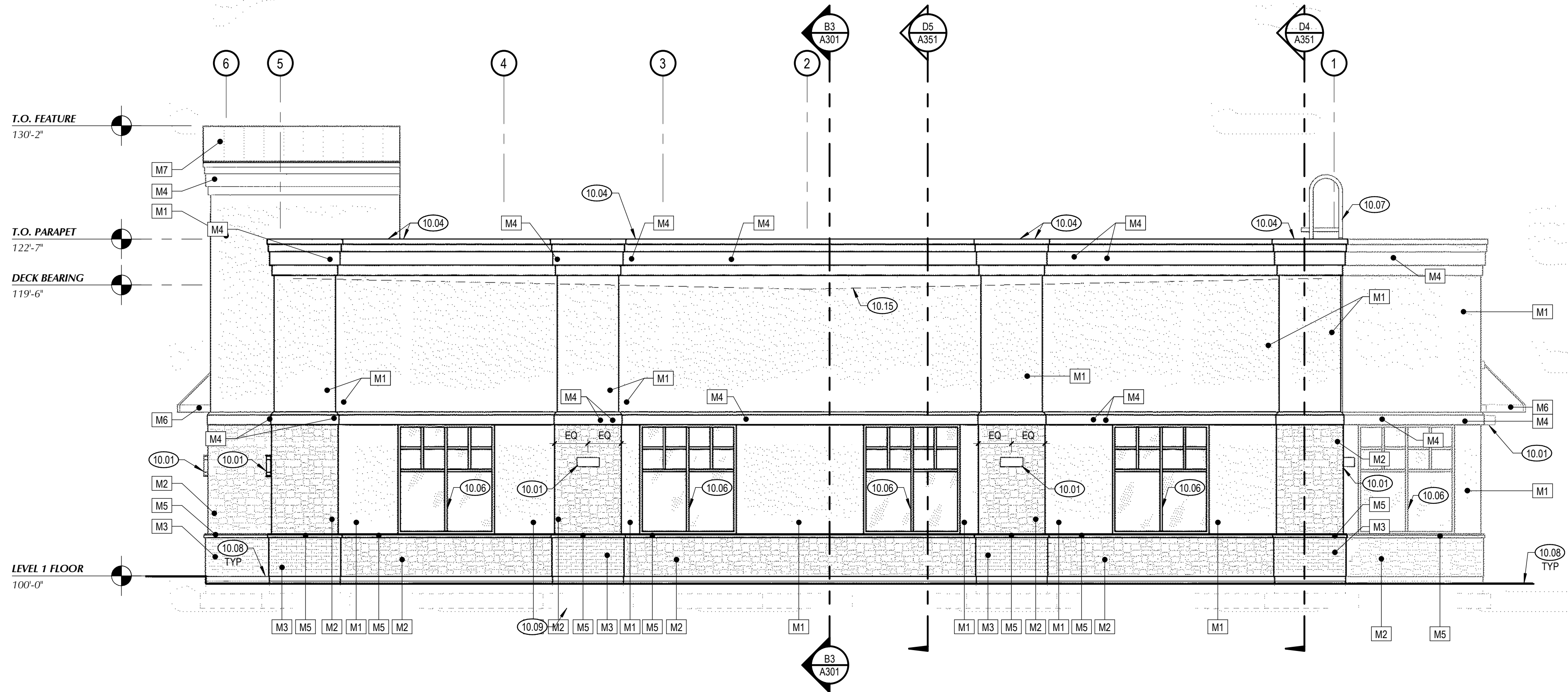
B5 EAST ELEVATION
A201 | SCALE: 3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- M1** EIFS SYSTEM. VERIFY COLOR WITH ARCHITECT.
- M2** CULTURED STONE VENEER. VERIFY COLOR WITH ARCHITECT.
- M3** BRICK VENEER. VERIFY COLOR WITH ARCHITECT.
- M4** EIFS TRIM. VERIFY COLOR WITH ARCHITECT.
- M5** PRECAST CONCRETE SILL / WATERTABLE. VERIFY COLOR WITH ARCHITECT.
- M6** PAINTED STEEL CANOPY. VERIFY COLOR WITH ARCHITECT.
- M7** STANDING SEAM METAL ROOF. VERIFY COLOR WITH ARCHITECT.

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE SANDPLASTER FINISH. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PREFINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PREFINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE SCUPPER. SEE DETAIL A5/A701.
- G. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- H. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- J. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
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- L. CONTRACTOR SHALL INSTALL A 'CLEARANCE' HEIGHT BAR FOR THE DRIVE-THRU. COORDINATE EXACT LOCATION WITH THE OWNER AND CIVIL ENGINEER.



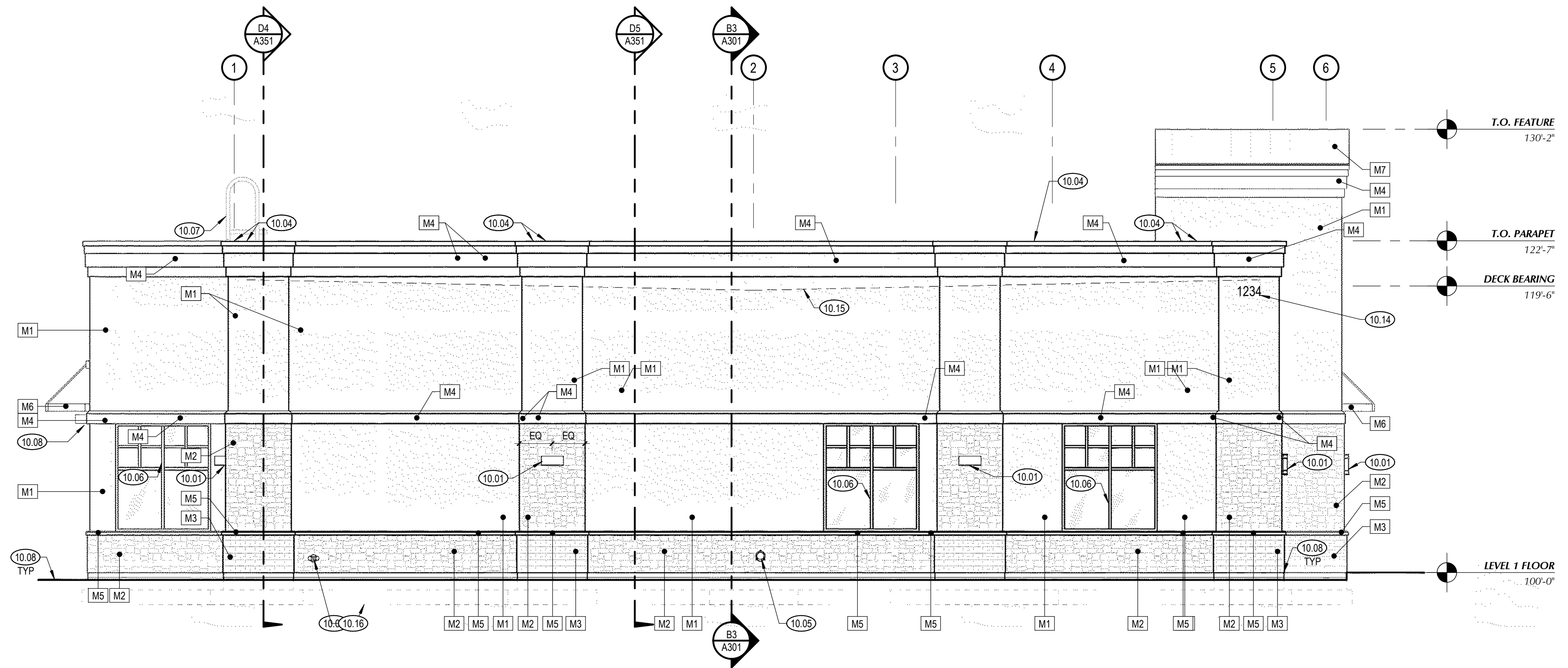
D5 NORTH ELEVATION
A201 | SCALE: 3/16" = 1'-0"

<p>333 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p>	<p>DATE: 02/28/2023 PROJECT #: 21-057 PROJ. MAN.: MWS CHECKED BY: JWS</p>
	<p>PROJECT: ZION'S GATEWAY PLAZA 3RD PHASE PART B 25 NORTH 200 WEST HURRICANE, UTAH</p>
<p>SHEET DESCRIPTION: EXTERIOR ELEVATIONS</p>	<p>SHEET: A201</p>

MARK	REVISION	DATE

SHEET NOTES

- 6.04 THIS WINDOW SHALL BE OPERABLE FOR DRIVE UP WINDOW. COORDINATE WITH OWNER AND / OR TENANT. SEE GLAZING ELEVATIONS ON A601.
- 10.01 LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 10.04 PREFINISHED STANDING SEAM METAL COPING. SEE DETAIL D2/A701. COLOR TO MATCH STOREFRONT.
- 10.05 CAST NICKEL BRONZE DOWNSPOUT NOZZLE WITH ANCHOR FLANGE FOR OVERFLOW ROOF DRAIN. SEE DETAILS A5 AND B5 ON A701 AND PLUMBING DRAWINGS.
- 10.06 PREFINISHED ALUMINUM STOREFRONT SYSTEM WITH THERMAL BREAKS. SEE GLAZING ELEVATIONS (A601) FOR FINISH.
- 10.07 STEEL ROOF ACCESS LADDER WITH LOCKING HINGED COVER. SEE D5/A701.
- 10.08 SLOPE GRADE AWAY FROM BUILDING. SEE CIVIL DRAWINGS.
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- 10.10 HOLLOW METAL MAN DOOR. SEE DOOR SCHEDULE ON A601.
- 10.11 GAS METER LOCATION. COORDINATE WITH UTILITY COMPANY. SEE PLUMBING DRAWINGS.
- 10.12 ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
- 10.14 BUILDING NUMBER LOCATION. VERIFY TYPE WITH ARCHITECT. VERIFY NUMBER AND LOCATION WITH LOCAL JURISDICTION.
- 10.15 DASHED LINE HERE INDICATES TOP OF ROOF BEHIND PARAPET WALL.
- 10.16 FIRE DEPARTMENT CONNECTION. SEE PLUMBING DRAWINGS.
- 10.17 ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS.



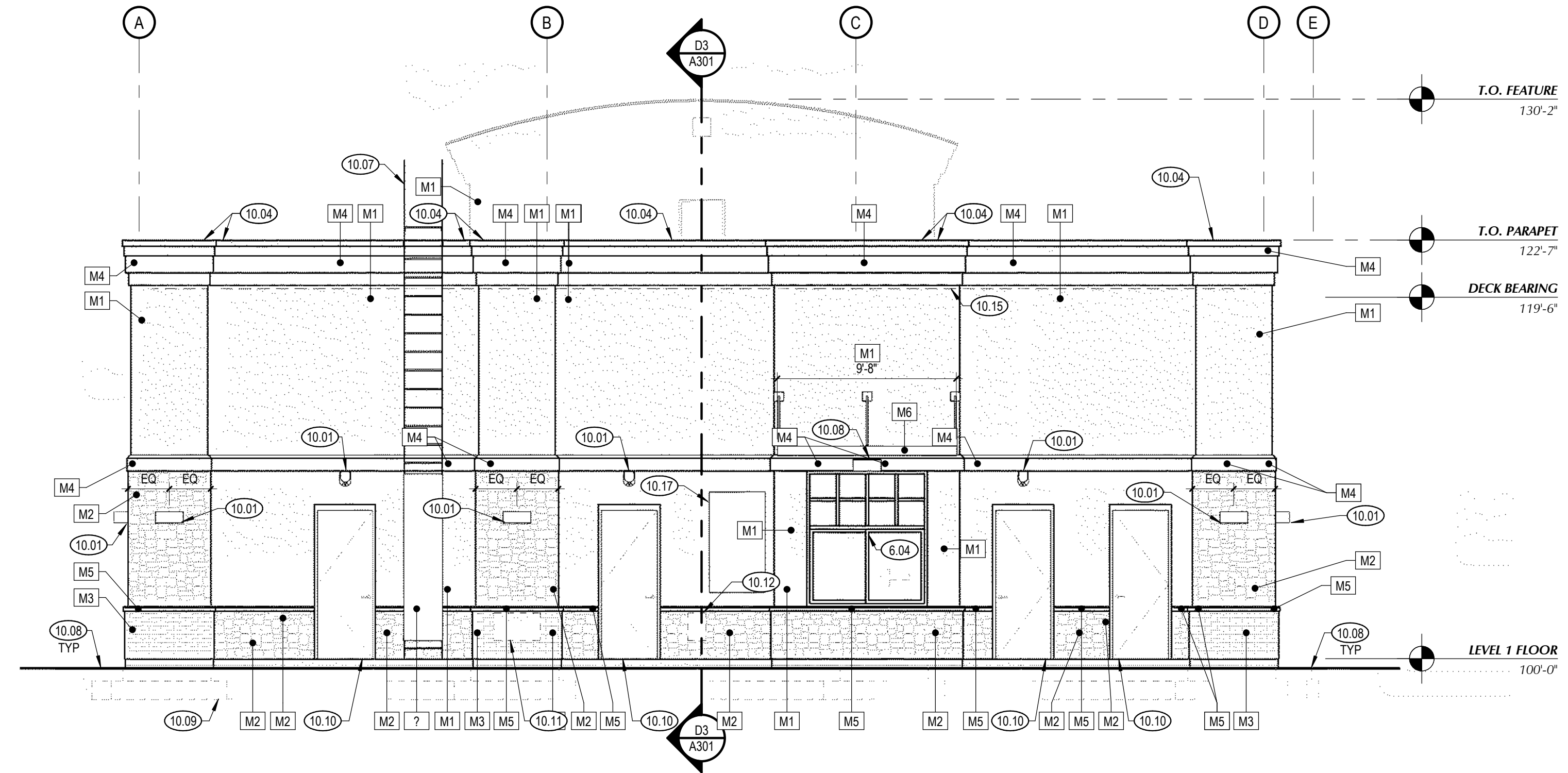
B5 SOUTH ELEVATION
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- F. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE SCUPPER. SEE DETAIL A5/A701.
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D5 WEST ELEVATION
A202 | SCALE: 3/16" = 1'-0"

<p>333 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cma@cmautah.com</p>	DATE: 02/28/2023
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PROJECT: ZION'S GATEWAY PLAZA 3RD PHASE PART B 25 NORTH 200 WEST HURRICANE, UTAH	
SHEET DESCRIPTION: EXTERIOR ELEVATIONS	SHEET: A202



TEXAS PRIVET



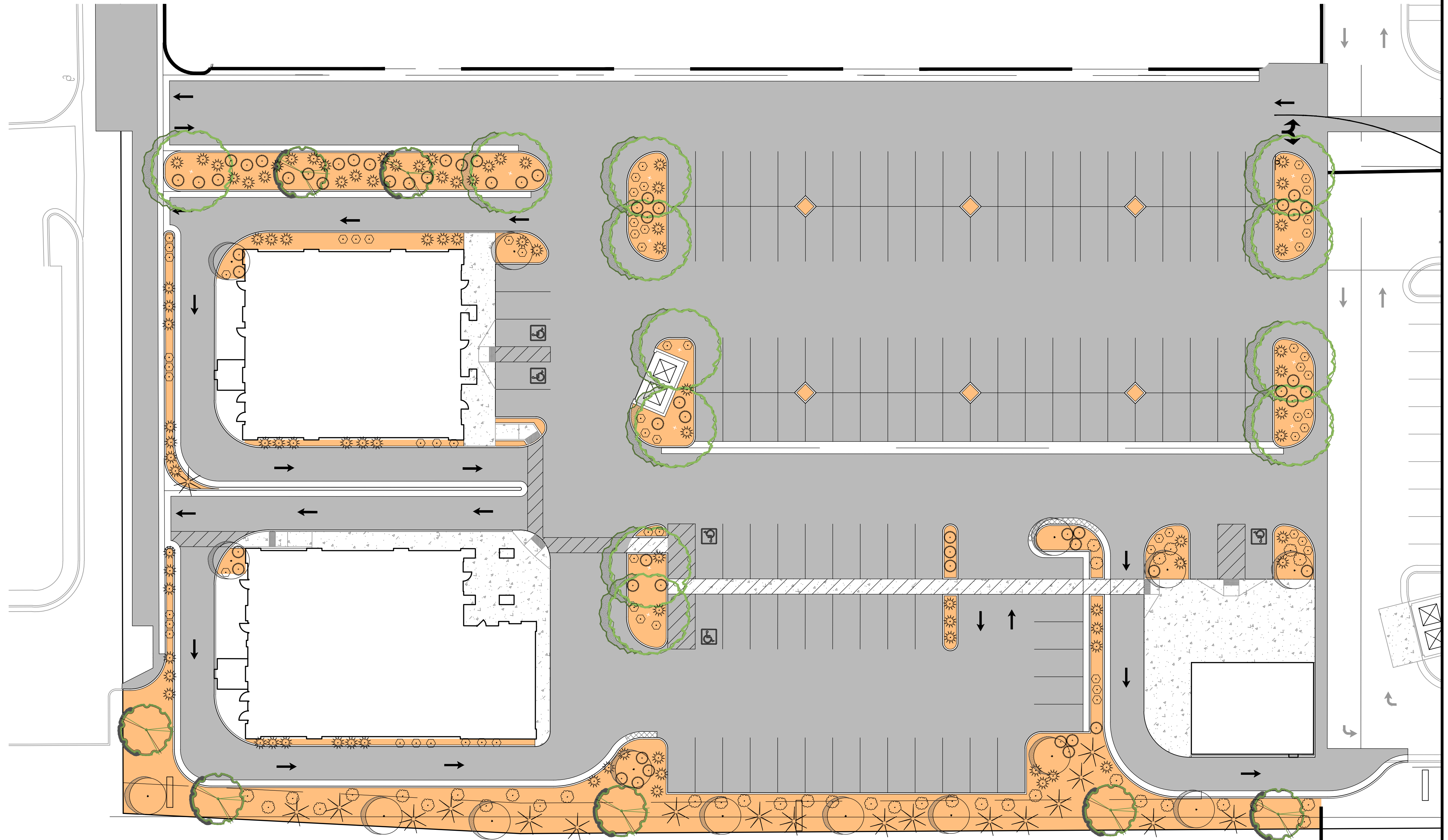
BALLARIENA HAWTHORN



MEDITERRANEAN FAN PALM



KARL FORESTER



PROPOSED PLANT LIST

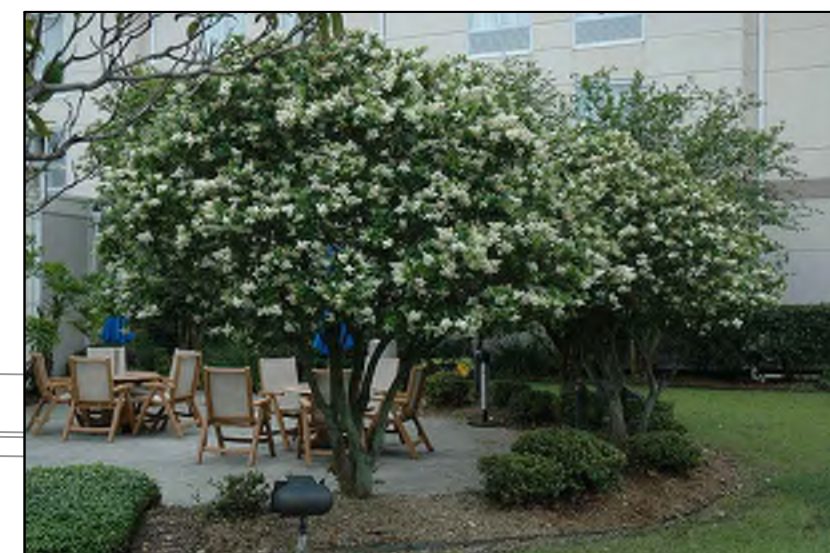
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES				
	<i>Fraxinus oxycarpa</i> "Raywood"	Raywood Ash	24" box	per plan
	<i>Ligustrum japonicum</i>	Glossy Privet	24" box	per plan
	<i>Trachycarpus fortunei</i>	Windmill Palm	24" box	per plan
SHRUBS				
	<i>Calamagrostis x acutifolia</i>	Karl Forester Calamagrostis	5 gal.	42" o.c.
	<i>Chamaerops humilis</i>	Mediterranean Fan Palm	5 gal.	42" o.c.
	<i>Rapheolepis indica</i> "Ballariena"	Ballariena Hawthorn	5 gal.	42" o.c.
	<i>Nerium oleander</i> "Petite Red"	Red Dwarf Oleander	5 gal.	42" o.c.
	<i>Myrtus communis</i> "Compacta"	Dwarf Compact Myrtle	5 gal.	36" o.c.
	<i>Ligustrum japonicum</i> "Texanum"	Texas Privet	5 gal.	per plan

1 1/4" Rebel Red Rock Mulch

Decorative rock mulch



RAYWOOD ASH



GLOSSY PRIVET



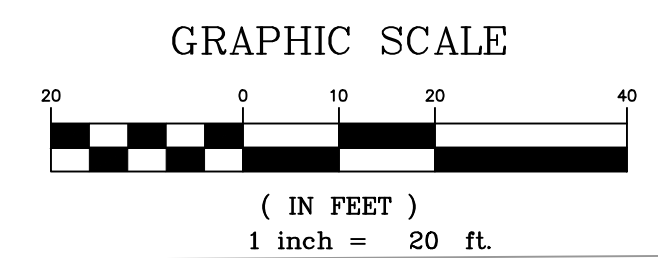
WINDMILL PALM



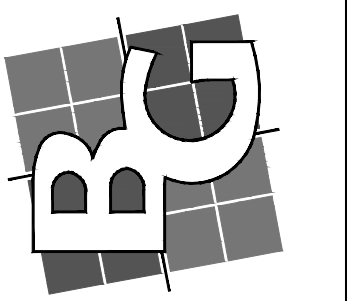
DWARF COMPACT MYRTLE



RED DWARF OLEANDER



BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: MAR 2024
DRAWN: CTL
APPROVED:
SCALE: 1"=20'
JOB NO.: 211305

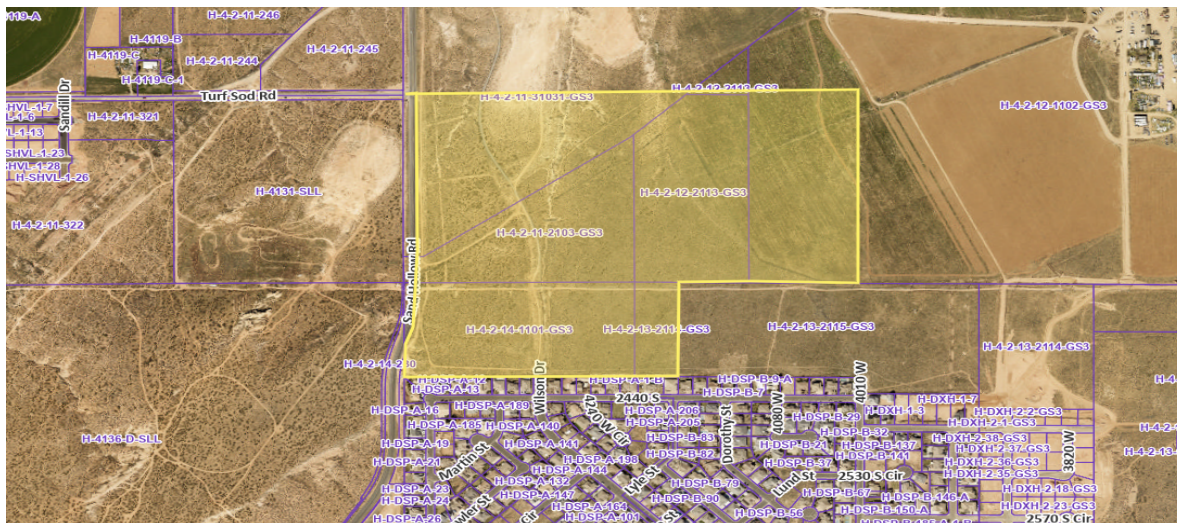
LANDSCAPE PLAN
ZIONS GATEWAY
LOCATED IN HURRICANE, UTAH

SHEET 1 OF 1 SHEETS

Agenda Date:	06/11/2026 - Planning Commission
Application Number:	PP25-15
Type of Application:	Preliminary Plat
Action Type:	Administrative
Applicant:	Western Mortgage and Realty Co
Agent:	Karl Rasmussen
Request:	Extension of a Preliminary Plat approval.
Location:	Sand Hollow Road and 2300 S
Zoning:	Single Family Residential (R1-10)
General Plan Map:	Planned Community
Recommendation:	Approve subject to staff and JUC comments.
Report Prepared by:	Fred Resch III

Discussion:

The applicant is requesting an extension of the preliminary plat approval of Sandwater Estates, a 255 lot single-family subdivision located north of Dixie Springs and south of Turf Sod Road. This preliminary plat was approved on June 12, 2025, and in accordance with HCC 10-39-7, the applicant requested an extension within one year from that date. Construction drawings for phase 1 were submitted in November 2025. The property is currently zoned Single Family Residential (R1-10).



Vicinity Map

Recommendation: The Planning Commission should review this application based on standards within the Hurricane City Code. Staff recommends this item be approved subject to staff and JUC comments.

From: karl@pv-eng.com
Sent: Thursday, May 28, 2026 7:17 AM
To: Fred Resch; Gary Cupp; Jeremy Pickering
Cc: rick.richardsonbros@gmail.com; aditya@pv-eng.com; kyle@pv-eng.com; kolby@pv-eng.com; 'Rick Richardson'
Subject: SANDWATER ESTATES REQUEST FOR EXTENSION ON PRELIMINARY PLAT

Fred,

We are almost there with Sandwater Estates, but just in case, can we get an extension on the agenda for Sandwater Estates for the next planning commission meeting in June?
We just need engineering to complete last review and Ash Creek to green light the JUC portion of the plans. Thanks.

Sincerely,

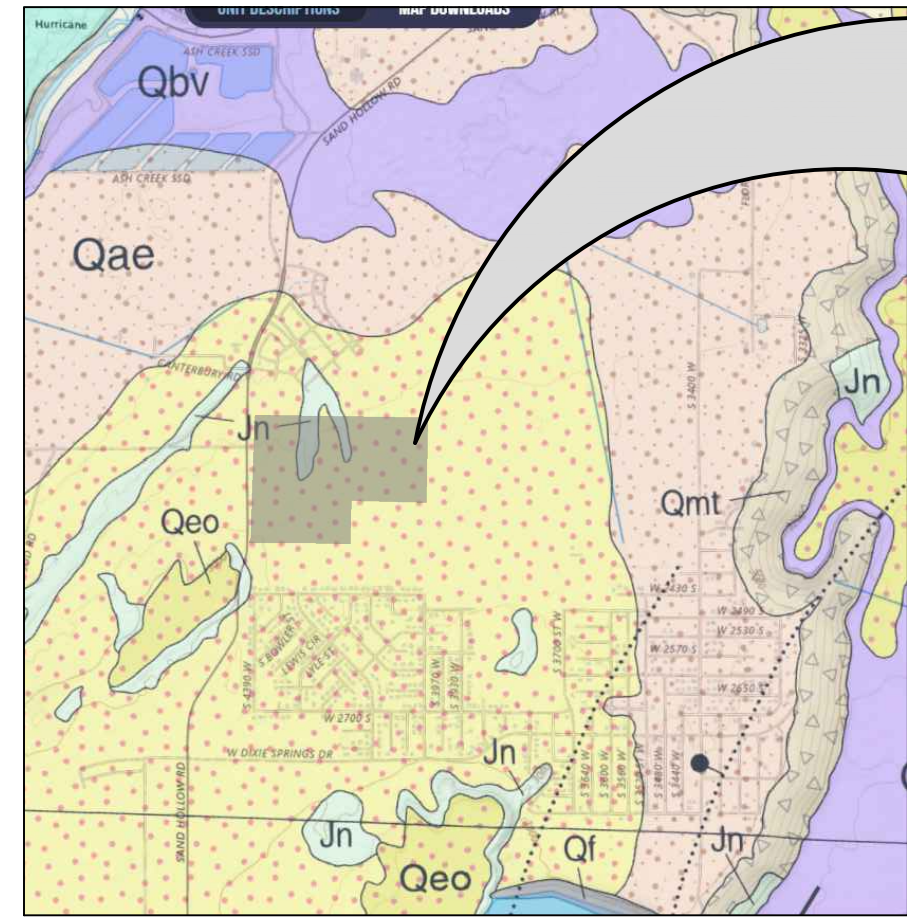
Karl Rasmussen, P.E. S.E. M.E.
Provalue Engineering, Inc.



PRELIMINARY PLAT TITLE SHEET FOR: SANDWATER ESTATES SUBDIVISION

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

GEOLOGICAL MAP:



PROJECT LOCATION

GEOLOGICAL NARRATIVE

QEO/QES: EOLIAN SAND DEPOSITS (HOLOCENE TO UPPER PLEISTOCENE):--

WELL SORTED, FINE- TO MEDIUM-GRAINED, WELL-ROUNDED, FROSTED QUARTZ SAND; SAND IS RECYCLED PRINCIPALLY FROM THE NAVAJO SANDSTONE AND KAYENTA FORMATION; LOCALLY FORMS SMALL DUNES PARTLY STABILIZED BY VEGETATION; LOCALLY INCLUDES THICK CALICHE SOILS (HARDPAN OR CALICHE); TYPICALLY LESS THAN 20 FEET (6 M) THICK.

JN: NAVAJO SANDSTONE (LOWER JURASSIC)

PALE-REDDISH-ORANGE, REDDISH-BROWN, OR WHITE, CLIFF-FORMING, CROSS-BEDDED, QUARTZ SANDSTONE; FORMS SPECTACULAR SHEER CLIFFS, DEEP CANYONS, AND IMPRESSIVE SPIRES, PROMONTORIES, AND MONOLITHS; CONSISTS OF WELL-SORTED, WELL-ROUNDED, FINE TO MEDIUM-GRAINED, FROSTED QUARTZ SAND; BEDDING CONSISTS OF HIGH-ANGLE, LARGE-SCALE, CROSS-BEDDING IN TABULAR-PLANAR, WEDGE-PLANAR, AND TROUGH-SHAPED SETS 10 TO 45 FEET OR MORE (3-14+ M) THICK; CONTAINS SPARSE PLANAR INTERDUNE DEPOSITS AND LOCALLY COMMON IRONSTONE BANDS AND CONCRETIONS; LOCALLY PROMINENTLY JOINTED (SEE, FOR EXAMPLE, ROGERS AND ENGELDER, 2004; ROGERS AND OTHERS, 2004); LOWER PART FORMS TRANSITION ZONE CHARACTERIZED BY PLANAR-BEDDED, FINE-GRAINED SANDSTONE AND SILTY SANDSTONE WITH THIN SILTSTONE INTERBEDS WITH WAVY BEDDING, FLASER-LIKE LAMINAE, AND SOFT-SEDIMENT DEFORMATION AND BIOTURBATION FEATURES, AND LESS COMMON BUT RESISTANT CROSS-STRAIFIED SANDSTONE; DIVIDED INTO THREE INFORMAL NON-STRATIGRAPHIC UNITS OF VARIABLE BUT ROUGHLY EQUAL THICKNESS BASED ON COLOR AND WEATHERING HABIT IN THE SOUTH PART OF ZION NATIONAL PARK (DOELLING AND OTHERS, 2002); (1) "WHITE NAVAJO," WHICH FORMS THE UPPER PART OF THE NAVAJO SANDSTONE AND IS PALE-GRAY, YELLOWISH-GRAY, ORANGISH-GRAY, AND WHITE BECAUSE OF ALTERATION, REMOILIZATION, AND BLEACHING OF LIMONITE AND HEMATITE (IRON-BEARING) CEMENT, PROBABLY DUE TO HYDROCARBON MIGRATION (SEE, FOR EXAMPLE, BETTLER AND OTHERS, 2003); (2) "PINK NAVAJO," WHICH FORMS THE MIDDLE PART OF THE NAVAJO SANDSTONE, IS GENERALLY LESS RESISTANT THAN THE "WHITE NAVAJO" ABOVE AND "BROWN NAVAJO" BELOW, AND IS PALE REDDISH-ORANGE DUE TO MORE UNIFORMLY DISPERSED HEMATITE CEMENT, AND (3) "BROWN NAVAJO," WHICH IS STREAKED MEDIUM TO DARK REDDISH-BROWN DUE TO IRON OXIDE REMOILIZATION CAUSED BY GROUND-WATER OR HYDROCARBON MIGRATION, AND WHICH FORMS THE LOWER MASSIVE CLIFF OF THE NAVAJO SANDSTONE AND IS CORRELATIVE IN PART WITH THE LOWER TRANSITIONAL BEDS OF THE NAVAJO; NIELSEN AND CHAN (IN PREPARATION) DESCRIBED DIAGENETIC FACIES AND FLUID-RELATED ALTERATION OF THE NAVAJO SANDSTONE IN SOUTHWEST UTAH; THE UPPER, UNCONFORMABLE CONTACT OF THE NAVAJO IS SHARP AND PLANAR AND CORRESPONDS TO A PROMINENT BREAK IN STRATIGRAPHY, WITH CLIFF-FORMING, CROSS-BEDDED SANDSTONE BELOW AND REDDISH-BROWN MUDSTONE OF THE SINAWAVA MEMBER OF THE TEMPLE CAP FORMATION ABOVE; DEPOSITED IN A VAST COASTAL AND INLAND DUNE FIELD WITH PREVAILING WINDS PRINCIPALLY FROM THE NORTH (BLAKEY, 1994; PETERSON, 1994); CORRELATIVE WITH THE NUGGET SANDSTONE OF NORTHERN UTAH AND WYOMING AND THE AZTEC SANDSTONE OF SOUTHERN NEVADA AND ADJACENT AREAS (SEE, FOR EXAMPLE, KOCUREK AND DOTT, 1983; RIGGS AND OTHERS, 1993); THE LOWER TRANSITION INTERVAL, WHICH REACHES ITS MAXIMUM THICKNESS OF ABOUT 300 FEET (100 M) IN THE RED CLIFFS AREA NORTHEAST OF ST. GEORGE, REPRESENTS DEPOSITION IN A SAND-DOMINATED SABKHA ENVIRONMENT (TUESINK, 1989; SANSON, 1992); MUCH OF THE SAND MAY ORIGINALLY HAVE BEEN TRANSPORTED TO AREAS NORTH AND NORTHWEST OF UTAH VIA A TRANSCONTINENTAL RIVER SYSTEM THAT TAPPED GRENVILLE-AGE (ABOUT 1.0 TO 1.3 BILLION-YEAR-OLD) CRUST INVOLVED IN APPALACHIAN OROGENESIS OF EASTERN NORTH AMERICA (DICKINSON AND GEHRELS, 2003; RAHL AND OTHERS, 2003; REINERS AND OTHERS, 2005); FORMS THE PRINCIPAL AQUIFER THROUGHOUT MUCH OF THE QUADRANGLE (CLYDE, 1987; HURLOW, 1998; HELWEL AND OTHERS, 2000; HELWEL AND OTHERS, 2002; ROWLEY AND DIXON, 2004; ROWLEY AND OTHERS, 2004); ABOUT 1800 TO 2300 FEET (550-700 M) THICK.

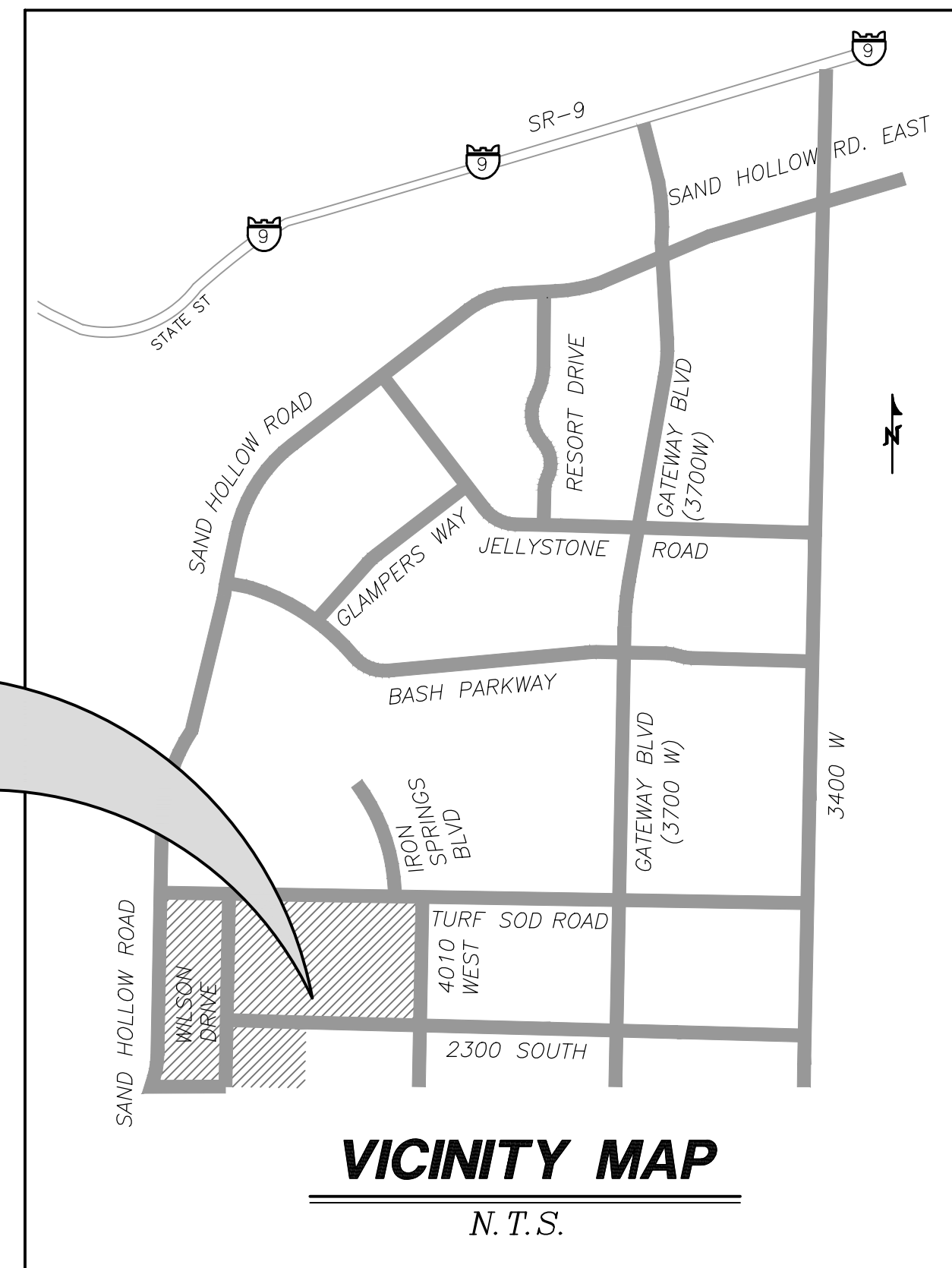
DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA. (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

GEOLOGICAL HAZARDS

HAZARD	DESCRIPTION
FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2 - HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING	ZONE X - AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	CA - CALICHE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSEFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING AND EROSION
SHALLOW BEDROCK	BRB-BURIED; AREAS WHERE DEPTH TO BEDROCK IS GENERALLY <=10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSH-HIGH; MODERN SAND-DUNE OR SHEET-SAND DEPOSITS
SHALLOW GROUND WATER	NONE

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.



VICINITY MAP
N.T.S.

OWNERS:

WESTERN MORTGAGE & REALTY COMPANY

CONTACT REPRESENTATIVE:

RICK RICHARDSON
(435)-229-3641
RICK.RICHARDSONBROS@GMAIL.COM

SITE DATA

PHASE #	# OF LOTS
PHASE 1	32 LOTS
PHASE 2	17 LOTS
PHASE 3	24 LOTS
PHASE 4	27 LOTS
PHASE 5	25 LOTS
PHASE 6	42 LOTS
PHASE 7	31 LOTS
PHASE 8	29 LOTS
PHASE 9	28 LOTS
	255 LOTS

AVERAGE LOT SIZE= 11,696 S.F.

SHEET INDEX

SHEET	DESCRIPTION
1 OF 6	PRELIMINARY PLAT TITLE SHEET
2 OF 6	EXISTING CONDITIONS
3 OF 6	OVERALL AREA
4 OF 6	PHASES 1, 3, 7 & 8
5 OF 6	PHASE 2, 4, 5, & 6
6 OF 6	CURVE TABLE

EASEMENT NOTE:

THE SUBDIVISION WILL PROVIDE NON-DISCRIMINATORY ACCESS FOR THE PLACEMENT OF COMMUNICATIONS AND UTILITY INFRASTRUCTURE. EASEMENTS WILL BE IDENTIFIED ON THE FINAL PLAT AND COORDINATED WITH RELEVANT SERVICE PROVIDERS TO ENSURE EQUITABLE ACCESS FOR ALL UTILITY AND COMMUNICATION PROVIDERS.

ALL LOTS TO HAVE 10' PUBLIC UTILITY EASEMENTS ALONG THE RIGHT-OF-WAY LINE OF ALL INTERNAL ROADWAYS.

NOTES:

STORM WATER WILL GO IN STORM DRAIN SYSTEMS IN WILSON DRIVE, TURF SOD ROAD & OXFORD ROAD TO THE NEW EAST MARLA DETENTION BASIN. CONSTRUCTION DRAWINGS WILL SUBMIT A MASTER STORM DRAIN DRAWING FOR THIS AREA.

THERE ARE NO IRRIGATION FACILITIES.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

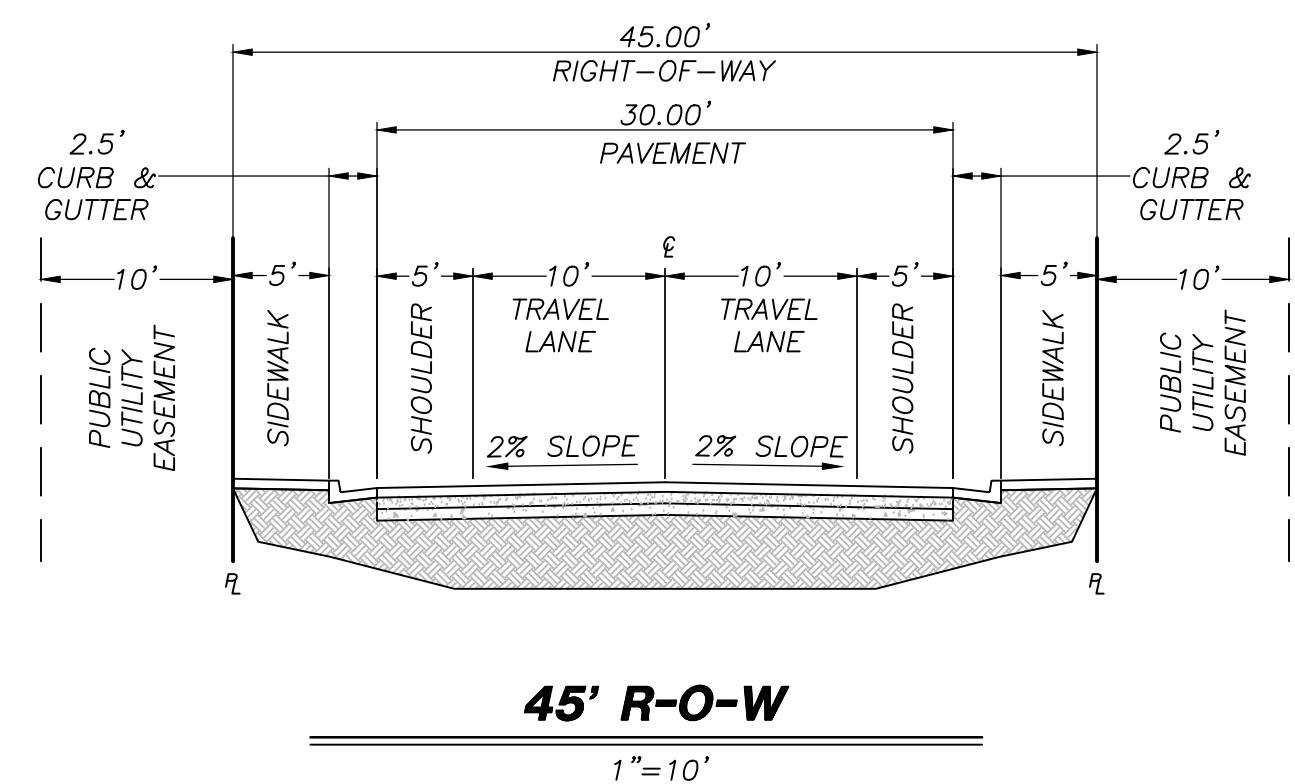
THERE ARE NO SPRINGS, SEEPS, OR WELLS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

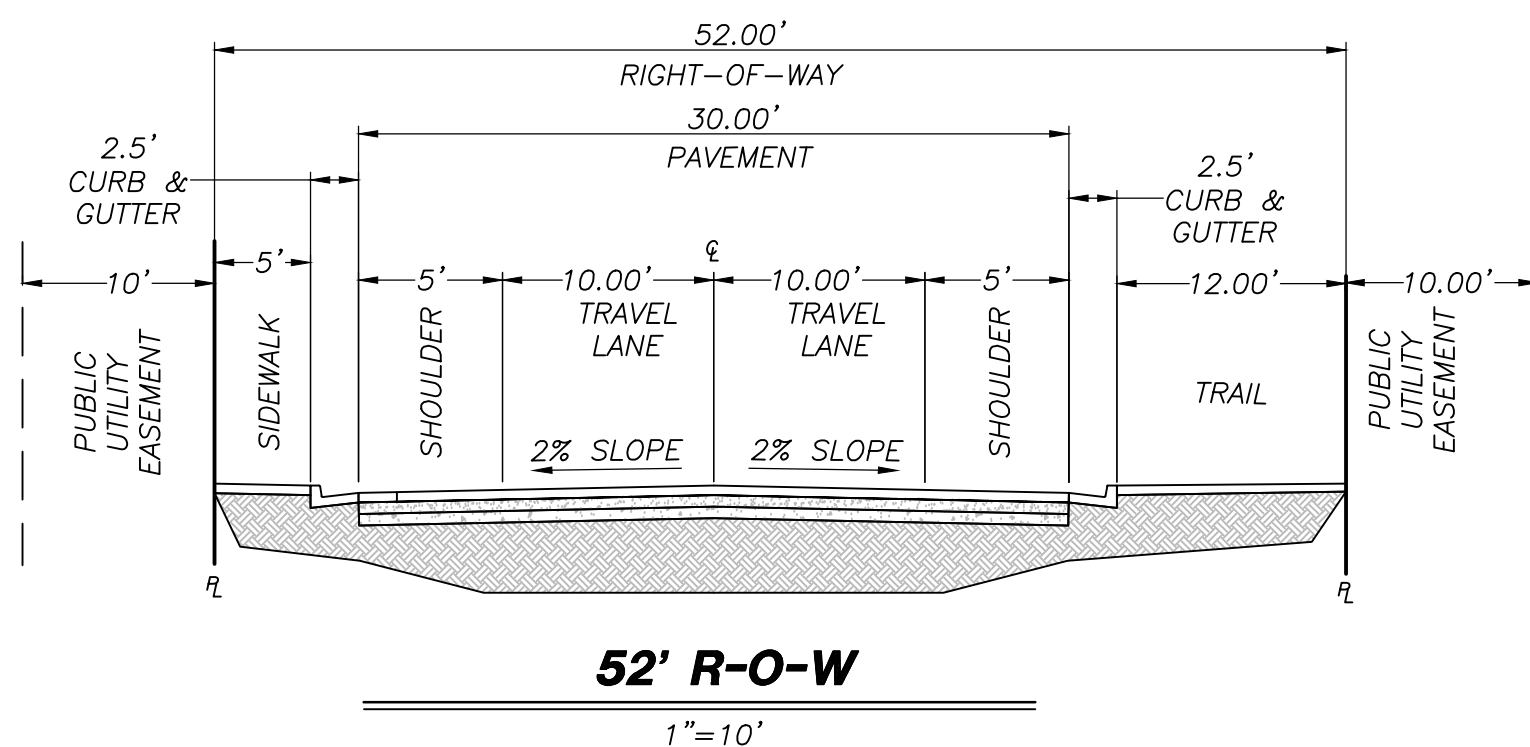
LEGAL DESCRIPTION

COMMENCING AT THE WEST QUARTER (1/4) CORNER OF SECTION 12, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE RUNNING ALONG THE WEST SECTION LINE OF SAID SECTION 12, S01°03'06"W 1321.62 FEET TO THE POINT OF BEGINNING; THENCE S89°04'10"E 1348.32 FEET; THENCE S00°55'50"W 77.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.42 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S00°55'50"W, THROUGH A CENTRAL ANGLE OF 90°00'00" (LONG CHORD BEARS: S45°55'50"W 28.28 FEET); THENCE S00°55'50"W 1216.66 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 31.22 FEET, THROUGH A CENTRAL ANGLE OF 89°26'49" (LONG CHORD BEARS: S43°47'35"E 28.15 FEET); THENCE S00°38'36"W 77.01 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.61 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S01°29'01"W, THROUGH A CENTRAL ANGLE OF 90°33'11" (LONG CHORD BEARS: S46°12'25"W 28.42 FEET); THENCE N88°13'45"W 77.01 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.22 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF N89°04'10"W, THROUGH A CENTRAL ANGLE OF 89°26'49" (LONG CHORD BEARS: N43°47'35"W 28.15 FEET); THENCE N88°30'59"W 978.48 FEET; THENCE S01°29'55"W 626.43 FEET; THENCE N88°30'16"W 251.78 FEET; THENCE N88°02'51"W 1327.61 FEET; THENCE N01°04'27"E 2043.76 FEET; THENCE S88°56'55"E 103.59 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.48 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S88°56'35"E, THROUGH A CENTRAL ANGLE OF 90°07'36" (LONG CHORD BEARS: S44°00'22"E 28.32 FEET); THENCE S89°04'10"E 1203.79 FEET; TO THE POINT OF BEGINNING.

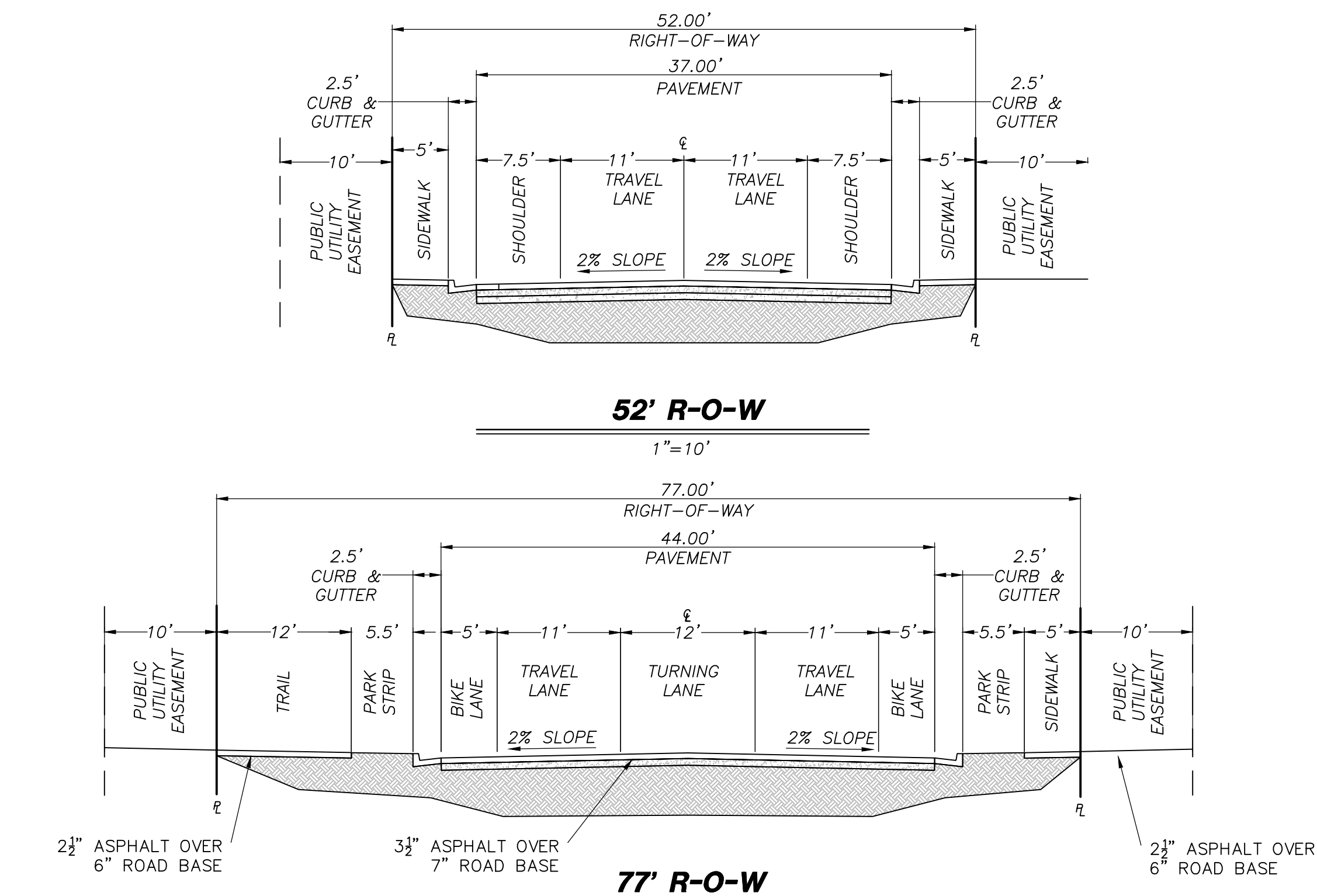
AREA CONTAINS 4720291 SQUARE FEET OR 108.363 ACRES.



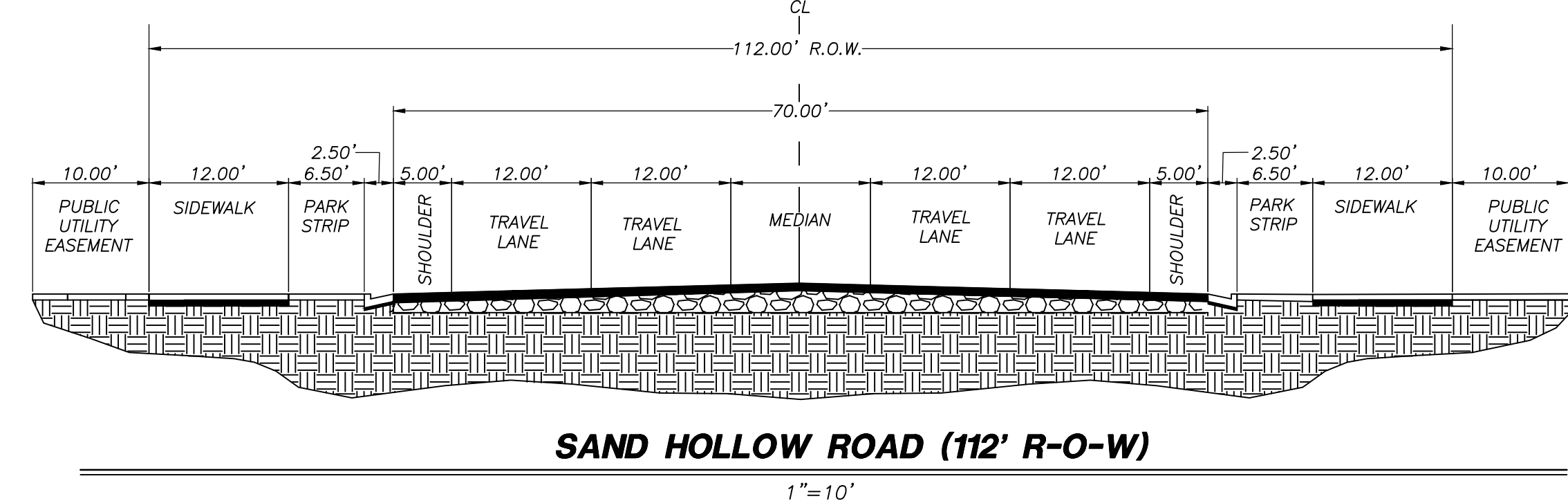
45' R-O-W
1"=10'



52' R-O-W
1"=10'



77' R-O-W
1"=10'



SAND HOLLOW ROAD (112' R-O-W)
1"=10'

NO.	REVISIONS DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

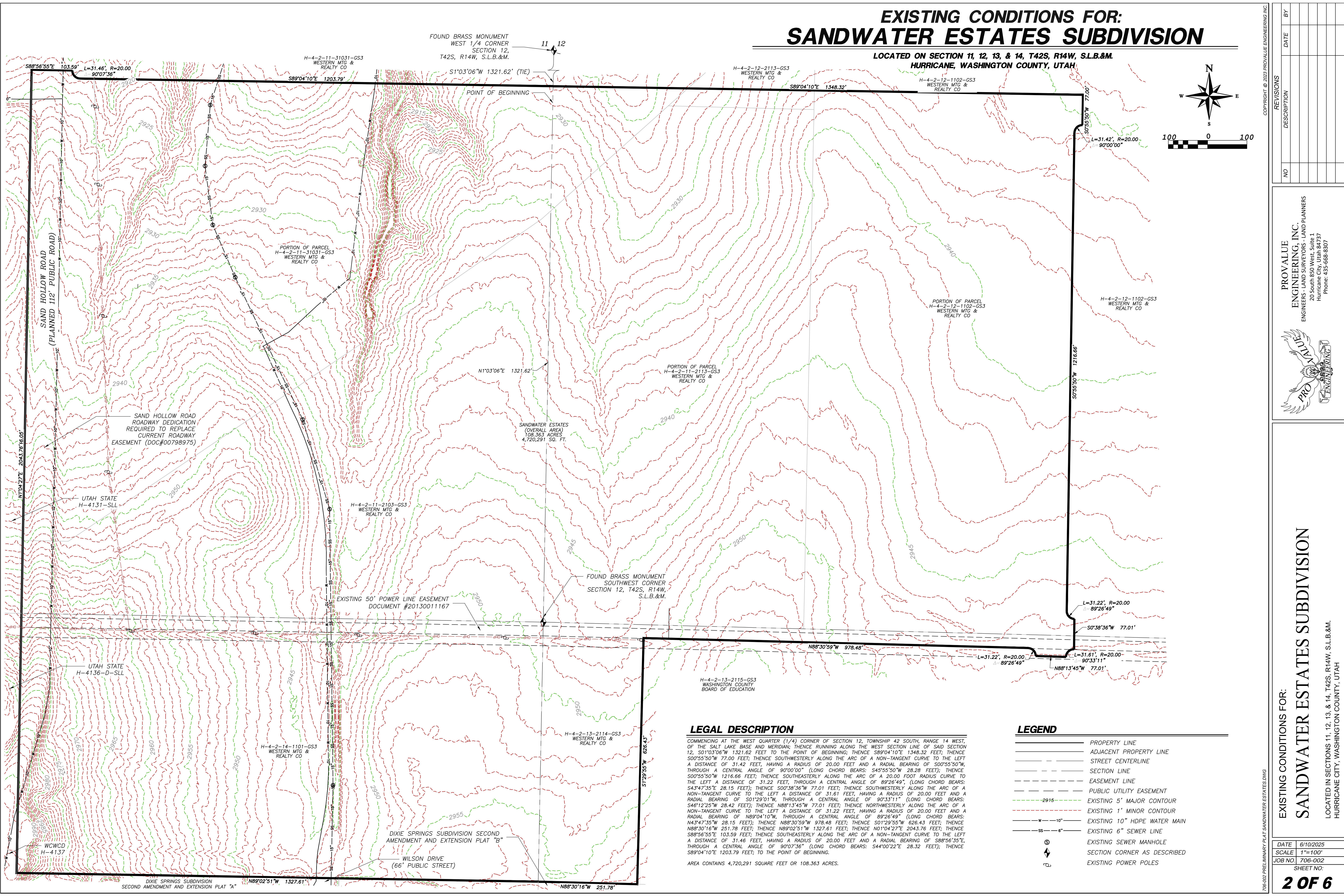
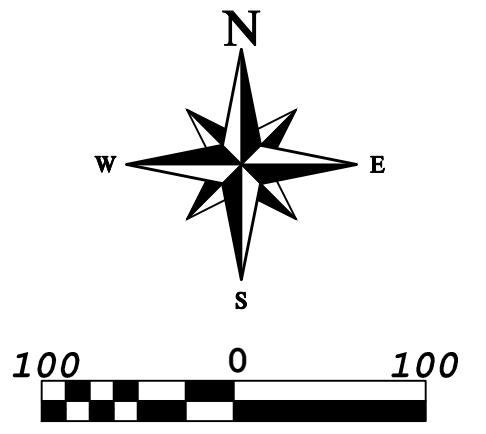
PRELIMINARY PLAT TITLE SHEET FOR:
SANDWATER ESTATES SUBDIVISION
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	6/10/2025
SCALE	N/A
JOB NO.	706-002
SHEET NO.	1 OF 6

EXISTING CONDITIONS FOR: SANDWATER ESTATES SUBDIVISION

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

FOUND BRASS MONUMENT
WEST 1/4 CORNER
SECTION 12,
T42S, R14W, S.L.B.&M.



LEGAL DESCRIPTION

COMMENCING AT THE WEST QUARTER (1/4) CORNER OF SECTION 12, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE RUNNING ALONG THE WEST SECTION LINE OF SAID SECTION 12, S01°03'06"W 1321.62 FEET TO THE POINT OF BEGINNING; THENCE S89°04'10"E 1348.32 FEET; THENCE S00°55'50"W 77.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.42 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S00°55'50"W THROUGH A CENTRAL ANGLE OF 90°00'00" (LONG CHORD BEARS: S45°55'50"W 28.28 FEET); THENCE S00°55'50"W 1216.66 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 31.22 FEET, THROUGH A CENTRAL ANGLE OF 89°26'49" (LONG CHORD BEARS: S43°47'35"E 28.15 FEET); THENCE S00°38'35"W 77.01 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.61 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S01°29'01"W THROUGH A CENTRAL ANGLE OF 90°33'11" (LONG CHORD BEARS: S46°12'25"W 28.42 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.22 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF N89°04'10"W THROUGH A CENTRAL ANGLE OF 89°26'49" (LONG CHORD BEARS: N43°47'35"W 28.15 FEET); THENCE N88°30'59"W 978.48 FEET; THENCE S01°29'55"W 626.43 FEET; THENCE N88°30'16"W 251.78 FEET; THENCE N89°02'51"W 1327.61 FEET; THENCE N01°04'27"E 2043.76 FEET; THENCE S88°56'55"E 103.59 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT A DISTANCE OF 31.46 FEET, HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF S88°56'35"E THROUGH A CENTRAL ANGLE OF 90°07'36" (LONG CHORD BEARS: S44°00'22"E 28.32 FEET); THENCE S89°04'10"E 1203.79 FEET; TO THE POINT OF BEGINNING.

AREA CONTAINS 4,720,291 SQUARE FEET OR 108.363 ACRES.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTERLINE
- SECTION LINE
- EASEMENT LINE
- PUBLIC UTILITY EASEMENT
- EXISTING 5' MAJOR CONTOUR
- EXISTING 1' MINOR CONTOUR
- EXISTING 10" HDPE WATER MAIN
- EXISTING 6" SEWER LINE
- EXISTING SEWER MANHOLE
- SECTION CORNER AS DESCRIBED
- EXISTING POWER POLES

NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

EXISTING CONDITIONS FOR:
SANDWATER ESTATES SUBDIVISION
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	6/10/2025
SCALE	1"=100'
JOB NO.	706-002
SHEET NO.	2 OF 6

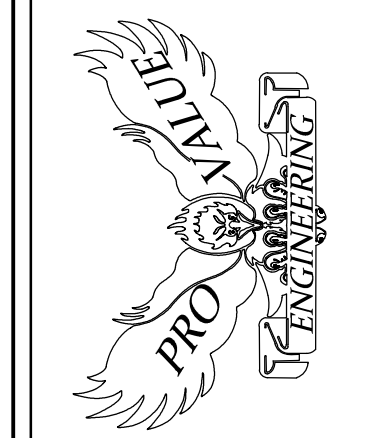
COPYRIGHT © 2023 PROVALUE ENGINEERING, INC. 706-002 PRELIMINARY PLAT SANDWATER ESTATES.DWG

PRELIMINARY PLAT FOR: SANDWATER ESTATES SUBDIVISION

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

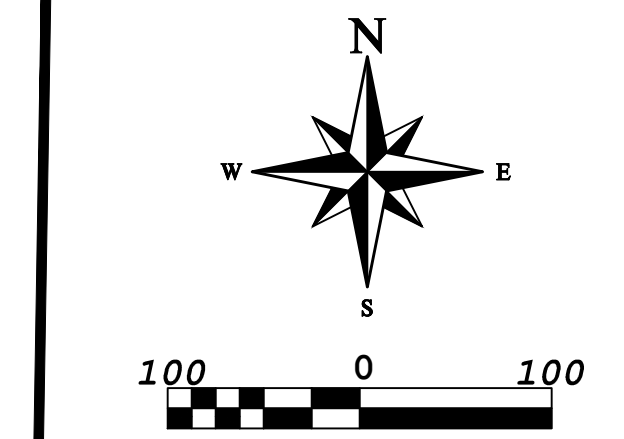
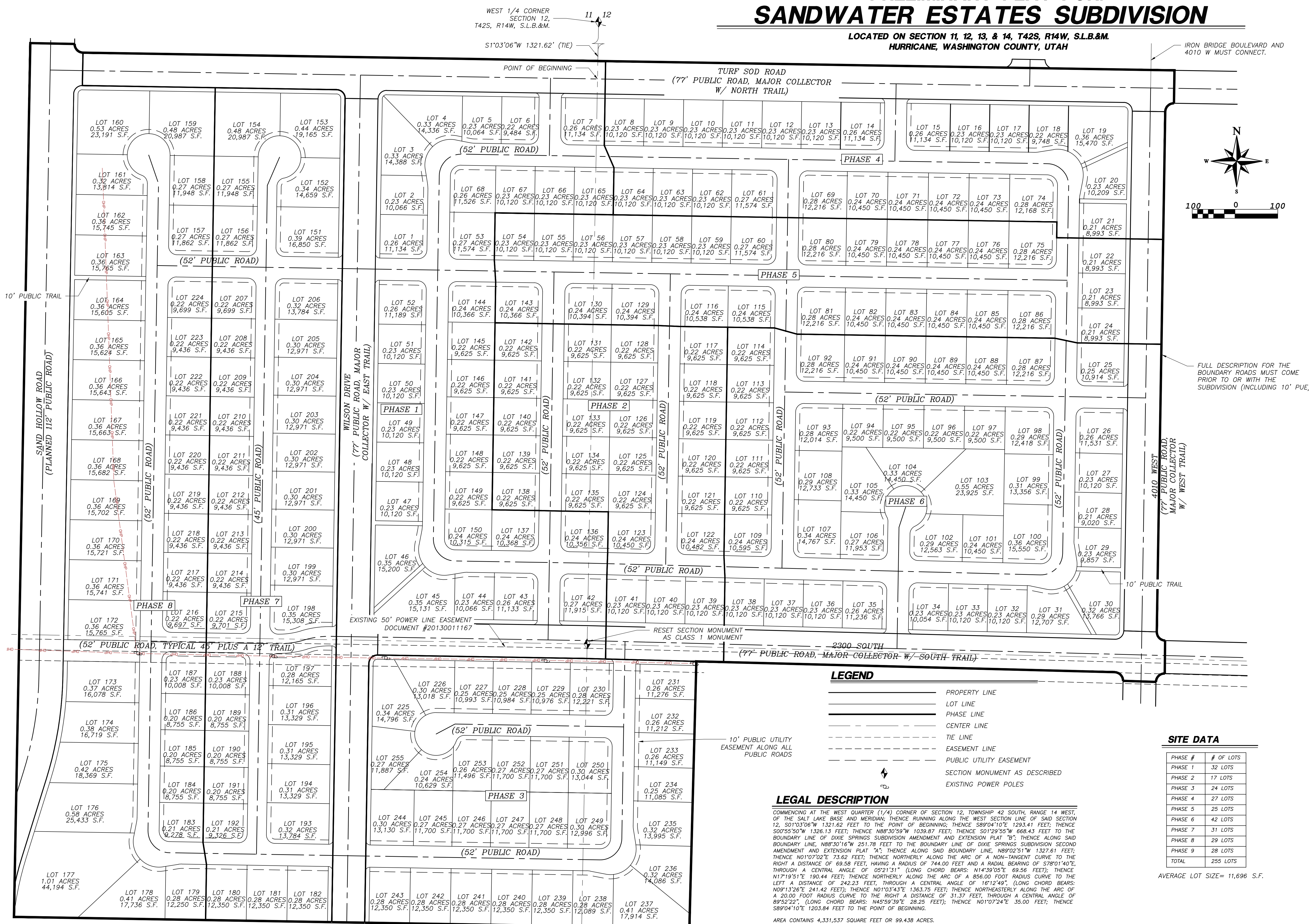
NO.	DATE	REVISIONS

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307



PRELIMINARY PLAT FOR:
SANDWATER ESTATES SUBDIVISION
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE 6/10/2025
SCALE 1"=100'
JOB NO. 706-002
SHEET NO. 3 OF 6



FULL DESCRIPTION FOR THE BOUNDARY ROADS MUST COME PRIOR TO OR WITH THE SUBDIVISION (INCLUDING 10' PUE)

LEGEND

- PROPERTY LINE
- - - LOT LINE
- - - PHASE LINE
- - - CENTER LINE
- - - TIE LINE
- - - EASEMENT LINE
- - - PUBLIC UTILITY EASEMENT
- ⬇ SECTION MONUMENT AS DESCRIBED
- ⬇ EXISTING POWER POLES

LEGAL DESCRIPTION
COMMENCING AT THE WEST QUARTER (1/4) CORNER OF SECTION 12, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE RUNNING ALONG THE WEST SECTION LINE OF SAID SECTION 12, S01°03'06"W 1321.62 FEET TO THE POINT OF BEGINNING; THENCE S89°04'10"E 1293.41 FEET; THENCE S00°55'50"W 1326.13 FEET; THENCE N88°30'59"W 1039.87 FEET; THENCE S01°29'55"W 668.43 FEET TO THE BOUNDARY LINE OF DIXIE SPRINGS SUBDIVISION AMENDMENT AND EXTENSION PLAT "B"; THENCE ALONG SAID BOUNDARY LINE, N88°30'16"W 251.78 FEET TO THE BOUNDARY LINE OF DIXIE SPRINGS SUBDIVISION SECOND AMENDMENT AND EXTENSION PLAT "S"; THENCE ALONG SAID BOUNDARY LINE, N89°02'51"W 1327.61 FEET; THENCE N09°13'26"E 241.42 FEET; THENCE N01°03'43"E 1363.75 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 31.37 FEET, THROUGH A CENTRAL ANGLE OF 89°52'22", (LONG CHORD BEARS: N45°59'39"E 28.25 FEET); THENCE N01°07'24"E 35.00 FEET; THENCE S89°04'10"E 1203.84 FEET TO THE POINT OF BEGINNING.
AREA CONTAINS 4,331,537 SQUARE FEET OR 99.438 ACRES.

SITE DATA

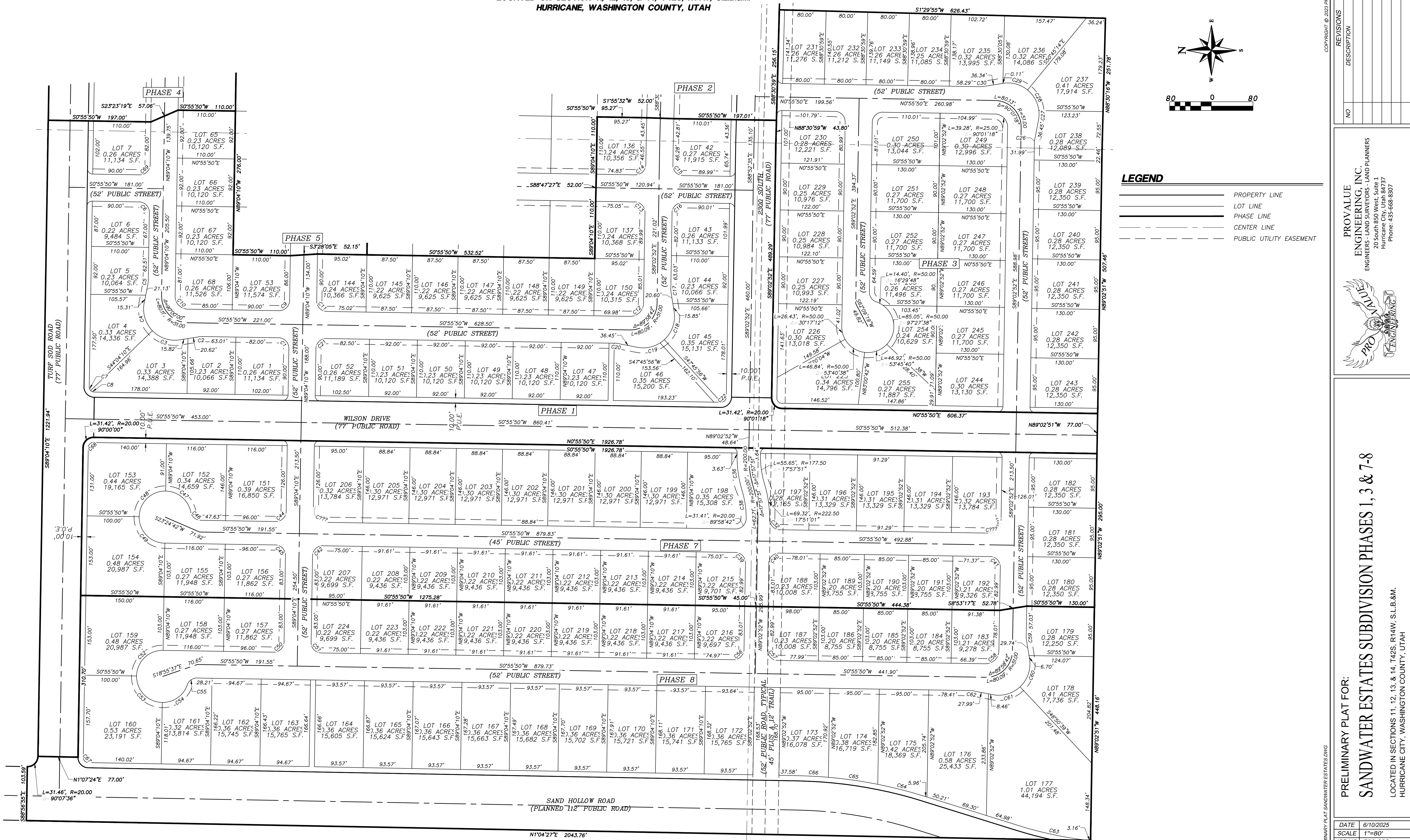
PHASE #	# OF LOTS
PHASE 1	32 LOTS
PHASE 2	17 LOTS
PHASE 3	24 LOTS
PHASE 4	27 LOTS
PHASE 5	25 LOTS
PHASE 6	42 LOTS
PHASE 7	31 LOTS
PHASE 8	29 LOTS
PHASE 9	28 LOTS
TOTAL	255 LOTS

AVERAGE LOT SIZE= 11,696 S.F.

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PRELIMINARY PLAT FOR: SANDWATER ESTATES SUBDIVISION PHASES 1, 3 & 7-8

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



NO.	REVISIONS	DATE	BY

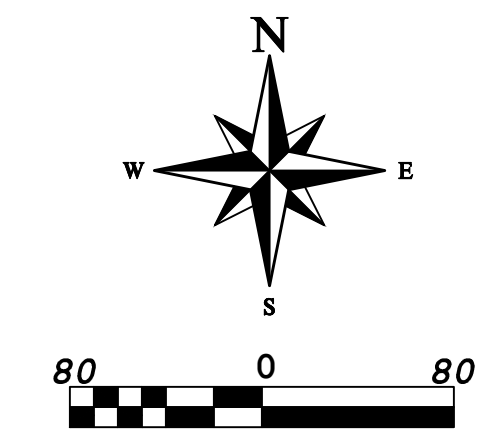
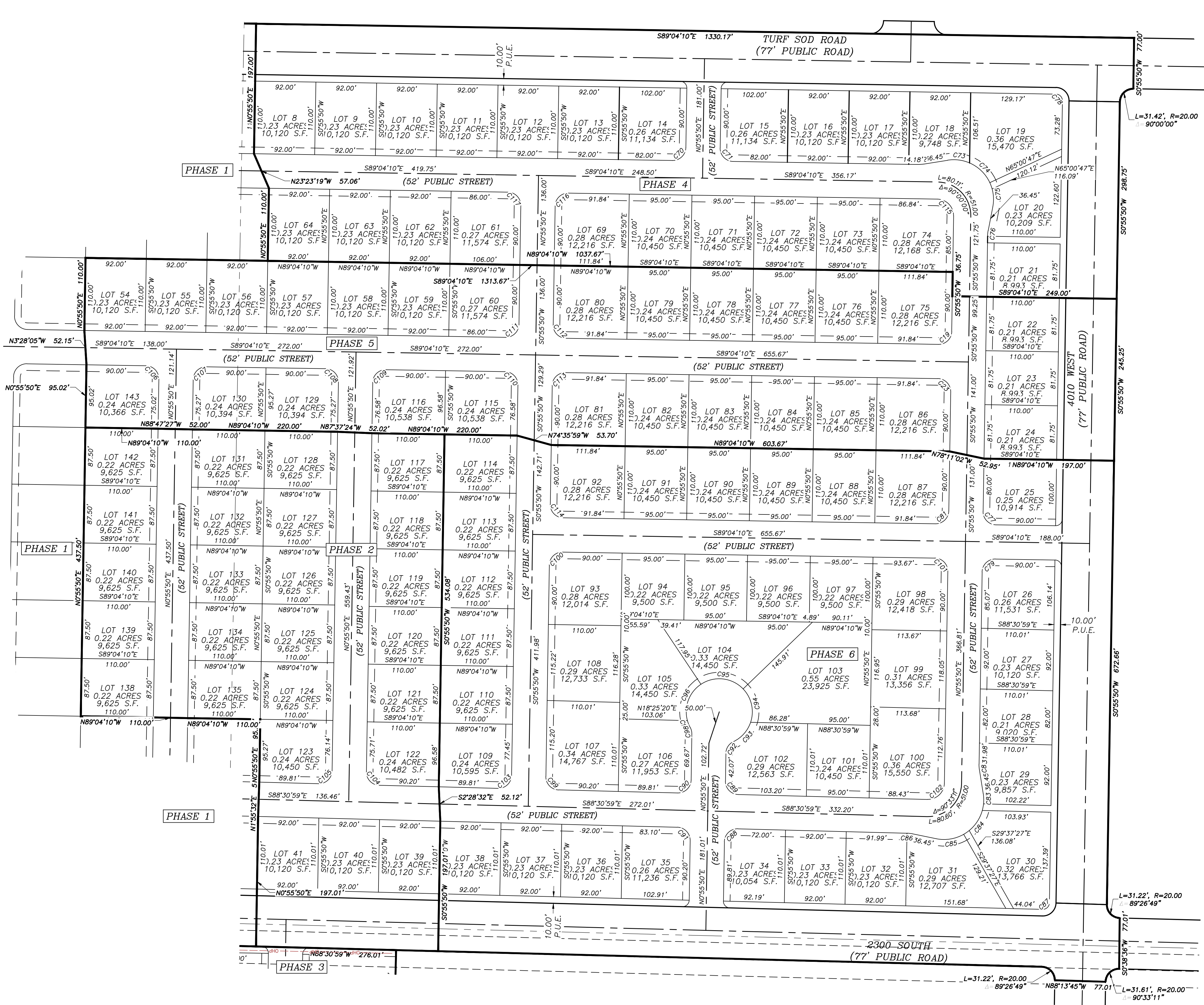
PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

PRELIMINARY PLAT FOR:
SANDWATER ESTATES SUBDIVISION PHASES 1, 3 & 7-8
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	6/10/2025
SCALE	1"=80'
JOB NO.	706-002
SHEET NO.	4 OF 6

PRELIMINARY PLAT FOR: SANDWATER ESTATES SUBDIVISION PHASES 2 & 4-6

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- LOT LINE
- PHASE LINE
- CENTER LINE
- PUBLIC UTILITY EASEMENT

NO.	REVISIONS	DATE	DESCRIPTION

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

PRELIMINARY PLAT FOR:
SANDWATER ESTATES SUBDIVISION PHASES 2 & 4-6
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE	6/10/2025
SCALE	1"=80'
JOB NO.	706-002
SHEET NO.	5 OF 6

706-002 PRELIMINARY PLAT SANDWATER ESTATES.DWG COPYRIGHT © 2023 PROVALUE ENGINEERING INC.


CURVE TABLE FOR: SANDWATER ESTATES SUBDIVISION

LOCATED ON SECTION 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

CURVE TABLE						CURVE TABLE						CURVE TABLE						CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C39	31.42'	20.00'	28.29'	N45°56'29"E	90°01'18"	C70	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C102	39.51'	25.00'	35.53'	N46°12'25"E	90°33'11"
C3	57.60'	60.00'	55.41'	N18°25'50"E	55°00'00"	C40	31.41'	20.00'	28.28'	N44°03'31"W	89°58'42"	C71	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C103	31.61'	20.00'	28.42'	N46°12'25"E	90°33'11"
C4	57.60'	60.00'	55.41'	N73°25'50"E	55°00'00"	C41	31.42'	20.00'	28.29'	N45°56'29"E	90°01'18"	C73	33.89'	60.00'	33.44'	S82°53'16"E	32°21'49"	C104	31.22'	20.00'	28.15'	S43°47'35"E	89°26'49"
C5	8.73'	50.00'	8.72'	S84°04'10"E	10°00'00"	C42	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"	C74	43.69'	60.00'	42.73'	S45°50'47"E	41°43'09"	C105	31.61'	20.00'	28.42'	N46°12'25"E	90°33'11"
C6	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C44	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C75	27.57'	60.00'	27.32'	S2°13'52"E	26°19'24"	C106	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"
C7	7.85'	10.00'	7.65'	S68°25'50"W	45°00'00"	C45	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C76	8.73'	50.00'	8.72'	S5°55'50"W	10°00'00"	C107	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"
C8	7.85'	10.00'	7.65'	S23°25'50"W	45°00'00"	C46	27.10'	20.00'	25.07'	S39°44'38"W	77°37'35"	C77	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C108	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"
C9	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C47	67.74'	50.00'	62.68'	S39°44'37"W	77°37'35"	C78	15.71'	10.00'	14.14'	N44°04'10"W	90°00'00"	C109	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"
C10	39.27'	25.00'	35.36'	S45°55'50"W	90°00'00"	C48	78.54'	50.00'	70.71'	S44°04'10"E	90°00'00"	C79	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"	C110	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"
C11	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"	C49	78.54'	50.00'	70.71'	N45°55'50"E	90°00'00"	C81	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C111	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"
C12	39.26'	25.00'	35.35'	S44°03'31"E	89°58'42"	C50	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C82	8.73'	50.00'	8.72'	S4°04'10"E	10°00'00"	C112	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"
C13	31.42'	20.00'	28.29'	N45°56'29"E	90°01'18"	C51	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"	C83	15.58'	60.00'	15.53'	S1°37'59"E	14°52'23"	C113	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"
C14	31.41'	20.00'	28.28'	S44°03'31"E	89°58'42"	C52	78.54'	50.00'	70.71'	S44°04'10"E	90°00'00"	C84	36.96'	60.00'	36.38'	S33°08'05"W	35°17'38"	C114	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"
C15	31.42'	20.00'	28.29'	S45°56'29"W	90°01'18"	C53	78.54'	50.00'	70.71'	N45°55'50"E	90°00'00"	C85	43.05'	60.00'	42.13'	S80°55'47"W	41°06'28"	C115	39.27'	25.00'	35.36'	N44°04'10"W	90°00'00"
C16	31.41'	20.00'	28.28'	N44°03'31"W	89°58'42"	C54	62.55'	50.00'	58.55'	N34°54'38"W	71°40'56"	C86	0.01'	49.97'	0.01'	N88°30'37"W	0°00'45"	C116	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"
C17	8.73'	50.00'	8.72'	S85°57'08"W	10°00'00"	C55	25.02'	20.00'	23.42'	N34°54'38"W	71°40'56"	C87	15.80'	10.00'	14.21'	N46°12'25"E	90°33'11"	C117	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"
C18	59.49'	60.00'	57.09'	N70°38'28"W	56°48'48"	C56	31.41'	20.00'	28.28'	S44°03'31"E	89°58'42"	C88	31.61'	20.00'	28.42'	S46°12'25"W	90°33'11"						
C19	31.42'	20.00'	28.28'	N45°55'50"E	90°00'00"	C57	31.42'	20.00'	28.29'	S45°56'29"W	90°01'18"	C89	31.22'	20.00'	28.15'	S43°47'35"E	89°26'49"						
C19	45.63'	60.00'	44.54'	N10°51'18"W	43°34'16"	C58	39.26'	25.00'	35.35'	S44°03'31"E	89°58'42"	C90	31.61'	20.00'	28.42'	N46°12'25"E	90°33'11"						
C20	8.73'	50.00'	8.72'	N5°55'50"E	10°00'00"	C59	8.73'	50.00'	8.72'	S85°57'08"W	10°00'00"	C91	31.22'	20.00'	28.15'	N43°47'35"W	89°26'49"						
C21	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"	C60	58.53'	60.00'	56.24'	N71°06'07"W	55°53'31"	C92	22.25'	20.00'	21.12'	S32°48'01"W	63°44'22"						
C23	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"	C61	56.64'	60.00'	54.56'	N16°06'45"W	54°05'11"	C93	40.38'	50.00'	39.30'	S41°31'54"W	46°16'35"						
C26	8.73'	50.00'	8.72'	N84°02'52"W	10°00'00"	C62	8.73'	50.00'	8.72'	N5°55'50"E	10°00'00"	C94	54.39'	50.00'	51.75'	S12°46'09"E	62°19'32"						
C27	18.52'	60.00'	18.45'	N87°53'23"W	17°41'02"	C63	137.95'	734.00'	137.75'	S11°56'48"W	10°46'06"	C95	69.61'	50.00'	64.12'	S83°48'56"E	79°46'01"						
C28	46.10'	60.00'	44.97'	S61°15'26"W	44°01'20"	C64	91.81'	866.00'	91.76'	S14°17'38"W	6°04'26"	C96	62.59'	50.00'	58.59'	N20°26'14"E	71°43'39"						
C29	50.60'	60.00'	49.11'	S15°05'18"W	48°18'56"	C65	95.79'	866.00'	95.74'	S8°05'17"W	6°20'15"	C97	11.32'	50.00'	11.29'	N21°54'43"W	12°58'14"						
C30	8.73'	50.00'	8.72'	S4°04'10"E	10°00'00"	C66	57.47'	866.00'	57.46'	S3°01'05"W	3°48'08"	C98	10.24'	20.00'	10.13'	N13°44'00"W	29°19'40"						
C32	30.84'	20.00'	27.87'	S45°06'13"W	88°20'46"	C67	15.69'	10.00'	14.13'	S45°59'39"W	89°52'22"	C99	31.22'	20.00'	28.15'	S43°47'35"E	89°26'49"						
C36	69.76'	222.50'	69.48'	N81°58'13"E	17°57'51"	C68	15.71'	10.00'	14.14'	N44°04'10"W	90°00'00"	C100	31.42'	20.00'	28.28'	S45°55'50"W	90°00'00"						
C38	54.66'	177.50'	54.44'	N81°48'24"E	17°38'34"	C69	31.42'	20.00'	28.28'	S44°04'10"E	90°00'00"	C101	31.42'	20.00'	28.28'	N44°04'10"W	90°00'00"						

NO	REVISIONS DESCRIPTION	DATE	BY

PROVALUE
ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307



PRELIMINARY PLAT FOR:
SANDWATER ESTATES SUBDIVISION PHASES 1-2 & 7-9
LOCATED IN SECTIONS 11, 12, 13, & 14, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

706-002 PRELIMINARY PLAT SANDWATER ESTATES.DWG COPYRIGHT © 2023 PROVALUE ENGINEERING INC.



STAFF COMMENTS

Agenda Date:	06/11/2026 - Planning Commission
Application Number:	AFP26-10
Type of Application:	Amended Final Plat
Action Type:	Administrative
Applicant:	Rollin and Patricia Hooper
Agent:	Karl Rasmussen
Request:	Approval of an Amended Final Plat.
Location:	27 and 27A Quail Creek Drive
Zoning:	MH/RV
General Plan Map:	Multifamily
Recommendation:	Approve subject to staff and JUC comments.
Report Prepared by:	Fred Resch III

Discussion: The applicant is requesting an amendment to the final plat of Quail Lake Estates to combine Lots 27 and 27A. There is currently a home on the property. This subdivision is zoned Mobile home/RV park (MH/RV).



Vicinity Map
JUC Comments

1. **Public Works:** [No comments received.]
2. **Engineering:** Surveyor must resolve discrepancies between ground distances and record descriptions. Other corrections are redlined. Fine with the intent.
3. **Streets:** Approved
4. **Water:** [No comments received.]
5. **Fire:** Approved.
6. **Sewer:** Approved.
7. **Power:** [No comments received.]
8. **Gas:** [No comments received.]
9. **Fiber:** Approved.
10. **Water Conservancy:** Washington County Water Conservancy District hereby acknowledges that based on the information provided, the plans adequately mitigate interference with district facilities and property interests. The District reserves the right to rescind this acknowledgement if additional information becomes available. The district has not determined whether water will be available for this development and does not hereby make any guarantee of water availability. In addition, the development must conform with applicable district requirements, including but not limited to payment of fees.

Staff Comments

1. The plat meets the following standards for amending final plats contained in Utah Code 10-20-811 for subdivision amendments, updated in 2025. The following is a list of the key code requirements that should be considered:
 - a. Depicts only the portion of the subdivision that is proposed to be amended.
 - b. Includes a plat name distinguishing the amended plat from the original plat.
 - c. An amendment note describing the changes from the original plat.
 - d. Includes references to the original plat.
2. The Final Plat needs a full review by the City Engineering Department for surveying details.
3. Additional utility services will need to be shut off to the property.
4. This following note needs to be added (HCC 10-39-10(B)(6)): *Hurricane City operates a municipal culinary water system with limited water supply. Approval of a plat by Hurricane City does not guarantee that sufficient water will be available to serve lots depicted on any plat. Any land use applicant may be required by Hurricane City to provide a guarantee of water availability. If there is any approval without a water guarantee, the applicant assumes the entire risk of water availability for a platted lot.*

Recommendation: The Planning Commission should review this application based upon standards within the Hurricane City Code and applicable State Code standards. Staff recommends approval subject to staff and JUC comments.

NARRATIVE

THE PURPOSE OF THIS PARTIAL AMENDMENT PLAT IS TO COMBINE LOTS 27 AND LOTS 27A OF THE QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 (WASHINGTON COUNTY RECORDS DOCUMENT #00824879, BK 1555, PG 0637) INTO ONE LOT AND CREATE AN OVERALL LOT 27.

FINAL PLAT FOR: QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 PARTIAL AMENDMENT "D" (LOTS 27 & 27A)

LOCATED IN SECTION 2, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, CHAD J. HILL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 7837685, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, PRIVATE DETENTION AREAS, LIMITED COMMON AREAS, COMMON AREAS, AND EASEMENTS, HEREAFTER TO BE KNOWN AS QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 PARTIAL AMENDMENT "D" (LOTS 27 & 27A), AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND WILL BE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

Chad J. Hill
CHAD J. HILL, P.L.S. #7837685



REVIEW

DATE

SURVEYOR'S NARRATIVE

THE PURPOSE OF THIS PARTIAL AMENDMENT PLAT IS TO COMBINE LOTS 27 AND LOTS 27A OF THE QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 (WASHINGTON COUNTY RECORDS DOCUMENT #00824879, BK 1555, PG 0637) INTO ONE LOT AND CREATE AN OVERALL LOT 27. NO OTHER CHANGES TO THE ORIGINAL PLAT ARE MADE OR INTENDED WITH THIS AMENDMENT PLAT.

THE BASIS OF BEARINGS IS N89°52'48"E 1322.33 FEET FROM THE CENTER QUARTER (1/4) CORNER AND THE NORTHWEST CORNER OF THE NE 1/4, SE 1/4, OF SECTION 2, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN.

LEGAL DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF LOT 26, OF THE QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 (WASHINGTON COUNTY RECORDS DOCUMENT #00824879, BK 1555, PG 0637), SAID POINT BEING N89°52'48"E 518.00 FEET ALONG THE CENTER SECTION LINE AND NORTH 328.81 FEET FROM THE CENTER QUARTER (1/4) CORNER OF SECTION 2, TOWNSHIP 42 SOUTH, RANGE 14 WEST, OF THE SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF QUAIL CREEK DRIVE THE FOLLOWING TWO (2) COURSES: (1) NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT A DISTANCE OF 23.82 FEET, HAVING A RADIUS OF 525.89 FEET AND A RADIAL BEARING OF N25°41'57"E, THROUGH A CENTRAL ANGLE OF 02°35'43" (LONG CHORD BEARS: N63°00'12"W 23.82 FEET); (2) N61°42'15"W 31.06 FEET TO THE SOUTHWEST CORNER OF LOT 27; THENCE N20°17'27"E 91.59 FEET TO THE NORTHWEST CORNER OF LOT 27; THENCE S61°19'39"E 55.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 26; THENCE S20°17'27"W 90.68 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 4,969 SQUARE FEET OR 0.11 ACRES.

OWNERS' DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE HEREOF DESCRIBED TRACTS OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO PUBLIC STREETS, LOTS & PUBLIC EASEMENTS AS SHOWN AND/OR NOTED HEREAFTER TO BE KNOWN AS:

QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED #5 PARTIAL AMENDMENT "D" (LOTS 27 & 27A)

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, INCLUDING STREETS, AND EASEMENTS AS NOTED OR SHOWN (INSIDE AND OUTSIDE OF DESCRIBED BOUNDARIES), TO THE CITY OF HURRICANE OR OTHER ENTITIES IF NOTED.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS THIS ____ DAY OF _____, 2026.

BY: ROLLIN HOOPER

BY: PATRICIA A. HOOPER

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF WASHINGTON } S.S.

ON THIS THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, ROLLIN HOOPER AND PATRICIA A. HOOPER, HUSBAND AND WIFE, AS JOINT TENANTS, WHO BEING BY ME DULY SWORN, DID PROVE ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSONS NAMED IN THIS DOCUMENT, AND THAT THEY EXECUTED THE FOREGOING OWNERS' DEDICATION RESIDING IN _____ COUNTY, UTAH

NOTARY PUBLIC SIGNATURE, A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY PUBLIC FULL NAME AS INDICATED ON THE NOTARY'S COMMISSION: _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN UTAH STAMP IS NOT REQUIRED PER UTAH CODE 46-1-16(7)



GENERAL NOTES:

- A 5.00 FOOT WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG ALL PUBLIC STREETS AND BACK OF LOT LINES AS SHOWN HEREIN.
- THE PARENT PARCEL FOR THIS PARTIAL AMENDMENT IS H-OLE-27A-2

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - SECTION LINE
- - - STREET CENTERLINE
- - - PUBLIC UTILITY EASEMENT LINE
- - - TIE LINE
- ◆ SECTION MONUMENT AS DESCRIBED
- SET PROVALUE ENGINEERING 5/8" REBAR & CAP P.L.S. #7837685
- △ SET P.K. NAIL IN TBC ON PROPERTY LINE PROJECTION
- FOUND REBAR & CAP AS DESCRIBED

NO.	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: 435-668-8307

FINAL PLAT FOR:
QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT
AMENDED #5 PARTIAL AMENDMENT "D" (LOTS 27 & 27A)
LOCATED IN SECTION 2, T42S, R14W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

ASHCREEK SPECIAL SERVICE DISTRICT APPROVAL	ENGINEER'S APPROVAL	APPROVAL AS TO FORM	APPROVAL AND ACCEPTANCE BY HURRICANE CITY, UTAH	TREASURER APPROVAL	RECORDED NUMBER
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. THIS ____ DAY OF _____, A.D. 20____.	THE HEREOF SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS ____ DAY OF _____, A.D. 20____.	APPROVED AS TO FORM, THIS THE ____ DAY OF _____, A.D. 20____.	WE, THE CITY COUNCIL OF HURRICANE CITY, HAVE REVIEWED THE ABOVE PLAT AND HEREBY ACCEPT SAID PLAT WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THERETO THIS ____ DAY OF _____, A.D. 20____.	I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS THE ____ DAY OF _____, A.D. 20____, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES, DUE AND PENDING ON THIS SUBDIVISION PLAT HAVE BEEN PAID IN FULL.	
SUPERINTENDENT, A.C.S.S.D.	ENGINEER HURRICANE CITY, UTAH	CITY ATTORNEY HURRICANE CITY, UTAH	ATTEST: CITY RECORDER HURRICANE CITY, UTAH CLARK FAWCETT, MAYOR HURRICANE CITY, UTAH	WASHINGTON COUNTY TREASURER	WASHINGTON COUNTY RECORDER

COPYRIGHT © 2023 PROVALUE ENGINEERING INC. 848-001 QUAIL LAKE ESTATES PLANNED UNIT DEVELOPMENT AMENDED LOT 27 & 27A.DWG